

BOARD MEETING AGENDA
Coon Creek Watershed District Offices - Board Room
Monday, August 12, 2024, 5:30 p.m.

Board of Managers:

Jim Hafner, President; Erin Lind, Vice President; Jason Lund, Secretary; Mary Campbell, Treasurer; Dwight McCullough, Member at Large

Note: Individuals with items on the agenda or who wish to speak to the Board are encouraged to be in attendance when the meeting is called to order.

- 1. Call to Order**
- 2. Approval of the Agenda** (*Additions/Corrections/Deletions*)
- 3. Announcements**
- 4. Open Mic/Public Comment**

*Members of the public at this time may address the Board, for **up to three minutes**, on a matter not on the Agenda. Individuals wishing to be heard must sign in with their name and address at the door. Additional comments may be accepted in writing. Board action or discussion should **not** be expected during the presentation of public comment/open mic. Board members may direct staff to research the matter further or take the matter under advisement for consideration at a future Board meeting.*

CONSENT ITEMS

The consent agenda is considered as one item of business. It consists of routine administrative items or items not requiring discussion. Items can be removed from the consent agenda at the request of a Board member, staff member or a member of the audience.

- 5. Approval of Minutes July 29th**
- 6. Receive Administrator's Report**
- 7. Advisory Committee Report**
- 8. Bills/Accounts Payable**

POLICY ITEMS

- 9. Approve Administrator's Employment Agreement**
- 10. Approve Submittal of Draft 2024-2033 Comp. Plan to BWSR**
- 11. Award Work on Ditch 39 Geotechnical Services**

PERMIT ITEMS

- 12.24-038 Adolfson Riverbank Stabilization**
- 13.24-036 Family Promise**
- 14.23-080 Les Schwab Tire Center**
- 15.24-004 NSC Turf Field and Campus Improvements**
- 16.23-068 Park of Four Seasons**

DISCUSSION ITEMS

- 17. Draft 2025 Operating Budget**
- 18. Oak Glen Creek Inspection Report**
- 19. Woodcrest Creek Inspection Report**

INFORMATIONAL ITEMS

ADJOURN

COON CREEK WATERSHED DISTRICT BOARD OF MANAGERS' MEETING

The Board of Managers of the Coon Creek Watershed District held a special meeting on Monday, July 29, 2024, at the Coon Creek Watershed District Office.

1. Call to Order

The meeting was called to order at 5:31 PM

Board Members Present: Jim Hafner, Mary Campbell, Jason Lund, Erin Lind & Dwight McCullough

Staff Present: Tim Kelly, Jessica Lindemyer, Bobbie Law, Erik Bye & Michelle Ulrich

Stakeholders Present on Zoom: Abbey Shea

Stakeholders Present: Michelle Jordan

2. Announcements

No announcements.

CONSENT ITEMS

3. Approval of Minutes of July 22, 2024

Board Member McCullough moved to approve the July 22nd minutes as presented. Seconded by Board Member Lund. The motion carried with 5 yeas (Board Members Campbell, Hafner, Lind, Lund, and McCullough) and no nays.

PUBLIC HEARING

4. Purpose and Scope of Hearing

President Hafner outlined the purpose and scope of the public hearing. He explained this hearing provides the District the opportunity to gather public opinion and concerns on the draft 2024-2033 Comprehensive Watershed Management Plan prior to the submittal of the document to the Minnesota Board of Water and Soil Resources (BWSR).

5. Submission of Written Documents/Exhibits into the Record

Mr. Kelly gave an overview of the planning timeline. He submitted multiple items into public record including:

- May 3rd, 2022, notice of intent
- July 2nd, 2022, public notice period ended
- January 23rd, 2023, the initial planning meeting required by statute was held by the CCWD Board of Managers
- September 25th, 2023, the Board adopted Resolution 23-04 requesting an extension to the 2013-2023 Comprehensive Watershed Management Plan
- October 30th, 2023, BWSR approved extension request
- November 27th, 2023, the Board of Managers discussed the Plan summary
- On December 21st, 2023, the Board released a draft of the Comprehensive Watershed Management Plan for 2024- 2033 for public review. The public review period ended on February 23rd, 2024, and on July 29th, 2024, that public hearing to receive comments was held. Notice of Hearing and Affidavit of Publication included

- On August 12th the Board will approve the Comprehensive Watershed Management Plan with updates made based on comments received

Staff recommended that the Board move to receive the public record as stated and presented.

Board Member Lund moved to receive the public record. Seconded by Board Member Lind. The motion carried with 5 yeas (Board Members Campbell, Hafner, Lind, Lund, and McCullough) and no nays.

5:34 PM Michelle Jordan joined the meeting. BWSR Board Conservationist

Mr Kelly called for a point of order. He noted that the verbal record given was not complete. He added the following points of information:

- The surveys and meetings to prioritize certain water resource issues and priorities occurred at 60+ meetings with multiple stakeholders. These meetings included the CAC and TAC. The District also conducted surveys that included other stakeholders affected by the District's Comprehensive Watershed Management Plan. The District responded to 298 official comments on the draft Plan. The Plan also includes additional exhibits including the public engagement plan, record of public engagement, the Notice of Intent regarding comments, and the comments and responses themselves, a summary of the Comprehensive Watershed Management Plan will be provided online.

Board Member Campbell moved to add additional items to the record. Seconded by Board Member Lund. The motion carried with 5 yeas (Board Members Campbell, Hafner, Lind, Lund, and McCullough) and no nays.

6. Summary of the Comprehensive Watershed Management Plan

Erik Bye the Coon Creek Watershed District Planner gave a presentation regarding the Comprehensive Watershed Management Plan. He covered many topics including:

- The planning process
- Authorization
- The current condition of the watershed, specific to impaired waters, the connections between surface and groundwater, flood risk, and TMDLs.
- The management plan goals and strategy.
- Essential tasks
- Risks and concerns identified with the implementation of this watershed management plan including funding, prolonged debate, rejection of effort due to cost, transfer of risk
- Strategies to alleviate risks and concerns including additional funding, staggered TMDL timeline, differentiation of water resources, and incremental plan review at 2.5 and 5-year marks

Mr. Kelly spoke to the importance of incremental updates to the plan. Board Member Campbell supported the big efforts planned for the next ten-year Comprehensive Watershed Management Plan cycle.

7. Call for Public Comments

President Hafner called for comments from stakeholders and meeting attendees three times. He called for comment directly from the two stakeholders in attendance and once to the general public.

8. Close Hearing

Board Member Lund moved to close the public hearing. Seconded by Board Member Lind. The motion carried with 5 yeas (Board Members Campbell, Hafner, Lind, Lund, and McCullough) and no nays.

9. Summary of Comments, Proposed Responses, and Needed Actions

Kelly noted the 298 comments are broken into 3-5 general categories

- Editorial
- Technical
- Goal specific

Kelly provided a summary of next steps and timeline for the remainder of the planning process.

ADJOURN

Board Member Campbell moved to adjourn at 6:06 pm. Seconded by Board Member Lund. The motion carried with 5 yeas (Board Members Campbell, Hafner, Lind, Lund, and McCullough) and no nays.

President

**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 6
ITEM: Administrator's Report

AGENDA: Consent

REQUESTED ACTION:

Receive report.

ADMINISTRATOR'S EVALUATION

Upcoming Board Considerations

- Public Hearing on Comprehensive Plan and Comments
- Permit Review Fee structure and amounts.

District Capacity and Capability

The District possesses the required resources and is mostly trained to undertake most of its legislative mission for which it is organized or designed.

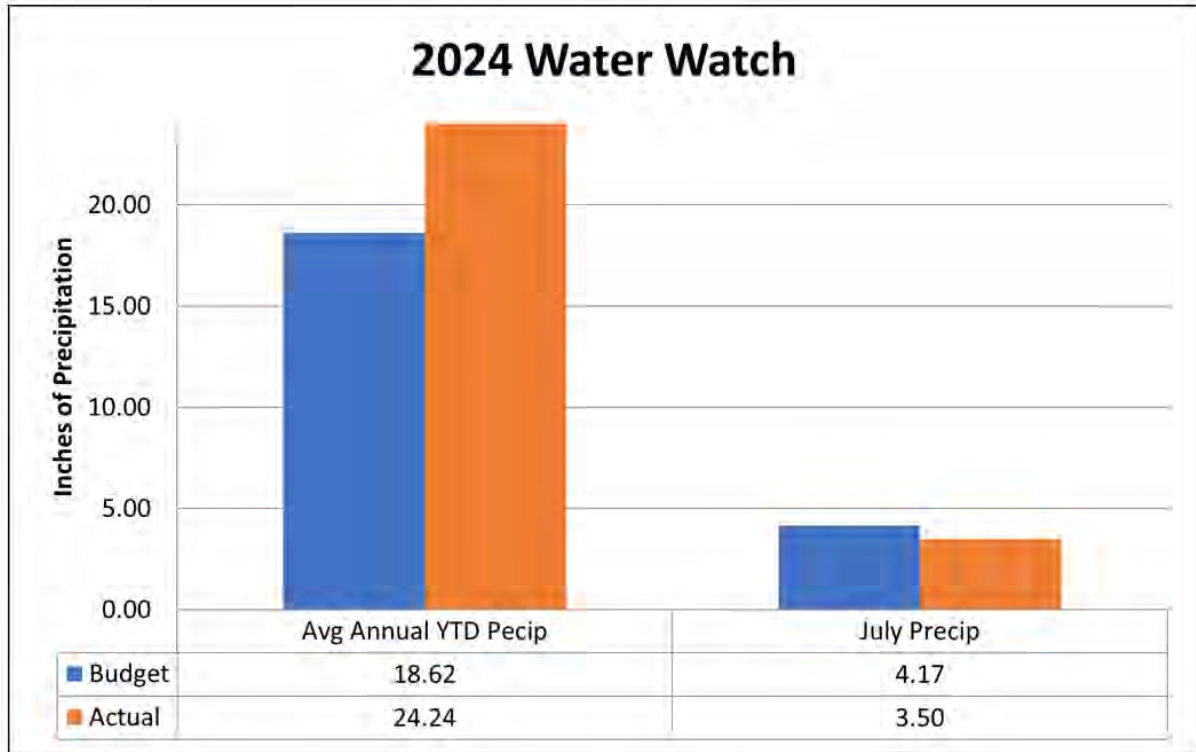
The District can accomplish most required tasks to standard under most conditions.

MANAGEMENT SITUATION

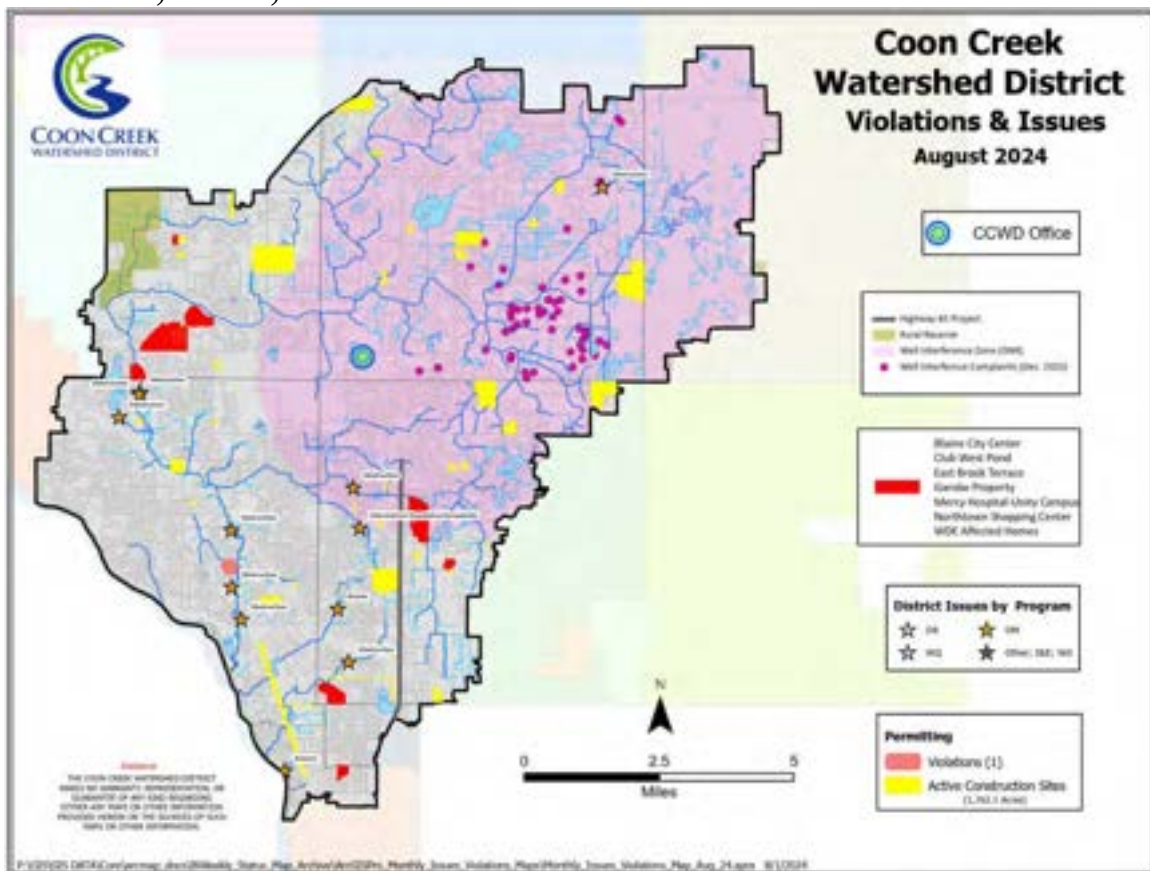
The District averaged 3.5 Inches of precipitation in the month of July. That leaves the District 0.7 inches or 16% below for the month and 5.6 inches or 30% above for the year. Growing season precipitation (May-July) is 3.2 inches or 26% above average.

Due to recent storms, water levels and flows across the District are currently high or on the high end of normal. Lakes, ponds, and wetlands are also on the high end of normal. Soils are now saturated again, leaving the District at a slightly elevated flood risk, but no flooding is expected in the forecast.

The National Weather Service is predicting 1" of precipitation over the next 7 days.



Problems, Issues, and Concerns



Cooperator Actions

Agency	Status
BWSR	Water Storage Modeling Tool: The resources needed to identify water storage sites will be available as a toolbar that builds on data developed by BWSR's Prioritize, Target, and Measure Application (PTMApp).
Clean Water Council	<ul style="list-style-type: none"> • Continuing trend of pots of money to go to LGUs • Groundwater is growing in funding requests: • MDH is finding that GRAPS (WRAPS for Groundwater) are effective as partnership info clearinghouse including private parties and wants to continue. • MDH reports that a Regional Groundwater Specialist is being piloted to be a technical expert to synthesize groundwater information for targeted implementation. This position is expected to be hired by early fall. • DNR Groundwater monitoring – continuing and expanding observation wells.
DNR	<ul style="list-style-type: none"> • Conservation Partners Legacy grant program applications opened 8/1
Met Council	<ul style="list-style-type: none"> • Released “Imagine 2050- Water Policy Plan” for public review until October 12.

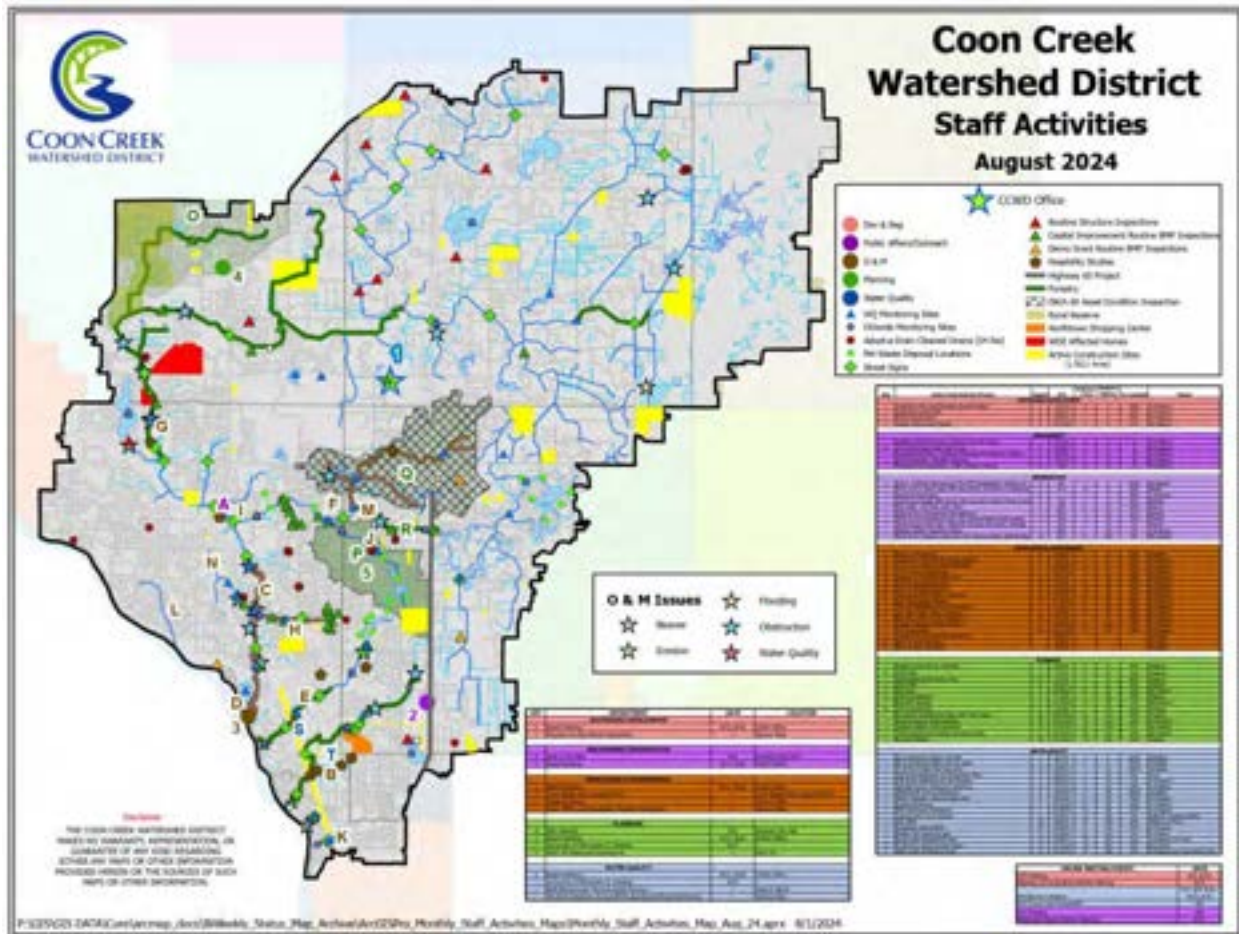
Collaborator Actions

Collaborator	Description
Anoka Conservation District	<ul style="list-style-type: none"> • Nearly a decade after Minnesota's buffer law was enacted in 2015, 99.8% of parcels adjacent to Minnesota waters are compliant with the law.
MN DOT	<ul style="list-style-type: none"> • Highway 65 will remain in one lane in both directions between Bunker Lake Boulevard and Coon Creek Bridge through late August. This is to make room for the eventual replacement of Coon Creek Bridge.”
Anoka County Highway Dept	<ul style="list-style-type: none"> • AC Highways borrowed some of our stormwater, Chloride and Pet waste outreach materials for the County Fair. • County staff are excited about Jim Dickinson coming on staff. • The new Environmental position closed; Rebecca Haug, former CCWD & Blaine Stormwater Manager was hired.

<p>Andover</p>	<ul style="list-style-type: none"> • Red Oaks Water Contamination Mitigation Construction Project: Update 8/2/24: <ul style="list-style-type: none"> ○ Irrigation repairs will continue until completed. ○ Mailbox installation will be completed next week. ○ Sod will begin on Monday (weather permitting) on Quinn St NW between 139th Ave NW and 140th Lane NW. • City Manager Jim Dickinson is moving to Anoka County as the new County Administrator.
<p>Blaine</p>	<ul style="list-style-type: none"> • Granted a comprehensive plan amendment to change the land use designation from High Density Residential (HDR) to Medium Density Resident/Community Commercial (MDR/CC) and Medium Density Residential (MDR) to Medium Density Residential/Community Commercial (MDR/CC) at 12565 and 12535 Zest Street NE and 12592 Lexington Ave NE. • Adopted the Alternative Urban Areawide Review (AUAR) for the 105th Redevelopment Project. • Granted master plan approval for the 105th Redevelopment Project at 10550 Nassau Street NE, 105th Avenue Redevelopment Area. • Adoption of the Alternative Urban Areawide Review (AUAR) and Mitigation Plan for the Redevelopment of Northtown Mall and surrounding area. • Granted final plat approval to create 13 lots to be known as Northtown Revitalization at 100 Northtown Drive NE. • Granted final plat approval to subdivide 21.52 acres into 40 single family lots and two outlots to be known as Crispin Cove at 4255 125th Ave NE and 12581 Lexington Ave NE. • Granted a rezoning for certain parcels from Regional Recreation (RR) to 105th Redevelopment District (RD). • Granted a comprehensive plan amendment of certain parcels from Major Recreation (MR) to Planned Commercial (PC). • Granted final plat approval to create two lots to be known as BB Western Subdivision at 12251 Ulysses Street NE, GHS Development. • Granted a comprehensive plan amendment to change the land use designation from High Density Residential/Community Commercial (HDR/PC_ to Medium Density Residential/Community Commercial (MDR/CC) at the Northwest Corner of Paul Parkway NE and Ulysses Street NE.

Columbus	No report
Coon Rapids	<ul style="list-style-type: none"> • Removing all street sweepings and cleaning up city dumping area on Pleasure Creek • Bunker Hills Park is tying into city sanitary sewer
Fridley	<ul style="list-style-type: none"> • Fridley Mayor Scott Lund will not seek reelection
Ham Lake	<ul style="list-style-type: none"> • Ham Lake Area Chamber of Commerce got a legislative review from Senator Kreun.
Spring Lake Park	No report

STAFF ACTIVITIES



Special Projects

Anoka County Transition:

Benefits Replacement: More complete benefit options and estimated costs have been provided by our consultants. Costs are likely to be significantly higher than were initially

budgeted for 2025. Adjustments have been made to the 2025 budget based on what is known as of this date.

Comp Plan Review:

- Ready to submit to BWSR. On tonight’s agenda.

MANAGEMENT DISPOSITION

Equipment and Facilities:

All equipment is in good working condition.

Financial Position:

As of Date:	07/31/2024			
	Year Ending 12/31/2024	Year To Date 07/31/2024		
	CCWD 2024 Budget	CCWD 2024 Budget YTD	Actual Expenses YTD	Variance YTD
Revenue				
Property Taxes	4,965,765.00	2,896,698.00	2,594,543.71	302,154.29 -10%
Fees & Charges	298,423.00	174,083.00	103,412.23	70,670.77 -41%
Grants	314,539.00	183,484.00	224,256.95	(40,772.95) 22%
Other Revenue	28,042.00	16,359.00	85,707.91	(69,348.91) 424%
Total Revenue	5,606,769.00	3,270,624.00	3,007,920.80	262,703.20 -8%
Expense				
Salaries & Benefits	1,981,605.00	1,155,945.00	945,973.30	209,971.70 -18%
Professional Services	589,000.00	343,595.00	175,963.82	167,631.18 -49%
Operating Expenses	239,164.00	139,524.00	129,586.68	9,937.32 -7%
Program Expense	2,757,867.00	1,608,768.00	699,001.48	909,766.52 -57%
Capitalized Expenses	166,708.00	97,251.00	50,333.33	46,917.67 -48%
Total Expense	5,734,344.00	3,345,083.00	2,000,858.61	1,344,224.39 -40%
Coon Creek Watershed District				
Cash Balance				
As of Date:	07/31/2024			
	Escrow Fund	General Fund	All Funds	
	Month Ending	Month Ending	Month Ending	
	07/31/2024	07/31/2024	07/31/2024	
Cash and Cash Equivalents				
Cash	1,925,606.69	(2,339,854.58)	(414,247.89)	
Petty Cash	0.00	250.00	250.00	
Investment Account	2,870.00	5,049,628.90	5,052,498.90	
Total Cash and Cash Equivalents	1,928,476.69	2,710,024.32	4,638,501.01	
July started with an operational fund balance of approximately \$380,005.32				
Change in net cash position was +\$2,330,019.00				
Balance of the escrow trust fund is \$1,939,319.62				
Five months into the fiscal year, the budget variance is -%32 less than planned				
updated 8.7.24				

Staffing:

- Health: Staff are generally in good health.
- Personnel Manual: The rewrite of the personnel manual is temporarily on hold until benefits are chosen. Earned Sick and Safe Time changes have been incorporated into the new manual and staff have been informed of changes already in effect.
- Staff Availability:
 - Over the month of August, the District staffing will be at 87%
- Vacancies/New Hires
 - One intern position has been extended, on a limited basis (16 hrs/wk), for special projects through the end of the year.

**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 7
ITEM: Advisory Committees Report

AGENDA: Policy Discussion Information

ACTION REQUESTED

Receive Report

BACKGROUND

The Citizen Advisory Committee (CAC) did not meet in July. The Technical Advisory Committee (TAC) met on July 11th.

- The next CAC meeting scheduled: August 13th at 4:30 pm hybrid with Zoom.
- The next TAC meeting scheduled: September 12th at 8:30 am hybrid with Zoom.

ISSUES/CONCERNS

Citizen Advisory Committee (CAC)

The CAC did not meet in the month of July.

Technical Advisory Committee (TAC)

The majority of the TAC was present at the meeting; absent were Board of Soil and Water Resources (BWSR) and Columbus.

1. Management Situation

Jon Janke provided the TAC with a brief update on recent weather and hydrology.

The District is seeing a lot of water appropriation permits coming in. The recent rains have made construction challenging but for the most part sites are keeping good erosion control and dewatering practices.

2. Concerns

Jon Janke gave a brief update on the Lower Coon Creek Corridor Restoration Project at Coon Rapids Dam Regional Park stating that all landowner agreements are now in place with construction scheduled to begin next week.

Tim Himmer of Coon Rapids mentioned that the culvert work near Moore Park on Magnolia Street is moving forward.

Justine Dauphinais informed the TAC that the feasibility study for the Pleasure Creek Smart Outlet has come out favorably and is now moving into concept design.

Megan Hedstrom of Blaine noted that the Alternative Urban Areawide Reviews (AUAR) for Northtown Mall and Blaine Town Center are on the agenda for the July 15th council meeting. A building permit for the Asia Mall has been received. Ground truthing of storm pipe network in and around the Blaine Town Center area is underway.

Dave Berkowitz of Andover announced that Andover has received a grant from the DNR for the Coon Creek Corridor Trail. In 2025 the City will be building the trail along the north side of Coon Creek from Prairie Road to the Shadowbrook North Development. Survey work will start this fall.

3. Briefs

a. Changes to the Wetland Conservation Act (WCA)

Erin Margl walked the TAC through some of the changes that are most pertinent to the group and provided a written summary of BWSR's write up.

b. Hydrology Model

Jon Janke explained that the District has been using an xpswmm model for many years as a regional model for the 100-yr flood. However, xpswmm is beginning to get phased out and will soon become obsolete. As such, the District is currently exploring options for new regional models that will meet the District's current and emerging needs.

c. Comprehensive Plan

Jon Janke reminded the TAC of the Comprehensive Plan Update process that has happened to-date, thanking those who submitted comments. A public hearing on those comments, and the District's responses, is scheduled for July 29th.

Chris Lord inquired about any changes that have been made to the budget as a result of comments received. Jon Janke confirmed that to his knowledge no changes have been made to the budget based on the comments received on the comprehensive plan.

4. Other Water Management Concerns

a. EPA Chemicals of Emerging Concern (CEC) and 6PPD-quinone

Justine Dauphinais recapped the information shared at the last TAC meeting.

5. Announcements

a. Salt Symposium

Jon Janke informed the TAC that the early bird registration deadline for the Salt Symposium has been extended to Friday, July 12th.

b. Minnesota Clean Sweep Monthly Seminars

Justine Dauphinais shared information regarding the Minnesota Clean Sweep monthly seminar series, noting that the August seminar will be touching on equipment in relation to both salting and sweeping.

RECOMMENDATION

Receive Report

**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 8
ITEM: Bills to Be Paid

FISCAL IMPACT: Budgeted
POLICY IMPACT: Policy

REQUEST
 Approve bills

BACKGROUND

Claims totaling \$273,937.96 on the following disbursement(s) list will be issued and released upon Board approval.

Vendor	Amount
V0008--US BANK	9,159.53
V0015--ANOKA COUNTY MN	161,117.33
V0015--ANOKA COUNTY MN	1,700.00
V0015--ANOKA COUNTY MN	1,700.00
V0026--CITY OF COON RAPIDS	3,395.00
V0027--CITY OF FRIDLEY	3,500.00
V0030--CONNEXUS ENERGY	304.48
V0033--DELL MARKETING LP	1,424.62
V0033--DELL MARKETING LP	1,424.62
V0037--ECM PUBLISHERS INC	2,884.80
V0047--AH IND SCHOOL DIST 11	3,990.00
V0052--LOFFLER COMPANIES INC	102.50
V0062--NORTH VALLEY INC	2,900.00
V0080--METROPOLITAN COUNCIL	5,900.00
V0090--CENTERPOINT ENERGY-UTILITY	30.47
V0102--US GEOLOGICAL SURVEY	8,047.25
V0103--BANKERS ADVERTISING CO	2,299.20
V0103--BANKERS ADVERTISING CO	439.51
V0111--WELL GROOMED LAWNS INC	860.00
V0128--YTS COMPANIES LLC	2,231.25
V0138--RMB ENVIRONMENTAL LABORATORIES INC	2,088.00
V0195--STANTEC CONSULTING SERVICES INC	2,871.90
V0195--STANTEC CONSULTING SERVICES INC	7,379.50
V0195--STANTEC CONSULTING SERVICES INC	27,488.28
V0195--STANTEC CONSULTING SERVICES INC	2,526.50
V0242--METRO I NET	5,398.00
V0247--POOP 911 OF MPLS STP LLC	864.25
V0313--TURFCO MANUFACTURING INC.	448.51
V0314--VEIT & COMPANY INC	1,700.00
V0315--HFN PROPERTIES LLC	7,891.65
V0316--PAUL HENNUM	1,870.81
Grand total	273,937.96

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: August 12, 2024
AGENDA NUMBER: 9
ITEM: Approve Administrator's Employment Agreement

AGENDA: Policy

BACKGROUND

The District has employed the current Administrator since January 8, 1990. A written employment agreement has governed the relationship between the Administrator and the District Board since his hiring.

The contract was fully executed on May 9, 2016, and was in effect until May 8, 2020. At that time, a one-time 4-year extension was exercised. The employment contract of the District Administrator has expired and needs to be updated. The agreement expired May 16, 2024.

On May 13, 2024, the Board reviewed and discussed the employment contract of the District Administrator and to generally discuss employee performance. The Board also:

1. Acted to extend the existing agreement by approving the contract extension of 90 days.
2. Appoint the President and Vice-President to a committee to review the Administrator and the revised employment contract.

On June 13, 2024, the President and Vice-President met with the Administrator and conducted a performance review.

On July 8, 2024, the Board of Managers went into closed session to review the Administrator's performance review

On July 22, 2024, the President reported and gave a summary of the closed session that occurred on July 8, 2024, with the recommendation that the Board renew the Administrator's employment agreement.

ACTION REQUESTED

Approve Administrator's Employment Agreement

COORDINATION

All actions have been taken with both the Administrator's and Board knowledge.

PERTINENT FACTS

The employment agreement has been drafted, reviewed, and approved by the Board President, Vice President, District Attorney, and District Administrator.

ISSUES/CONCERNS/RISKS

1. Contract extension expired August 11.
2. Employment Agreement with Exhibit 1 Position Description – At dais

OPTIONS FOR ACTIONS

1. Approve the employment agreement
2. Table action with specific suggestions

RECOMMENDATION

Approve Employment Agreement

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: August 12, 2024
AGENDA NUMBER: 10
ITEM: Approve Submittal of Draft 2024-2033 Comprehensive Watershed Management Plan to Board of Water and Soil Resources

AGENDA: Policy

ACTION REQUESTED

Approve final Submittal of the Draft 2024-2033 Comprehensive Watershed Management Plan to Board of Water and Soil Resources.

BACKGROUND

Minnesota Statute 103B.231 requires the development of a comprehensive watershed management plan. MS 103B and MR 8410 stipulate the content and the general process and review procedure. The Draft plan is then reviewed and approved by the Minnesota Board of Water and Soil Resources after extensive opportunity for review by the public and state agencies.

Draft Comprehensive Plan Summary:

The 2024-2033 Comprehensive Watershed Management Plan (Plan) for the Coon Creek Watershed District (CCWD), established in 1959 and spanning 107 square miles within Anoka County, is designed to address water management challenges in the watershed. Authorized by Minnesota Statute 103B.231 and Rule 8410, the Plan intends to serve as the CCWD's strategic management plan and the platform for operational planning. The district encompasses the cities of Andover, Blaine, Columbus, Coon Rapids, Fridley, Ham Lake, Spring Lake Park.

The Plan identifies priority issues through public and agency input. These priority issues include water quality impairments and groundwater and surface water interactions. The priority issue of groundwater and surface water interaction specifically involves the quality and quantity of shallow groundwater. The Plan also outlines the need for significant pollutant load (TMDLs) reductions by 2045 to address water quality impairments and issues such as shallow groundwater chloride pollution and potentially declining groundwater.

The Plan sets watershed-wide and resource-specific goals to address priority issues. The watershed-wide goals include fostering a watershed with moderate geomorphic, hydrologic, and biotic integrity relative to its natural potential condition, improving the stability of the drainage network, and fostering a watershed that exhibits physical, chemical, and biological conditions that suggest soil, riparian, and aquatic systems, while still at risk, show signs of marginal recovery in supporting beneficial uses. The resource-specific goals are discussed in more detail in the Plan.

Anticipating future trends, the district expects increased conflicts over water management, resource scarcity, technological advancements in water monitoring, and external challenges like pandemics and political constraints. These trends underscore the importance of a strategic approach to managing water resources, including the protection of public health and ecological functions.

This Plan emphasizes a Multi-Domain Management strategic approach which enables disciplined decision-making by framing risk and continually assessing progress toward legislative goals. This approach focuses on merging the capabilities of collaborators, sharing a common understanding of the water management problems, and implementing programs that transform conflict, seek collaboration and unity of effort, maintain legitimacy, and build the capacity and capabilities to pursue those shared goals.

Sustainment and administration of the plan will require a substantial investment over the next 10 years, with revenue sources including grants, intergovernmental sources, and the CCWD tax levy. Collaboration with city engineers, public works directors, and various organizations is key to the Plan's implementation, alongside annual assessments to adjust priorities and methods. The CCWD faces significant risks and will seek to extend the EPA's 2045 deadline to meet TMDL pollutant reduction goals, increase funding levels, and reclassify impaired waters based on use attainability principles.

COORDINATION

To prioritize and sort through the priority water resource issues, develop a common understanding of those priorities, the connection of the priorities to other demands and concerns about water resources, the District:

- Held 69 meetings with citizens, technical professionals, city departments and staff and state and federal agency personnel. These meetings included discussions at Citizen Advisory Committee meetings and Technical Advisory Committee Meetings.
- Conducted surveys of the public, local professionals, and other councils and Boards.
- Received and responded to 298 official comments on the draft comprehensive plan.
- Held a public hearing on the draft plan.

PERTINENT FACTS

On May 3, 2022, the notice of intent to plan was released and a public scoping process was initiated for the Update of the Comprehensive Plan. The public and agency comment period ended July 2, 2022.

On January 23, 2023, the Board held its Initial Planning Meeting to receive any additional comments on water resource problems, issues, or concerns.

On September 25, 2023, the Board of Managers adopted resolution 2023-04 requesting an extension of the District's current comprehensive plan. The Board of Water and Soil Resources approved that request on October 30, 2023.

On December 21, 2023, the Board approved release of the Draft Comprehensive Plan for public and agency review. That review period ended February 23, 2024.

The District received 298 public comments from nine state and local agencies. The District also received informal comments from staff and one Citizens Advisory Committee (CAC) member. A summary of these comments was presented to the Board on March 11th, 2024.

On July 29, 2024, the Board held a public hearing to receive comments on the Draft 2024-2033 Comprehensive Watershed Management Plan. No new comments were submitted by the public.

The final Draft 2024-2033 Comprehensive Watershed Management Plan can be found here: https://www.cooncreekwd.org/wp-content/uploads/2024/08/2024-33-CCWD-Comprehensive-Plan_Final-Draft.pdf

ISSUES/CONCERNS/RISKS

1. **BWSR Review Process:** Upon submittal, BWSR has ninety days to approve, deny, or approve portions of the Comprehensive Plan.
2. **Current BWSR Review Schedule:**
 - August 13th – CCWD releases final draft Plan
 - October 7th – BWSR Central Region Committee plan presentation
 - October 23rd – Final draft Plan goes to BWSR Board for final recommendation

OPTIONS FOR ACTIONS

1. Table action on the Comprehensive Plan until a later date
2. Approve the final submittal of the Draft Comprehensive Plan to the Board of Water and Soil Resources

RECOMMENDATION

1. Direct staff to submit the plan to the Board of Water and Soil Resources for their ninety-day review and approval.
2. Adopt the attached resolution

RESOLUTION 2024-03

**COON CREEK WATERSHED DISTRICT
BOARD OF MANAGERS
RESOLUTION AUTHORIZING SUBMITTAL OF DRAFT WATERSHED
MANAGEMENT PLAN UPDATE FOR FINAL STATE
REVIEW**

Manager _____ offered the following resolution and moved its adoption,
seconded by Manager _____.

WHEREAS the Coon Creek Watershed District (CCWD) as a metropolitan watershed district has adopted and implemented a watershed management plan in accordance with Minnesota Statutes section 103B.231 and accompanying Minnesota Rules Chapter 8410;

WHEREAS under Minnesota Statutes section 103B.231 metropolitan watershed districts are required to revise their watershed management plans at least every ten years to review and reestablish water resource goals and policies, incorporate current information, revise priorities and identify programs and projects accordingly;

WHEREAS in accordance with the Metropolitan Surface Water Management Act and accompanying Rules the CCWD prepared and adopted its first watershed management plan in 1987, years 1987-2003; a second watershed management plan, years 2003-2013; and the current third watershed management plan, years 2013- 2024 (extension approved by BWSR 10/30/2023);

WHEREAS a CCWD watershed management plan update is now warranted to reflect the past ten years of CCWD experience, land use changes within the watershed, newly acquired knowledge and changing priorities regarding water resource management within the watershed;

WHEREAS the CCWD has prepared a draft 2024-2033 comprehensive watershed management plan update. The CCWD Board of Managers finds that this watershed management plan update conforms to Minnesota Statutes sections 103B.205 through 103B.255, Minnesota Statutes Chapter 103D, Minnesota Rules Chapter 8410, and establishes a sound foundation for CCWD program efforts and resource commitments over the next ten years;

WHEREAS the CCWD in accordance with Minnesota Statutes section 103B.231 (7)(a), (11) has distributed the draft watershed management plan update for 60-day review and comment to Anoka County, the Anoka County Soil and Water Conservation District, Metropolitan Council, the Minnesota Departments of Natural Resources, Agriculture and

Health, the Minnesota Pollution Control Agency, the Minnesota Board of Water and Soil Resources, and all cities with territory within the legal boundaries of CCWD;

WHEREAS upon the CCWD Board of Managers’ review and approval for distribution of staff’s written comment responses, the CCWD in accordance with Minnesota Statutes section 103B.231 (7)(b) on July 9, 2024, submitted its written response to comments from the applicable review agencies;

WHEREAS the CCWD provided notice of a public hearing on the comprehensive watershed management plan update, which was held on July 29, 2024, by the CCWD Board of Managers in conjunction with its noticed special meeting.

THEREFORE BE IT RESOLVED that in accordance with Minnesota Statutes section 103B.231 (9) the CCWD Board of Managers directs the Administrator to submit the draft 2024-2033 CCWD watershed management plan update, written comments received and written responses, a record of the public hearing, approved minutes of the public hearing, and a summary of changes incorporated as a result of the review process to the following for final review:

- Minnesota Board of Water and Soil Resources
- Metropolitan Council
- Minnesota Pollution Control Agency
- Minnesota Department of Natural Resources
- Minnesota Department of Agriculture
- Minnesota Department of Health

The question was on the adoption of the Resolution and there were ___ yeas and ___ nays as follows:

	Yea	Nay	Absent
Hafner			
Lind			
Lund			
Campbell			
McCullough			

Upon vote, the Chair declared the Resolution _____.

_____. Dated: August ___, 2024

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: August 12, 2024
AGENDA NUMBER: 11
ITEM: Request to Award Work on Ditch 39 Geotechnical Services

AGENDA: Policy

BACKGROUND

In 2024, the District prepared the Ditch 39 Subwatershed Plan in coordination with the City of Blaine, the City of Coon Rapids, and Anoka County. One of the plan's goals is the improvement of water quality and meeting TMDL requirements. An evaluation of potential actions to achieve the goal was conducted and identified three priority cost-effective regional stormwater filter projects on city or county owned land. Feasibility designs and cost estimates have been completed for each site for capital improvement planning, grant application, and budgeting purposes. The project designs and costs are highly dependent on the condition of the existing soils and groundwater elevations which are mostly unknown currently. The engineer's recommendation is to complete geotechnical exploration to further refine the design and cost estimates.

ACTION REQUESTED

Review quotes and award contract for the Ditch 39 Geotechnical Services.

COORDINATION

1. September 11, 2023: Board approved the 2024 budget including the Ditch 39 subwatershed plan
2. June 17, 2024: Annual CCWD Board Tour reviewed Ditch 39 subwatershed planning and need to complete geotechnical exploration at three locations
3. July 12, 2024: Request for quotes was distributed to four geotechnical companies
4. August 2, 2024: Quotes were due to the District by 12:00PM
5. August 12, 2024: Request to award work
6. September 30, 2024: Project completion

PERTINENT FACTS

Funding Work to be paid for through the 2024 budgeted \$76,500 for Ditch 39 subwatershed planning.

Estimate \$9,000-\$15,000 for all three sites. In the last three years, geotechnical service quotes submitted for District projects have ranged from \$3,000-\$5,000 per site. Costs vary depending on specific site considerations and requirements.

District Engineer-Stantec completed the feasibility designs for the proposed stormwater filters on all three sites and provided the specifications to include in the request for quotes

District Attorney-reviewed the request for quotes and contract to execute with the awarded company.

Approvals-all work is located on city or county owned land. The cities and county have been involved in the subwatershed planning efforts, are aware of the proposed work, and have provided written authorization to proceed with the proposed geotechnical exploration work. An Anoka County right-of-way permit will be executed for site access off University Avenue prior to issuance of a notice to proceed.

Prequalified companies: Quotes were solicited from a short list of four pre-qualified responsible companies that have experience in this type of work, have successfully worked with the District in the past and/or are highly recommended by collaborating agencies.

ISSUES/CONCERNS

Neighboring properties- There are approximately 20 single family residential homes in view of the proposed stormwater filter sites. Work will not directly impact these properties, however, may impact their view and usage of the city and county owned land. Staff will communicate with neighboring properties about the geotechnical work and proposed stormwater filter projects.

Bridgewater South site accessibility: The soil boring locations for this site are in an area with fluctuating water levels and unknown soil conditions. We believe the contractor can safely access the soil boring locations under normal conditions. However, should access prove problematic, we will work with the awarded company to explore and implement alternative methods to obtain the necessary data.

QUOTES

3 of the 4 solicited companies submitted quotes prior to the submittal deadline.

Quote Completeness: Staff reviewed quotes for completeness.

Plan Holder	Quote Signed	Quote Schedule Filled Out	Quote Information Required
American Engineering Testing, Inc.	Yes	Yes	Yes
Braun Intertec	Yes	Yes	Yes
Glacial Ridge Drilling, Inc.			
Haugo Geotechnical Services	Yes	Yes	Yes

Costs:

Company	Quote	Rank
American Engineering Testing, Inc.	\$12,575.00	2
Braun Intertec	\$13,115.00	3
Glacial Ridge Drilling, Inc.		
Haugo Geotechnical Services	\$10,020.00	1

OPTIONS FOR ACTIONS

1. Award contract to lowest responsible quote
2. Table action until next meeting with statement of reason and need
3. Reject all quotes
4. Requote project
5. Cancel project

CONCLUSION

Multiple competitive quotes were received in which Haugo Geotechnical Services provided the lowest responsible quote and has successfully contracted and completed similar work for the District in recent years.

RECOMMENDATION

Award Ditch 39 Geotechnical Services contract to Haugo Geotechnical Services

Detailed Quote Summary			Unit Price	Unit Price	Unit Price	Unit Price
Item	Unit	Estimated Quantity	American Engineering Testing, Inc.	Braun Intertec	Glacial Ridge Drilling, Inc.	Haugo Geotechnical Services
Mobilization (including health and safety, utility clearances)	LS	1	\$1,150.00	\$1,645.00		\$2,680.00
Site 1 Drilling, Sampling, & Abandonment - 15 Foot Depth	EA	3	\$825.00	\$675.00		\$460.00
Site 2 Drilling, Sampling, & Abandonment - 10 Foot Depth	EA	3	\$550.00	\$650.00		\$340.00
Site 3 Drilling, Sampling, & Abandonment - 10 Foot Depth	EA	3	\$550.00	\$650.00		\$340.00
Site 3 Drilling, Sampling, & Abandonment - 15 Foot Depth	EA	2	\$825.00	\$675.00		\$460.00
Report	LS	1	\$4,000.00	\$4,195.00		\$3,000.00
			\$12,575.00	\$13,115.00		\$10,020.00

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 12

Applicant/Landowner:
Brook Adolfson
11220 Dakotah St NW
Coon Rapids, MN 55433

Contact:
Parent Custom Homes
Attn: Brent Parent
13654 Van Buren St #400
Ham Lake, MN 55304

Project Name: Adolfson Riverbank Stabilization

Project PAN: P-24-038

Project Purpose: Bank stabilization with rip rap and native plants

Project Location: 11220 Dakota St NW, Coon Rapids

Site Size: size of parcel - 1.74 acres; size of disturbed area - 0.3 acres; size of regulated impervious surface - 0 acres

Applicable District Rule(s): Rule 2, Rule 4, Rule 8

Recommendation: Approve with 2 Conditions and 0 Stipulations

Description: The property owner, along with Parent Custom Homes, submitted an application which is proposing a bank stabilization project that includes installation of riprap, a retaining wall and a native plant buffer. The project will disturb 0.30 acres and create no regulated impervious. The site drains to the Mississippi River. The relevant water resource concerns are erosion and sediment control and buffers which correlate with District Rules 4 and 8. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Provide escrow in the amount of \$2,150.00.

Rule 4.0 – Soils and Erosion Control

2. Provide an updated Erosion and Sediment control plan that includes:
 - a. A note stating that disturbed soils will be stabilized within 7 days of inactivity.
 - b. Floating silt curtain to be placed within the river during rip rap installation and to be removed upon placement of landward perimeter control.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

None

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
Project Narrative and Erosion Control Plan	Parent Custom Homes	07/11/2024	07/11/2024

Findings**Fees and Escrows (Rule 2.7):**

The applicant has submitted a \$760.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10) and base fee for a Single-Family Lot project of 1.74 acres (\$750.00). The applicant will be required to submit a performance escrow in the amount of \$2,150.0. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (0.3 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

The proposed project does not create a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface, or 5,000 sf or more of new or fully reconstructed impervious surface for non-residential or multifamily residential within one mile of and draining to an impaired water. The proposed project is not a public linear project where the sum of the new and fully reconstructed impervious surface is equal to one or more acres. Stormwater Management standards do not apply.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it includes land disturbing activities of more than 5,000 square feet and within 50 feet of and drains to a waterbody.

The proposed project drains to the Mississippi River. The soils affected by the project include Nymore and does not have a soil erodibility factor of 0.15 or greater. Disturbed areas are not proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes perimeter control landward of the proposed rip rap, a clear access point, and a stabilized construction entrance. The erosion control plan does not meet District Requirements because the plan does not include a floating silt curtain or a note to stabilize exposed soils within 7 days of inactivity. See attached Figure 3: Erosion and Sediment Control Plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

The proposed project does not include land disturbing activities within the floodplain as mapped and modeled by the District. Rule 6.0 does not apply.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

Rule 8.0 applies because it includes a land disturbing activity that requires a permit under another District Rule and is on land adjacent or directly contributing to a Public Water. However, due to

how the Mississippi River is managed across the State, rip rap is an acceptable practice in place of an entirely vegetated buffer.

Variations (Rule 10.2)

The proposed project does not request a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.



Figure 1: Project Location

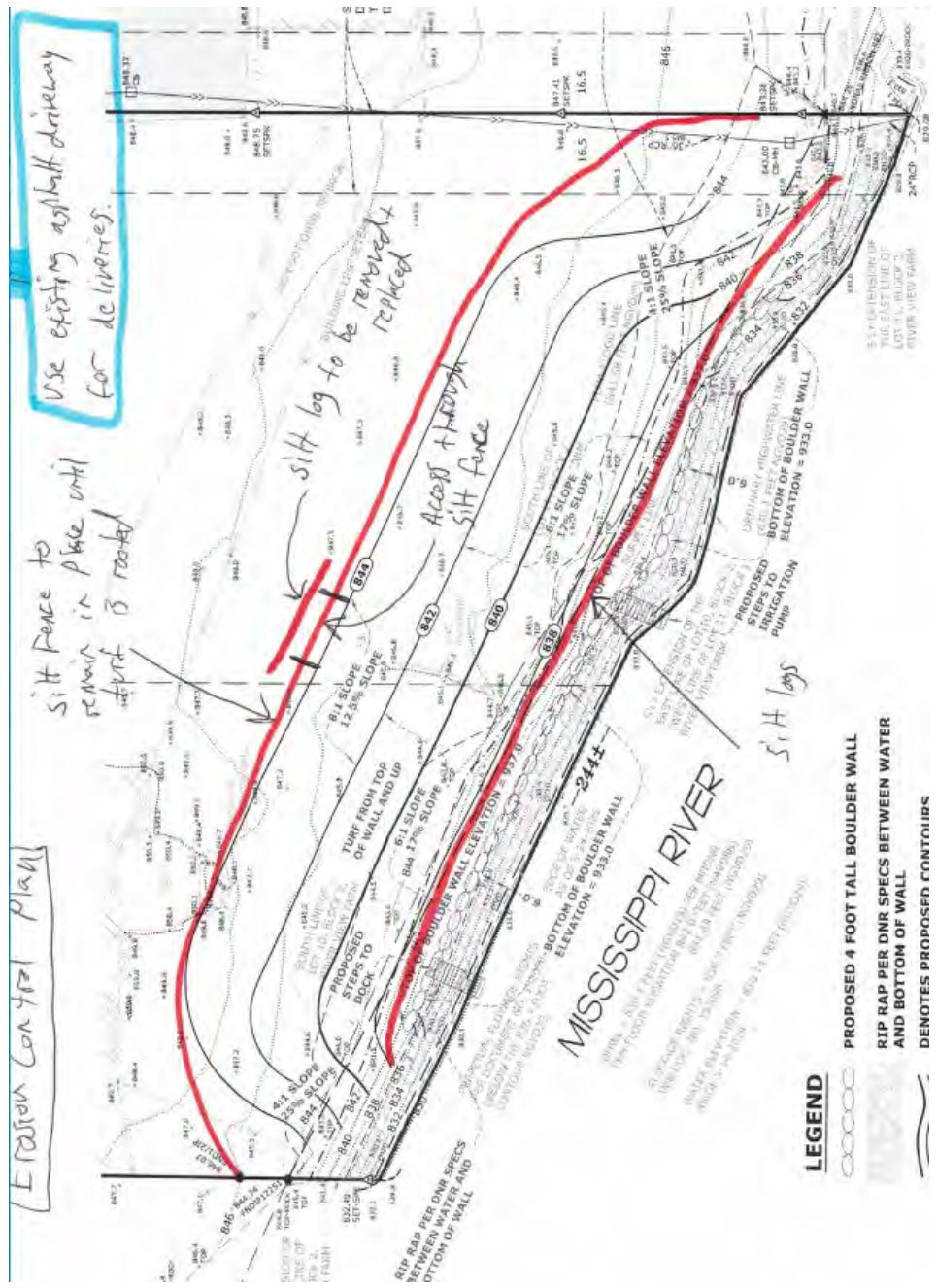
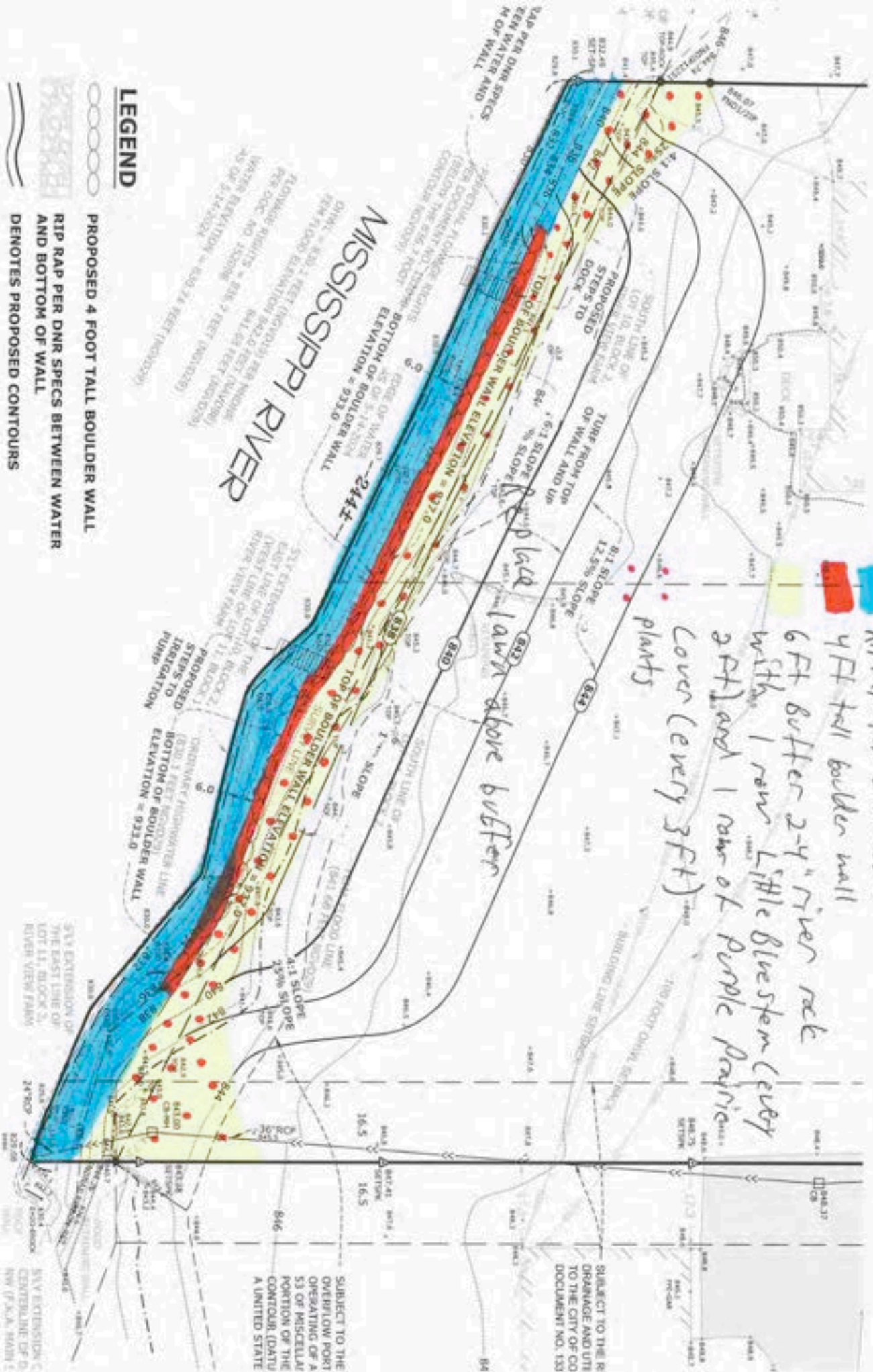


Figure 3: Erosion and Sediment Control Plan




Scope of work and planting plan drawing

RIPRAP PER DNR SPEC
 4 FT tall boulder wall
 6 FT buffer 2-4" river rock
 with 1 row Little Blue stem (every
 2 FT) and 1 row of Purple Prairie
 cover (every 3 FT)

Replaced lawn above buffer

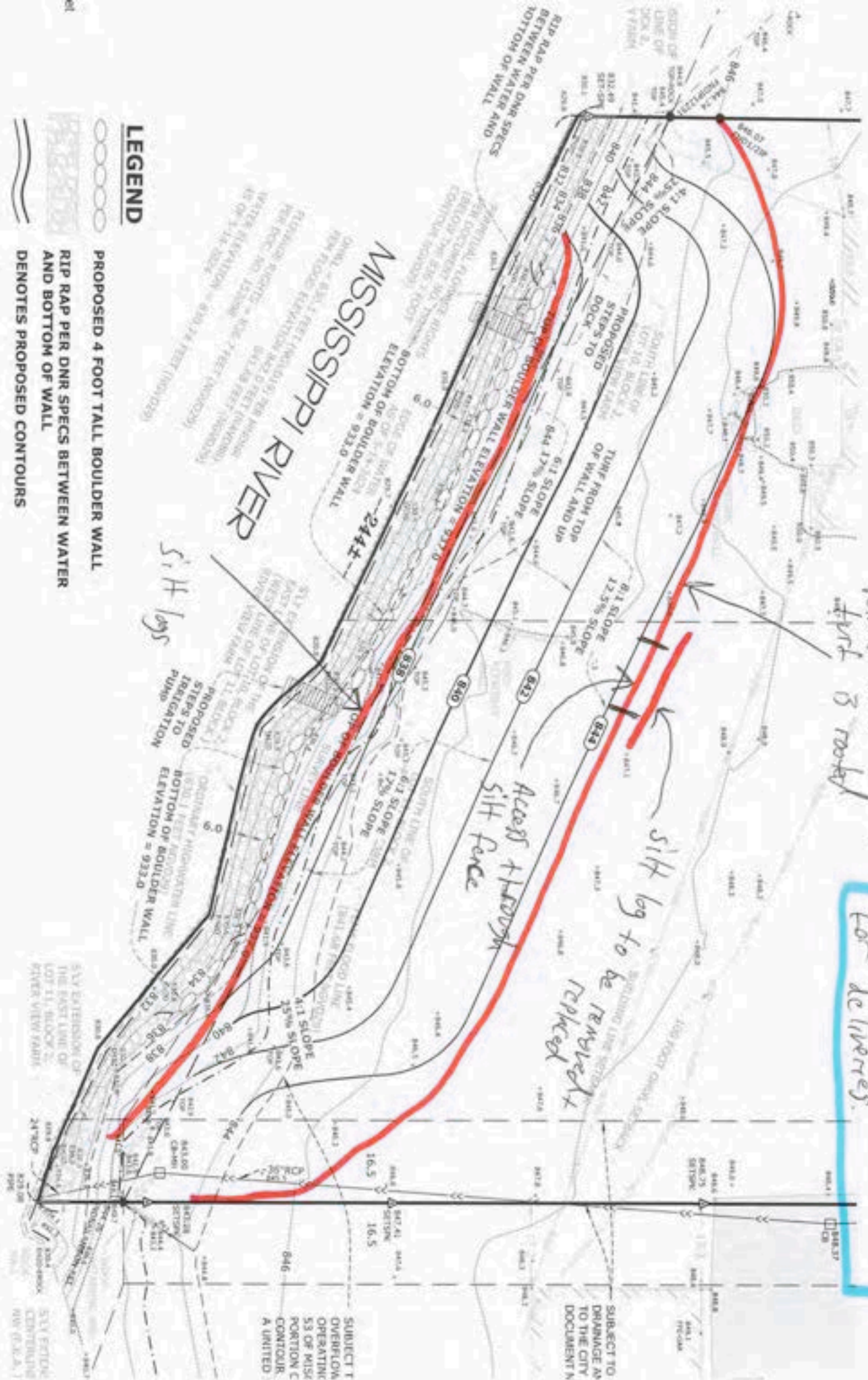


LEGEND

-  PROPOSED 4 FOOT TALL BOULDER WALL
-  RIP RAP PER DNR SPECS BETWEEN WATER AND BOTTOM OF WALL
-  DENOTES PROPOSED CONTOURS

SUBJECT TO THE RECORDS AND UTILITY TO THE CITY OF CO DOCUMENT NO. 130

EROSION CONTROL PLAN



Silt Fence to remain in place until April 3 next

Access through silt fence

Silt log to be removed

Use existing asphalt driveway for deliveries.

LEGEND

- PROPOSED 4 FOOT TALL BOULDER WALL
- RIP RAP PER DNR SPECS BETWEEN WATER AND BOTTOM OF WALL
- DENOTES PROPOSED CONTOURS

SUBJECT TO OVERFLOW OPERATIVE 53 OF MISSOURI PORTION C CONTOUR A UNITED

SUBJECT TO DRAINAGE MAP TO THE CITY DOCUMENT N

53' EXTENSION OF THE EAST LINE OF LOT 11, BLOCK 2, RIVER VIEW FAIRBANKS, MINN.



PARENT
Custom Homes, LLC

13654 Van Buren Street NE Suite 400 Ham Lake MN 55304. Phone (612) 282-2380 Brent
brent@parentcustomhomes.com
www.parentcustomhomes.com

Restoration / planting plan

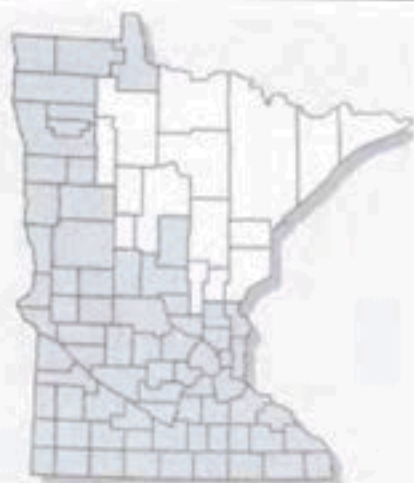
11220 Dakotah St NW Coon Rapids
Updated 7/11/24

The purpose of this work is to stop, repair & prevent the erosion occurring in the riverbank and is the minimum necessary to fix the problem. The vegetation must be removed to install riprap and retaining a wall to stop and prevent erosion. The riprap will be per the DNR's shoreline alterations riprap guideline. From the OHW there will be riprap, then a 4ft tall boulder wall (large boulders), then 6ft of 2-4" rock with an understory planted with a row of Little Bluestem spaced every 2ft (spacing from DNR), then a row of Purple Prairie Cover every 3ft (spacing from DNR), then replace existing lawn. The plant species were selected from the DNR "Restore Your Shore" list to lock & grow together.

Native Plant Encyclopedia



Little Bluestem *Schizachyrium scoparium* var. *scoparium*



Recommended Planting Range

- **Life Form:** Grasses, Sedges and Rushes
- **Habitat:** Upland Moist, Upland Dry
- **Exposure:** Full Sun
- **Height:** 1.0-3.0 ft
- **Spacing:** 1.5-2 ft
- **Flower Color:**
- **Bloom Time:**

(previously: *Schizachyrium scoparium*)

Description

Little bluestem is a dominant grass in North American prairies, especially on drier sites, on sandy or gravelly

Native Plant Encyclopedia



Purple Prairie Clover *Dalea purpurea* var. *purpurea*



Recommended Planting Range

- **Life Form:** Ferns and Wildflowers
- **Habitat:** Upland Moist, Upland Dry
- **Exposure:** Full Sun
- **Height:** 1.0-2.0 ft
- **Spacing:** 2-3 ft
- **Flower Color:** Purplish Pink
- **Bloom Time:** June July

(previously: *Dalea purpurea*)

Description

Purple prairie clover grows in dry to mesic prairies on sandy loam or loam soil. It can do well in slightly

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 13

Applicant/Landowner:

Family Promise in Anoka County
Attn: David Frei
363 Coon Rapids Blvd NW
Coon Rapids, MN 55433

Project Name: Family Promise

Project PAN: P-24-036

Project Purpose: construction of a new multifamily building, parking lot and associated stormwater treatment features

Project Location: 340 95th Avenue NW, Coon Rapids

Site Size: size of parcel - 1.51 acres; size of disturbed area - 0.97 acres; size of regulated impervious surface - 0.47 acres

Applicable District Rule(s): Rule 2, Rule 3, Rule 4

Recommendation: Approve with 2 Conditions and 3 Stipulations

Description: The project proposes the construction of a new multifamily building, parking lot and associated stormwater treatment feature. This project will disturb 0.97 acres and includes 0.47 acres of total regulated impervious. The parcel drains toward Pleasure Creek. The relevant water resource concerns are stormwater treatment and erosion and sediment control. This corresponds to District Rules 3 and 4. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,485.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of

- installation for hydrodynamic separators.
- 2. Completion of a post construction infiltration test on the Infiltration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
- 3. If dewatering is required, provide a DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
Updated Sheet C101	LHB	07/08/2024	07/24/2024
Phase 1 ESA	Terracon	05/14/2024	07/16/2024
Geotechnical Memo	Terracon	05/31/2024	07/08/2024
Geotechnical Engineering Report	Terracon	05/03/2024	07/08/2024
Construction Plans	LHB	07/08/2024	07/16/2024
Stormwater Management Report	LHB	07/16/2024	07/16/2024

Findings

Fees and Escrows (Rule 2.7): The applicant has submitted a \$3,310.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 1.51 acres (\$3,000.00). The applicant will be required to submit a performance escrow in the amount of \$2,485.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (0.97 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG B. The proposed project incorporates soil amendments in accordance with District guidelines.

Rate Control: Peak stormwater flow rate at each point of site discharge does not increase from the pre-development condition for the 24-hour precipitation event with a return frequency of 2-, 10-, 100- years as shown in Table 1. The project will not impact Drainage Sensitive Use areas. The rate control standard is met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
95th Ave	0.59	0.59	1.35	1.35	3.26	3.26
94th Ave	1.39	0.7	3.62	1.58	9.47	9.37

Table 1.

Volume Control:

The application proposes redevelopment which disturbs more than 50% of the site or reconstructs more than 50% of the existing impervious surface, therefore the volume reduction requirement is equal to 1.1 inches over the area of all impervious surface including existing impervious surface that is not proposed to be reconstructed. The amount of proposed impervious required to be treated is 20,604 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
Untreated (P1)	1,307	none	0	119	0
Infiltration Basin (P3)	15,638	Infiltration Basin	1	1,433	4,340
P2	3,659	Overland flow per section 3.3.3.3 of District Rules	1	335	335
Totals:	20,604			1,887	4,675

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
Rain Guardian	Rain Guardian	80

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

The volume control standard has not been met as shown in Table 2. A small portion of the drive entrance cannot be routed to a treatment feature; therefore, the volume control standard has been met to the maximum extent practicable.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
94th Ave	100
95th Ave	100

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is new development which includes buildings and habitable structures. Therefore, SMPs must be designed such that the lowest basement floor elevations are at least 2 feet above the 100-yr high water level and 1 foot above the emergency overflow. The lowest basement floor elevation proposed is 892 ft MSL. The applicable 100-year high water level is at 888.8 ft MSL and the applicable emergency overflow is at 888.25 ft MSL. The freeboard requirement is met.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to Pleasure Creek. The soils affected by the project includes Sartell and does not have a soil erodibility factor of 0.15 or greater. Disturbed areas are proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes rock construction entrance, perimeter control, street sweeping and inlet protection. The erosion control plan meets District Requirements. See attached Figure 3: Erosion & Sediment Control Plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

The proposed project does not include land disturbing activities within the floodplain as mapped and modeled by the District. Rule 6.0 does not apply.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

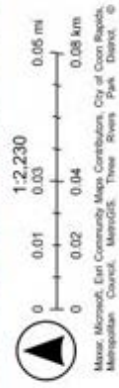
Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

The proposed project is not requesting a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

P24-036



7/29/2024

Figure 1: Project Location

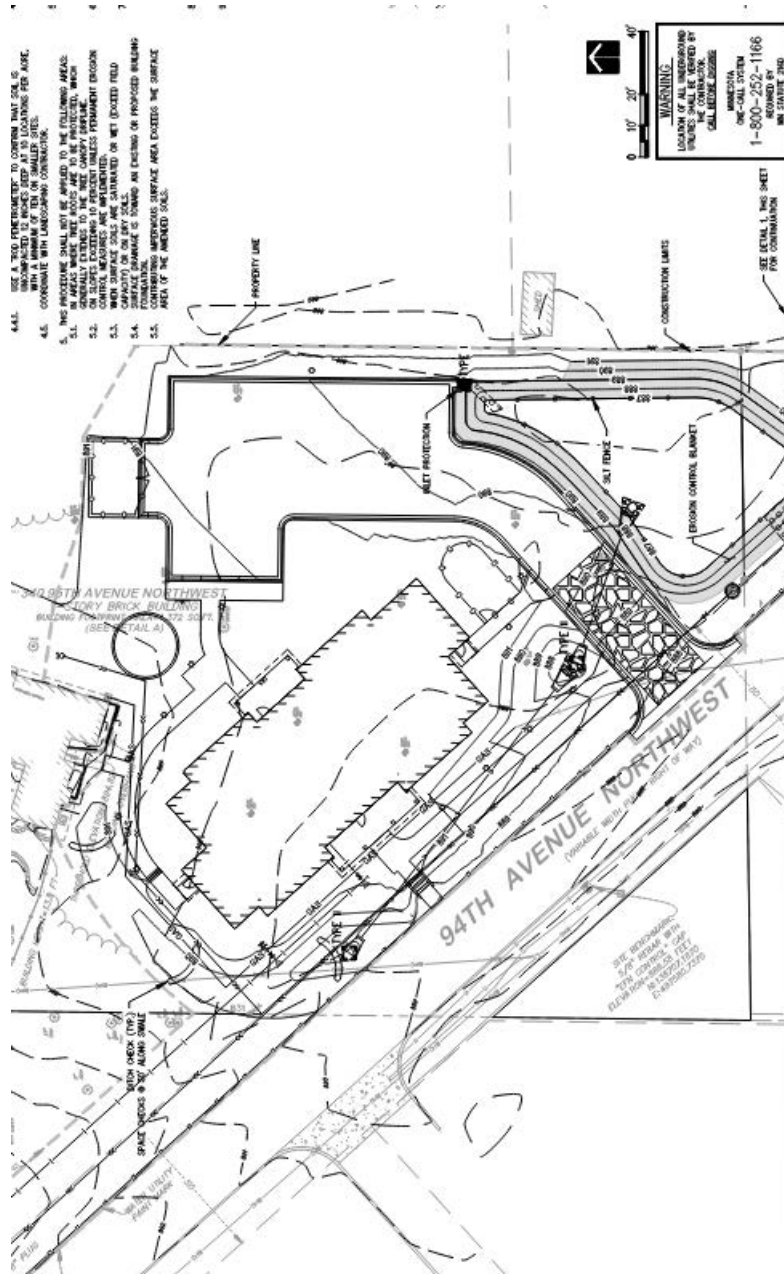


Figure 2: Site Plan

TOPOGRAPHIC SURVEY FOR: Family Promise in Anoka County

LEGAL DESCRIPTION:

Per Commitment for Title Insurance prepared by West Title, LLC as agent for American Land Title Association, Commitment Nos. 221040487 dated October 20, 2022 at 7:00 AM.

PARCEL 1:

That part of the Southeast Quarter of Section 25, Township 31, Range 24, described as follows: Commencing at a point 1,034.45 feet South from the North line of said Southeast Quarter as measured along a line 230.8 feet East of the West line of said Southeast Quarter; thence South parallel with said West line 752 feet; thence East parallel with North line of said Southeast Quarter 210.6 feet; thence North parallel with said West line 752 feet; thence West parallel with said North line 210.6 feet to the point of beginning.

Excepting that part of the following described public street, said permanent street right-of-way being 25 feet on both sides of the following described line: Beginning at a point on the Southeastery line of Lot 22, Block 1, Twin City Terrace, 20 feet Southwesterly of and perpendicular to the Northeastery line of said lot 22; thence in a Northwesterly direction and parallel to the Northeastery line of Lots 22, 21 and 20 said addition to point of curvature, said point beginning on the Southeastery line of said Lot 19, thence on a curve to the right (Radius = 143.00 feet, central angle = 42 degrees, 52 minutes, 00 seconds) a distance of 106.98 feet to a point of reverse curvature, thence along a curve to the left (Radius = 201.49 feet, central angle = 42 degrees, 52 minutes, 00 seconds) a distance of 150.75 feet; thence in a Northwesterly direction parallel to the Northeastery right-of-way line of Coon Rapids Boulevard 432.64 feet and there terminating.

And, excepting that part taken for highway purposes by Minnesota D O T, Right-of-Way Plat No. 02-3

PARCEL 2:

Tract D, Registered Land Survey No. 188.

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: April 04, 2024.

Date of signature: April 23, 2024.

Logan Selinski

Minnesota License No. 60082

lselinski@efnsurvey.com

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Anoka County coordinate grid (NAD 83-2011 Adj).
- The legal description and easement information used in the preparation of this survey is based on the Commitments for Title Insurance prepared by West Title, LLC, Commitment Nos. 221040487 dated October 20, 2022 at 7:00 AM.
- The total area of the property described herein is 65,988 square feet or 1.51488 acres. The area of Parcel 1 is 61,751 square feet or 1.41761 acres. The area of Parcel 2 is 4,237 square feet or 0.09727 acres.
- The address of the property described herein is 340 95th Avenue Northwest, Coon Rapids, Minnesota 55433.
- The property described herein lies within Flood Zone "X" (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27003C 0319 E, dated December 16, 2015.
- Existing utilities, services and underground structures shown herein were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 223132511. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- This survey shows only those improvements visible during the field survey, some structures and improvements covered by ice and snow, or underground may not be shown.
- The contours depicted herein are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.

SITE BENCHMARK: Top nut of hydrant located on the northeastery side of 94th Avenue Northwest
Elevation = 896.94 feet. (NAVD88)

SITE BENCHMARK: Top of 5/8" X 14" rebar w/ plastic cap labeled "EFN Control" located on the southwesterly side of 94th Avenue Northwest.
Elevation = 888.58 feet. (NAVD88)

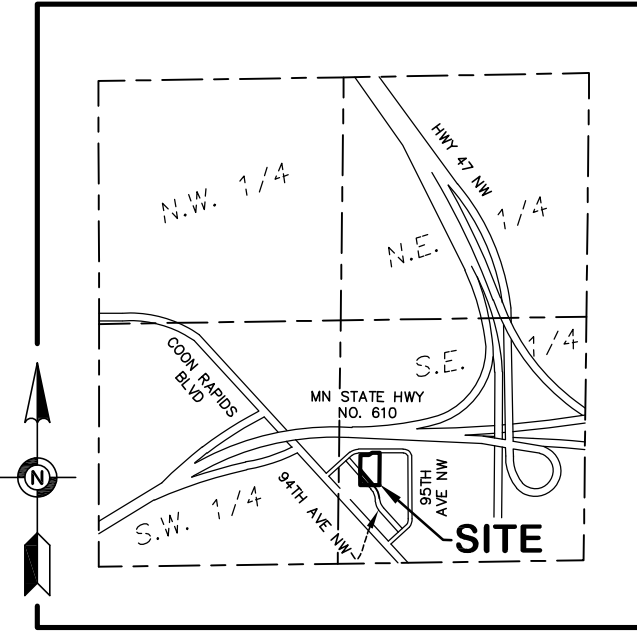
SITE BENCHMARK: Top of 5/8" X 14" rebar w/ plastic cap labeled "EFN Control" located on the north side of 95th Avenue Northwest
Elevation = 893.20 feet. (NAVD88)

GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket No. 223132511.

Company Name	Customer Service
ARVO	(218)346-8248
ANOKA COUNTY COMCAST	(763)324-3100
CITY OF COON RAPIDS CENTURYLINK - CTLOL	(763)767-6479
CONEXUS ENERGY	(877)366-8344
CENTER POINT ENERGY	(763)323-2600
MNDOT	(612)321-4421
NORTHERN NATURAL GAS	(651)366-5750
XCEL ENERGY	(402)398-7592
ZAYO BANDWIDTH	(800)856-4998
	(801)364-1083

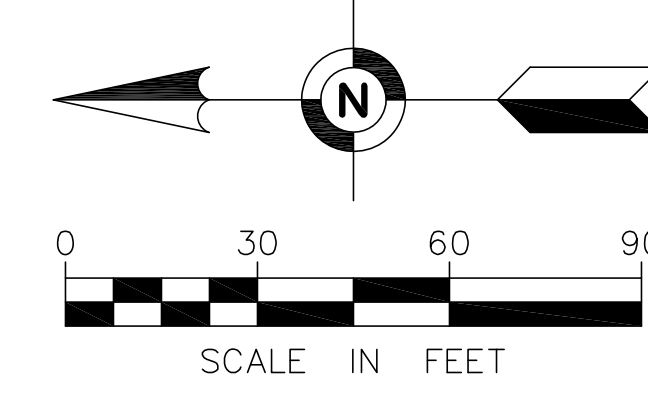
SECTION 25, T 31 N, R 24 W



VICINITY MAP
NO SCALE

LEGEND:

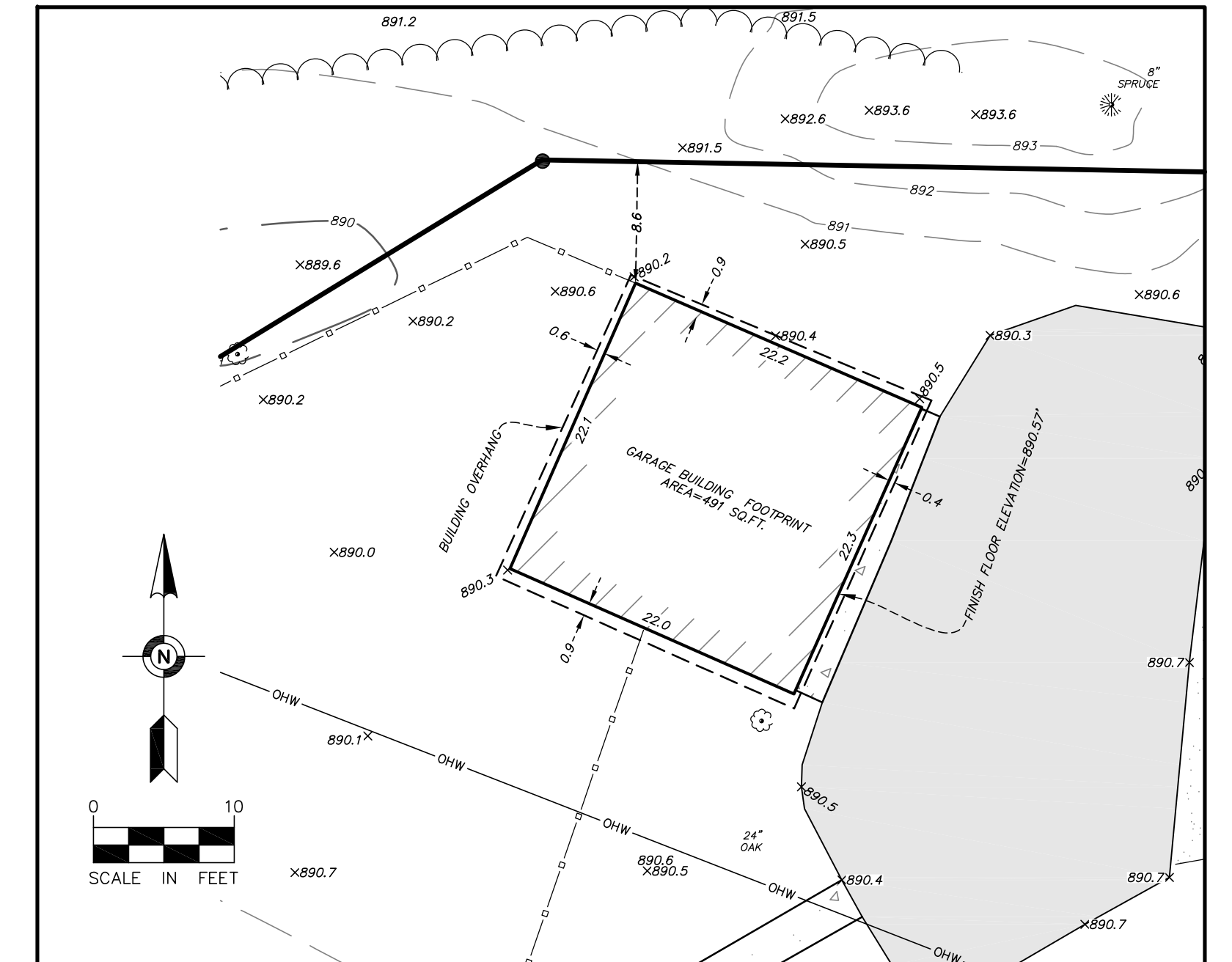
	BENCHMARK
	CATCH BASIN
	AIR CONDITIONER
	ELECTRIC METER
	UTILITY POLE
	GUY WIRE
	POWER POLE WITH LIGHT
	GAS METER
	SIGN
	MAILBOX
	BORING
	CHAIN LINK FENCE
	WIRE FENCE
	WOOD FENCE
	STORM SEWER
	WATERMAIN
	OVERHEAD WIRE
	UNDERGROUND GAS
	TRELLIS
	WALL
	SPOT ELEVATION
	EXISTING CONTOUR LINE
	TREE
	BITUMINOUS SURFACE
	CONCRETE SURFACE
	LANDSCAPED SURFACE



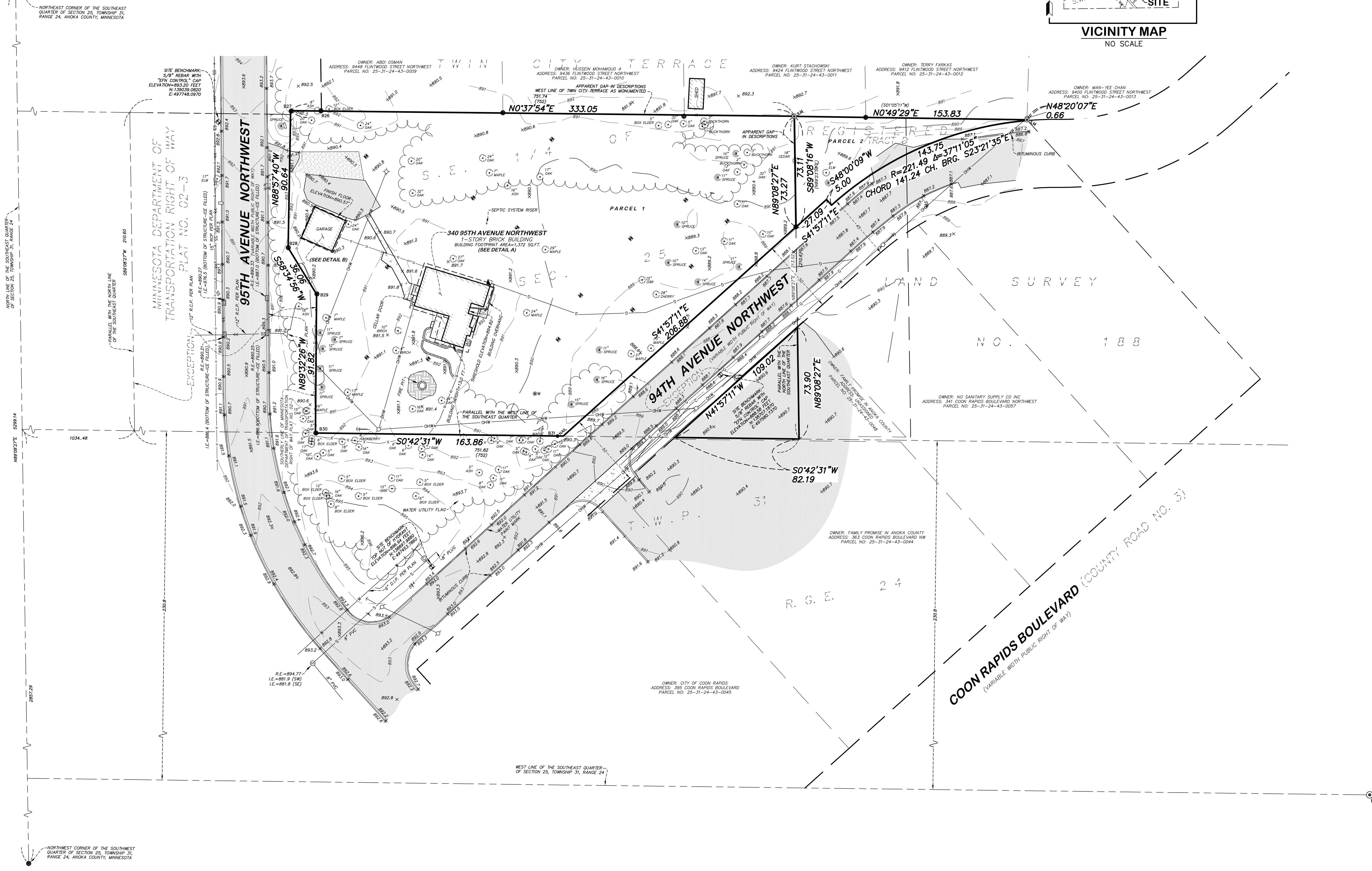
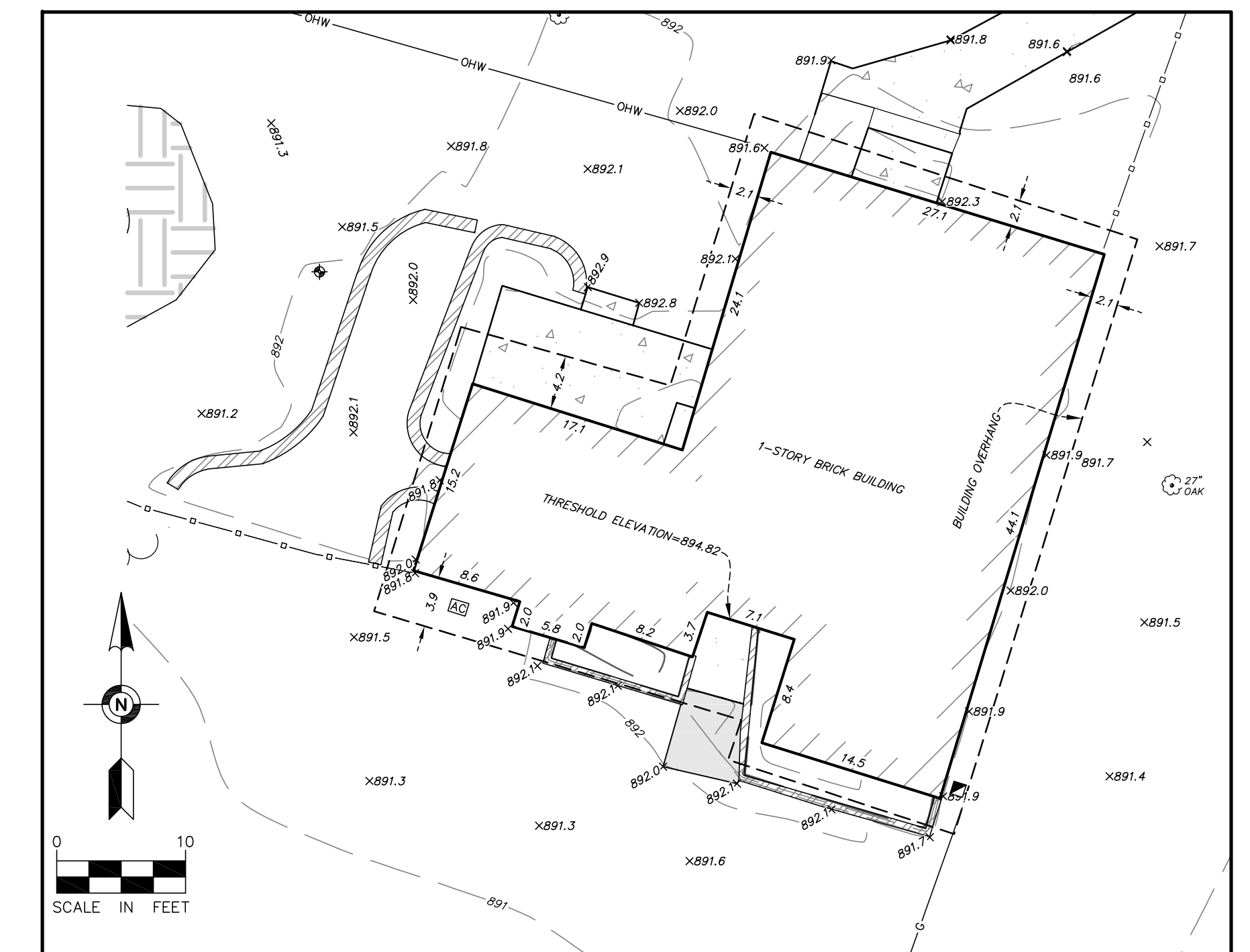
SCALE IN FEET

FOUND CAST IRON MONUMENT
 FOUND JUDICIAL LANDMARK
 FOUND IRON MONUMENT
 FOUND NAIL
 RECORD DISTANCE
 RECORD BEARING
 CORNER PER MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 02-3

DETAIL B



DETAIL A



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		AV	NO.	DATE	DESCRIPTION
		DRAWN BY:	1	6/19/2024	Additional Topo on 94th and 95th quadrant.
		RR			
		CHECKED BY:			
		LS			

TOPOGRAPHIC SURVEY

SURVEY FOR:
Family Promise in Anoka County

PROPERTY ADDRESS:
**340 95th Avenue Northwest
Coon Rapids, Minnesota 55433**

EFN 475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55122
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM

Egan, Field & Nowak, Inc. COPYRIGHT © 2024 BY EGAN, FIELD & NOWAK, INC.
land surveyors since 1872

CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
 363 COON RAPIDS BLVD NW
 COON RAPIDS, MN 55433

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

PRELIMINARY
 NOT FOR CONSTRUCTION
 07/08/2024

COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
 COON RAPIDS, MN 55433

DRAWING TITLE:
REMOVALS & INITIAL EROSION CONTROL PLAN

DRAWN BY: DPG
 CHECKED BY: MMW
 PROJ. NO.: 230138
 DRAWING NO.:

C101

LEGEND

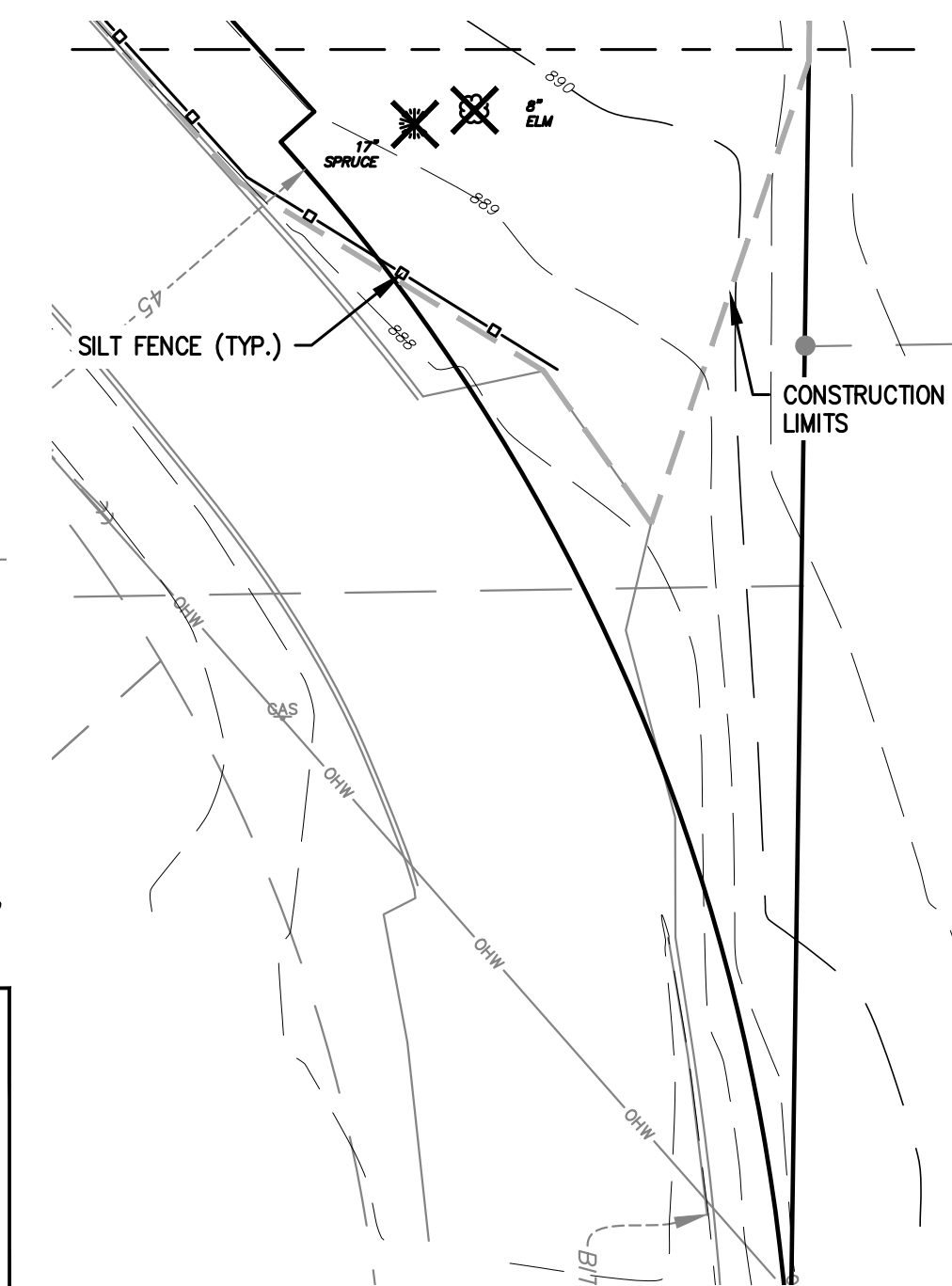
- CONSTRUCTION LIMITS
- ROCK CONSTRUCTION ENTRANCE, SEE 1/C501
- SILT FENCE, SEE 6/C501
- TYPE I INLET PROTECTION, SEE 5/C501
- TREE PROTECTION, SEE 2/C501
- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE
- REMOVE TREE
- CLEAR & GRUB

GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL WORK IN THE RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. SEE PROJECT MANUAL FOR REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THE PROJECT LOCATION WITH SITE INTERFACES INCLUDING BUT NOT LIMITED TO UTILITIES, SIDEWALKS, EXISTING GRADES AND PROPOSED GRADES. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTING THE WORK. NOTIFY THE ENGINEER IF FIELD CONDITIONS VARY FROM THE PLAN.
- ALL BITUMINOUS AND CONCRETE REMOVAL LIMITS SHALL BE SAW CUT TO A NEAT LINE PRIOR TO PLACEMENT OF ANY NEW MATERIAL AGAINST EXISTING EDGES.
- REMOVE ALL CONCRETE PAVEMENT, CONCRETE CURB AND CONCRETE CURB AND GUTTER TO NEAREST EXISTING JOINT. PARTIAL PANEL REPLACEMENT IS NOT PERMITTED. ANY PANEL DAMAGED DUE TO CONSTRUCTION ACTIVITIES SHALL BE FULLY REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS DESIGNATED TO REMAIN. ANY PAVEMENTS DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

EROSION CONTROL NOTES

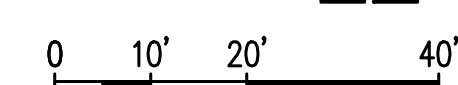
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON THIS PROJECT. THE EROSION CONTROL DEVICES SHOWN IN THESE DRAWINGS ARE THE MINIMUM REQUIREMENTS. CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND AS NECESSARY TO PREVENT THE RUNOFF, TRACKING OR LOSS OF SOIL MATERIALS FROM DISTURBED AREAS ON THE PROJECT SITE.
- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS OTHERWISE DISTURBED ON THE SITE.
- THE SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES ARE THE MINIMUM. ADDITIONAL SEDIMENT CONTROL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.
- PUBLIC AND PRIVATE DRIVES SHALL BE SWEEPED CLEAR AS NEEDED TO KEEP THE PAVEMENT CLEAR OF SEDIMENT AND CONSTRUCTION DEBRIS.
- REFER TO SHEET C102 FOR EROSION AND SEDIMENT CONTROL TO BE INSTALLED AFTER CONSTRUCTION OF SITE FEATURES.
- CONTRACTOR TO LOCATE CONCRETE WASHOUT FACILITY ON SITE AND PROTECT SITE AND ADJACENT PROPERTY FROM CONCRETE WASHOUT RUNOFF.



1 VIEW EXPANSION

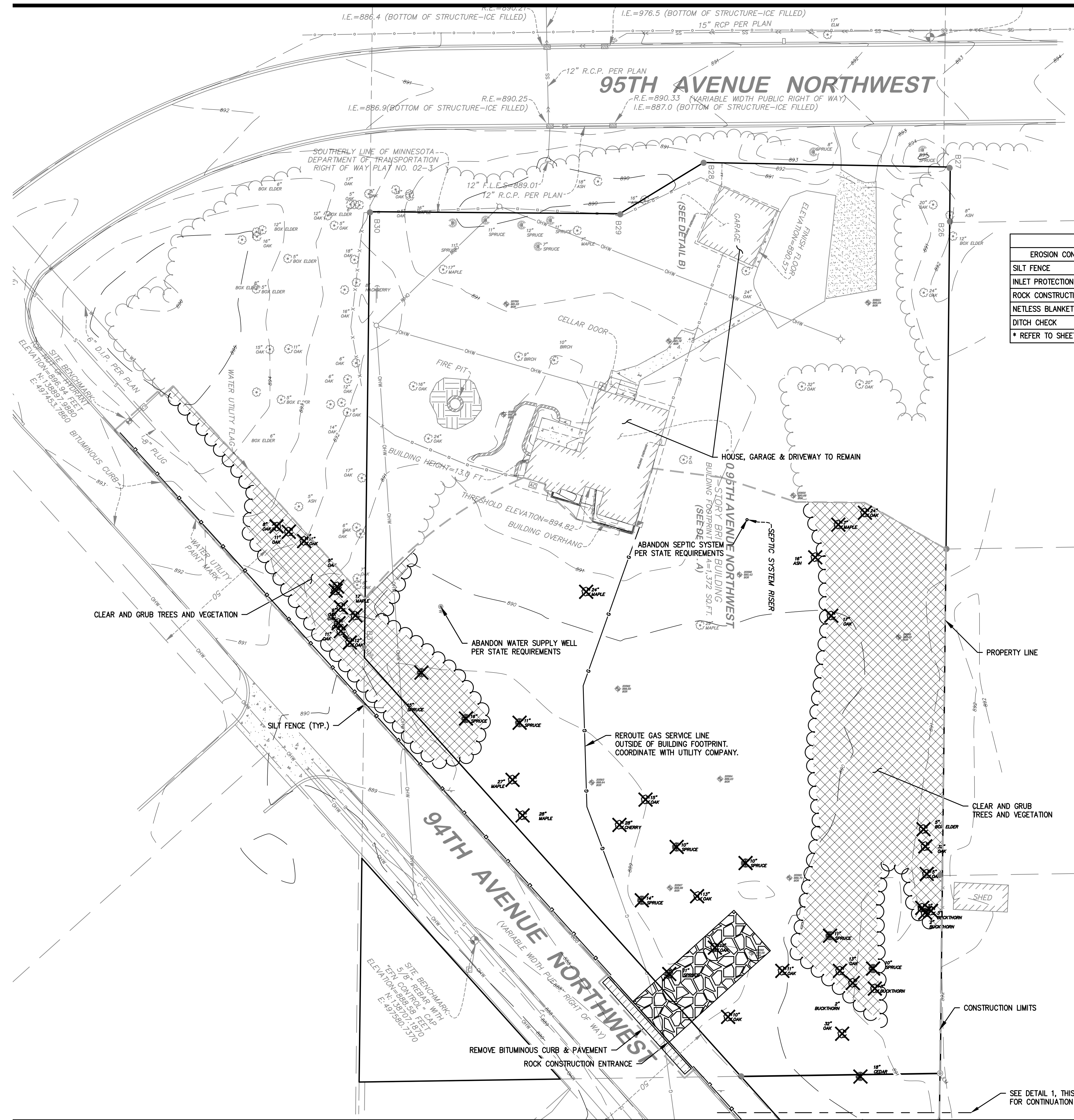
ESTIMATED QUANTITIES		
EROSION CONTROL MEASURE	QTY	MEASURE
SILT FENCE	600	LF
INLET PROTECTION	3	EACH
ROCK CONSTRUCTION ENTRANCE	1	EACH
NETLESS BLANKET	2597	SF
DITCH CHECK	3	EACH

* REFER TO SHEETS C101-102, L101



WARNING
 LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. CALL BEFORE DIGGING.
 MINNESOTA ONE-CALL SYSTEM
 1-800-252-1166
 REQUIRED BY MN STATUTE 216D

SEE DETAIL 1, THIS SHEET FOR CONTINUATION



File Path: \\20136500\Drawings\CAD\2024\C101 Removals & EC Planning
 Plot Date: 9/29/2024 4:29 PM



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

SOIL AMENDMENT PROCEDURE

- SOILS DISTURBED BY THE CONTRACTOR'S OPERATIONS WITH IN THE PROJECT LIMITS THAT ARE INTENDED TO SUPPORT PERVIOUS SURFACES SHALL BE AMENDED TO MITIGATE FOR SOIL COMPACTION PER THE COON CREEK WATERSHED DISTRICT (CCWD) SOIL AMENDMENT GUIDELINES.
- CONTRACTOR SHALL SUBMIT AN AMENDED SOILS WORK PLAN TO CCWD STAFF AT PRECONSTRUCTION MEETING. AMENDED SOILS WORK PLAN SHALL INCLUDE INFORMATION ON METHOD, EQUIPMENT TO BE USED, PHASING, NAME OF RESTORATION SUBCONTRACTOR, AND OTHER INFORMATION RELEVANT TO ENSURING THE GOAL OF THE AMENDED SOILS WILL BE MET. FINAL APPROVAL WILL NOT BE GRANTED WITHOUT A SATISFACTORY AMENDED SOILS WORK PLAN.
- SOILS AMENDMENT PROCEDURE OPTION E: STOCKPILE SITE SOILS, REAPPLY, AND AMEND IN PLACE.
 - ONLY APPLICABLE WHERE THE SOIL IS NOT THE ORIGINAL, UNDISTURBED SOIL NATIVE TO THE SITE.
 - REMOVE SOIL AND STOCKPILE IN AN APPROVED LOCATION PRIOR TO GRADING.
 - AFTER GRADING AND OTHER DISTURBANCES ARE COMPLETED, REAPPLY SOIL TO A MINIMUM 6-INCH DEPTH FOR HSG A OR 12-INCH DEPTH FOR ALL OTHER SOIL TYPES.
 - BEFORE APPLYING THE TOPSOIL MIX, TILL THE COMPACTED SUBSOIL AT LEAST 2 INCHES DEEP OR ROTOTILL SOME OF THE NEWLY APPLIED TOPSOIL INTO THE SUBSOIL.
 - APPLY A LAYER OF COMPOST TO THE REAPPLIED SOILS TO A MINIMUM 2.5-INCH DEPTH. USE MNDOT 3890 GRADE 2 CERTIFIED COMPOST. THE COMPOST SHALL NOT CONTAIN ANY BIOSOLID/MIXED MUNICIPAL COMPOST/ANIMAL MANURE COMPONENTS.
 - RETAIN COMPOST TEST RESULTS AND RECEIPTS FOR COMPOST DELIVERED TO THE SITE.
 - ROTOTILL COMPOST INTO SOIL TO A DEPTH OF AT LEAST 8 INCHES.
- INSPECTION AND TESTING
 - COMPARE SITE CONDITIONS WITH THE APPROVED PLAN SET.
 - ENSURE SITE CONDITIONS MATCH APPROVED DRAWINGS.
 - VERIFY THAT THE AMENDED SOILS HAVE BEEN FENCED OFF TO PREVENT COMPACTION.
 - INSPECT DELIVERY TICKETS FOR COMPOST AND TOPSOIL. THE CONTRACTOR MUST PROVIDE ORIGINAL DELIVERY TICKETS AND NECESSARY SOILS TESTS TO VERIFY SITE CONDITIONS.
 - VERIFY DEPTH OF AMENDED SOILS AND SCARIFICATION:
 - DIG AT LEAST ONE TEST HOLE PER ACRE TO VERIFY 8-INCH TOPSOIL DEPTH.
 - THE TOP 8 INCHES SHOULD BE EASY TO DIG USING A GARDEN SPADE AND BE DARK IN COLOR.
 - CHECK SOIL DEPTH IN SEVERAL SPOTS:
 - USE A "ROD PENETROMETER" TO CONFIRM THAT SOIL IS UNCOMPACTED 12 INCHES DEEP AT 10 LOCATIONS PER ACRE, WITH A MINIMUM OF TEN ON SMALLER SITES.
 - COORDINATE WITH LANDSCAPING CONTRACTOR.
- THIS PROCEDURE SHALL NOT BE APPLIED TO THE FOLLOWING AREAS:
 - IN AREAS WHERE TREE ROOTS ARE TO BE PROTECTED, WHICH GENERALLY EXTENDS TO THE TREE CANOPY DRILLINE.
 - ON SLOPES EXCEEDING 10 PERCENT UNLESS PERMANENT EROSION CONTROL MEASURES ARE IMPLEMENTED.
 - WHEN SURFACE SOILS ARE SATURATED OR WET (EXCEED FIELD CAPACITY) OR ON DRY SOILS.
 - SURFACE DRAINAGE IS TOWARD AN EXISTING OR PROPOSED BUILDING FOUNDATION.
 - CONTRIBUTING IMPERVIOUS SURFACE AREA EXCEEDS THE SURFACE AREA OF THE AMENDED SOILS.

LEGEND

- CONSTRUCTION LIMITS
- SILT FENCE, SEE 6/C501
- TYPE I INLET PROTECTION, SEE 5/C501
- EROSION CONTROL BLANKET, SEE GENERAL NOTE 4 & 3/C501.
- TURF TRANSITION MAT, SEE 7/C501.
- RIPRAP
- DITCH CHECK, SEE 4/C501

GENERAL NOTES

- SEDIMENT AND EROSION CONTROL MEASURES INDICATED ON SHEET C101 ARE TO BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- REFER TO LANDSCAPE PLAN FOR PERMANENT TURF ESTABLISHMENT REQUIREMENTS.
- SEE SHEETS C101 FOR INITIAL EROSION CONTROL PLAN.
- SLOPES TO BE STABILIZED WITH MNDOT CATEGORY 20 BLANKET AND BIODEGRADABLE STAPLES OR APPROVED EQUAL. NETTING AND METAL STAPLES WILL NOT BE ALLOWED.

STORMWATER BMP NOTES

- EXCAVATION OF INFILTRATION AREAS SHALL BE COMPLETED USING A BACKHOE WITH A TOOTHED BUCKET. WHERE POSSIBLE, EXCAVATION SHALL BE DONE FROM THE SIDES AND OUTSIDE THE FOOTPRINT OF THE INFILTRATION AREA TO AVOID SOIL COMPACTION.
- NATIVE SOILS IN INFILTRATION AREAS SHALL BE DE-COMPACTED TO A MINIMUM DEPTH OF 18 INCHES BELOW THE SUBGRADE.
- CONTRACTOR SHALL NOT COMPACT THE SUBGRADE BENEATH THE INFILTRATION SYSTEM.
- INFILTRATION PERIMETER CONTROL AND EROSION CONTROL PRACTICES SHALL REMAIN IN PLACE UNTIL THE FINAL COMPLETION OF THE PROJECT OR VEGETATION HAS BEEN ESTABLISHED (WHICHEVER IS LATER).
- INSTALLATION OF INFILTRATION PRACTICES SHALL BE DONE DURING PERIODS OF DRY WEATHER AND COMPLETED BEFORE A RAINFALL EVENT. PLACEMENT OF ENGINEERED SOILS SHALL BE ON DRY NATIVE SOIL ONLY.
- THE BOTTOM EXCAVATION SURFACE OF INFILTRATION/FILTRATION AREAS SHALL BE LEVEL WITHOUT DIPS OR SWALES.
- DURING CONSTRUCTION, STORMWATER MUST BE ROUTED AROUND INFILTRATION AREAS UNTIL ALL CONSTRUCTION ACTIVITY HAS CEASED AND TRIBUTARY SURFACES ARE CLEARED OF SEDIMENT. IT IS REQUIRED THAT IMPERVIOUS AREA CONSTRUCTION IS COMPLETED, AND PERVIOUS AREA ESTABLISHED WITH DENSE AND HEALTHY VEGETATION PRIOR TO INTRODUCTION OF STORMWATER INTO A VEGETATED INFILTRATION PRACTICE.
- ENGINEERED SOIL SHALL REMAIN UNCONTAMINATED (NOT MIXED WITH OTHER SOIL) BEFORE AND DURING INSTALLATION.
- TESTING DURING CONSTRUCTION: PRIOR TO COMPLETION OF THE STORMWATER INFILTRATION BEST MANAGEMENT PRACTICES (BMPs), FIELD INFILTRATION TESTS SHALL BE COMPLETED TO CONFIRM THE INFILTRATION RATE. REFER TO SPECIFICATION SECTION 31 2323 FOR ADDITIONAL REQUIREMENTS.



CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
 363 COON RAPIDS BLVD NW
 COON RAPIDS, MN 55433

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO	DATE	REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
 07/08/2024

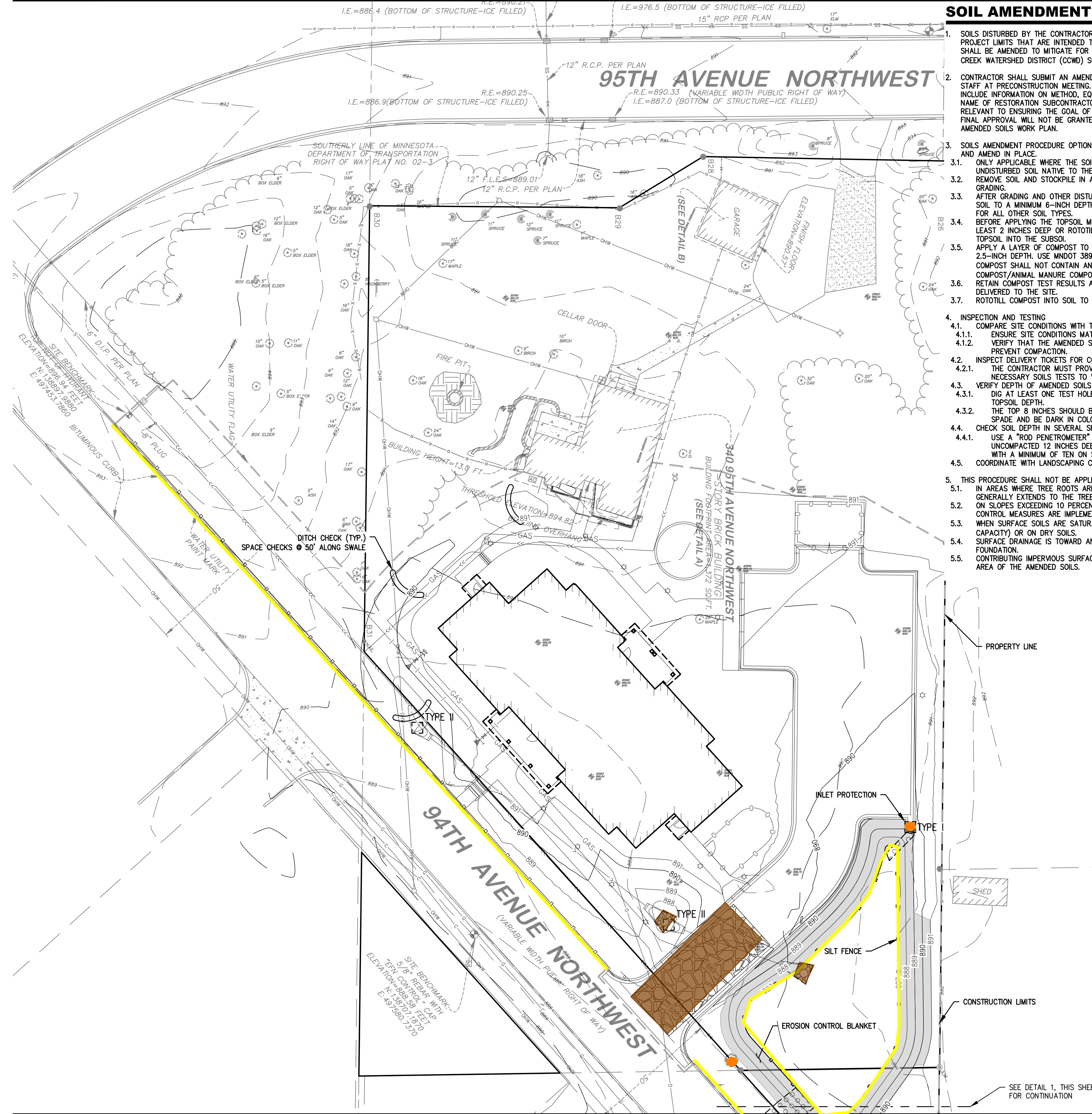
COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
 COON RAPIDS, MN 55433

DRAWING TITLE:
PROPOSED EROSION CONTROL PLAN

DRAWN BY: DPG
 CHECKED BY: MMW
 PROJ. NO.: 230138
 DRAWING NO.: **C102**



0 10' 20' 40'

WARNING
 LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. CALL BEFORE DIGGING.

MINNESOTA ONE-CALL SYSTEM
1-800-252-1166
 REQUIRED BY MN STATUTE 216D

1 VIEW EXPANSION

File Path: \\20138500\Drawings\CAD\230138 C102 Prop ECD.dwg
 Plot Date: 9/29/2024 4:29 PM



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
363 COON RAPIDS BLVD NW
COON RAPIDS, MN 55433

LEGEND

- CONSTRUCTION LIMITS
- STORM SEWER
- DRAIN TILE
- RAIN GUARDIAN
- CATCH BASIN
- STORM MANHOLE
- CLEANOUT
- TRENCH DRAIN
- SANITARY SEWER
- SANITARY MANHOLE
- WATER MAIN OR SERVICE
- THRUST BLOCK
- GAS SERVICE
- FIRE HYDRANT

GENERAL NOTES

- EXISTING UTILITIES ARE BASED ON RECORD DRAWINGS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. UTILIZE THE "GOPHER STATE ONE CALL SYSTEM" (1-800-252-1166) TO HAVE PUBLIC UTILITIES LOCATED WITHIN THE CONSTRUCTION LIMITS. CONTACT THE OWNER TO LOCATE PRIVATE UTILITIES LOCATED WITHIN THE CONSTRUCTION LIMITS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS.
- SITE LIGHTING IS SHOWN FOR LOCATION ONLY. REFER TO ELECTRICAL SITE PLAN FOR ELECTRICAL ROUTING AND ADDITIONAL REQUIREMENTS.
- UNLESS OTHERWISE NOTED, ALL UTILITY TRENCHES SHALL BE CONSTRUCTED PER 1/C503.
- ADJUST ALL RISERS AND CASTINGS TO FINISH GRADE.
- PREVENT CONSTRUCTION SEDIMENT, DIRT & DEBRIS FROM ENTERING INFILTRATION BMPs.
- TRACER WIRE SHALL BE INSTALLED PER 5/C503 AND INDICATED IN THE PROJECT MANUAL SECTION 33 3113.
- UTILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF COON RAPIDS STANDARD SPECIFICATIONS AND DETAIL PLATES.

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO	DATE	REVISION

**PRELIMINARY
NOT FOR CONSTRUCTION
07/08/2024**

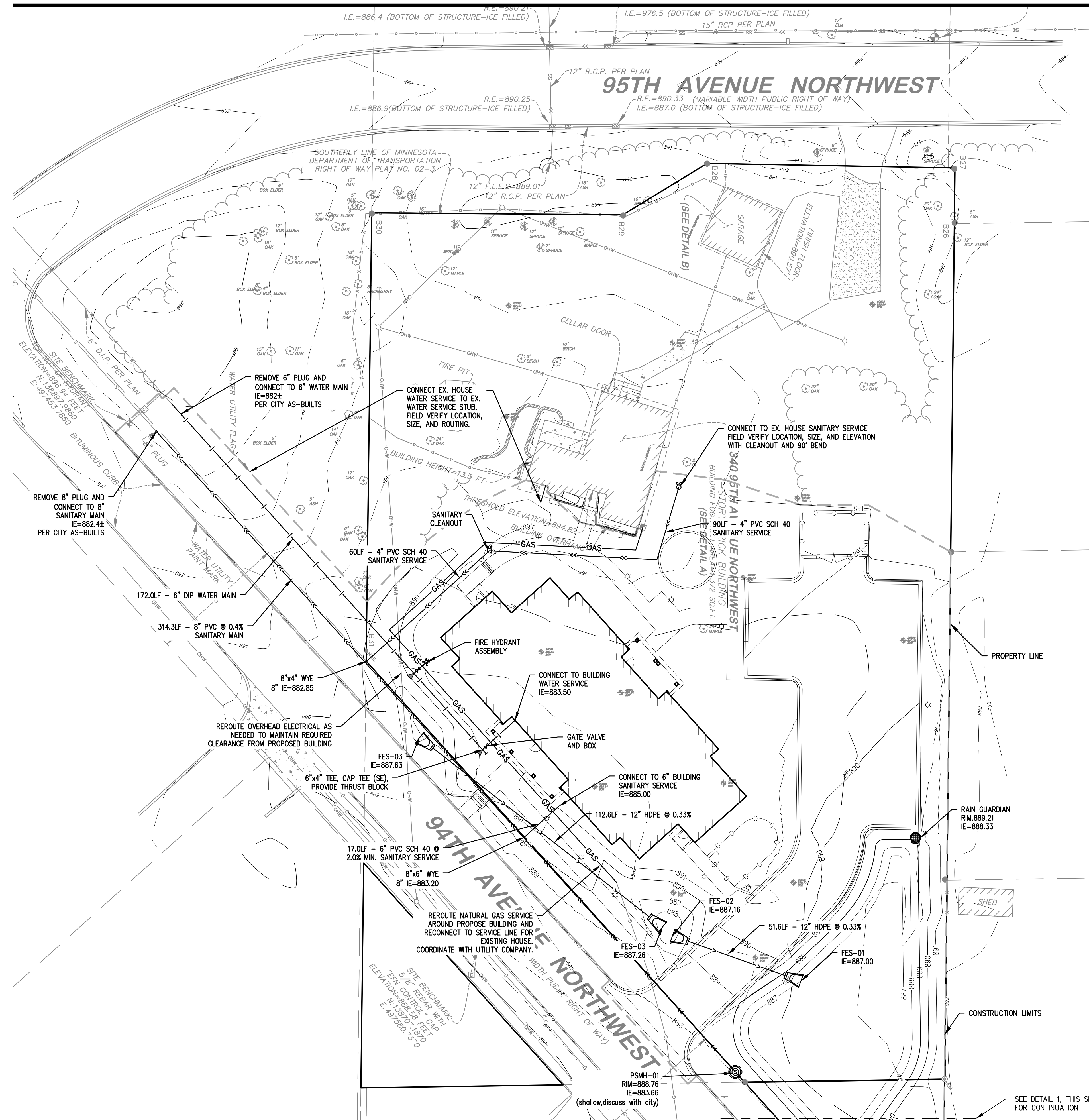
COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
COON RAPIDS, MN 55433

DRAWING TITLE:
UTILITY PLAN

DRAWN BY: DPG
CHECKED BY: MMW
PROJ. NO.: 230138
DRAWING NO.: **C201**



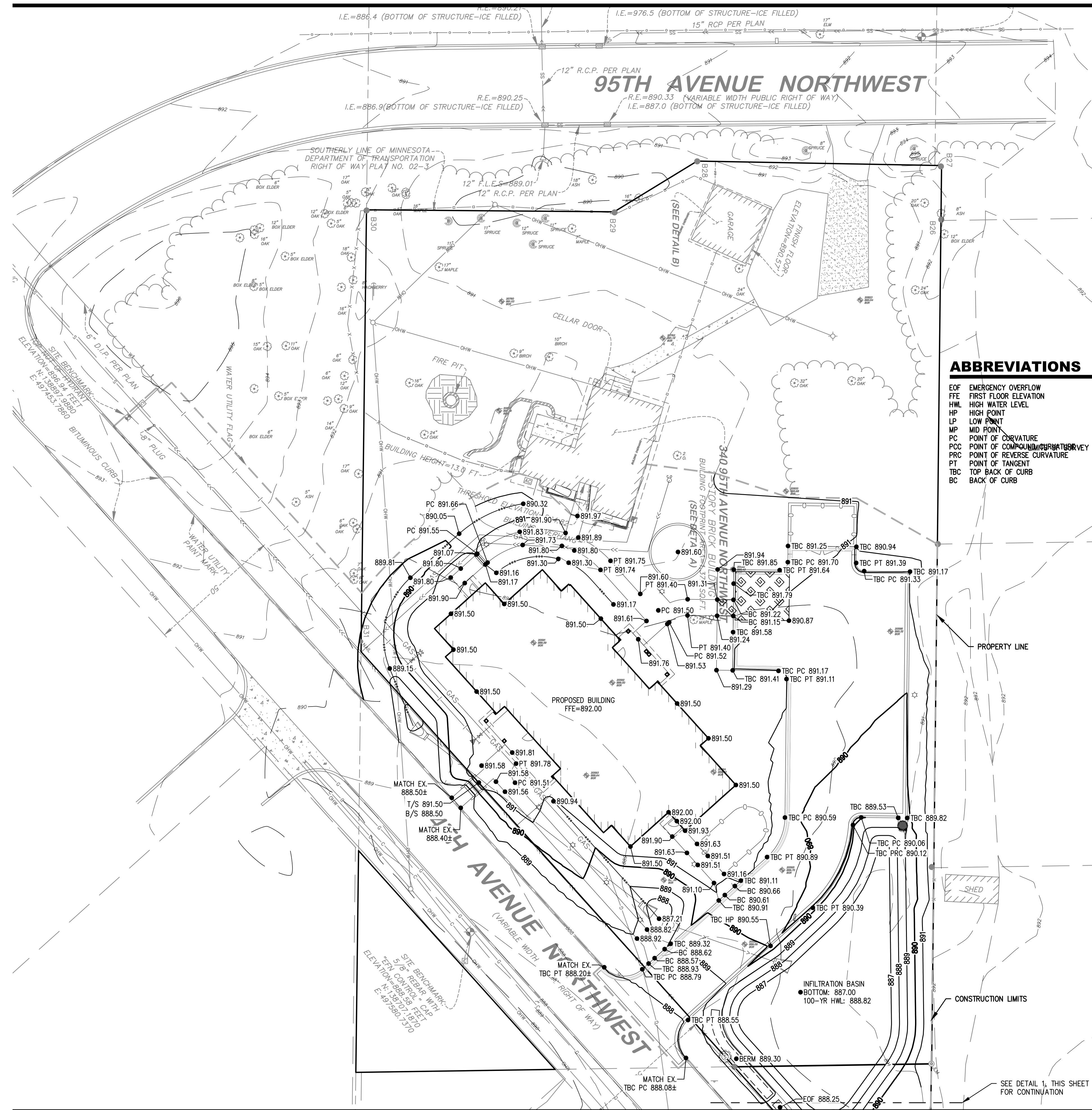
WARNING
LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. CALL BEFORE DIGGING.

MINNESOTA ONE-CALL SYSTEM
1-800-252-1166
REQUIRED BY MN STATUTE 216D

File Path: \\201185600\Drawings\CAD\230138_C201_Utility_Plan.dwg
Plot Date: 9/29/2024 4:29 PM



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029



LEGEND

- CONSTRUCTION LIMITS
- MAJOR CONTOUR (5' INTERVAL)
- MINOR CONTOUR (1' INTERVAL)
- ▲ SLOPE ARROW
- 863.25 SPOT ELEVATION
- GRADE BREAK
- REVERSE GUTTER CURB
- ▨ ADA CRITICAL AREA
- ▨ 2% MAX IN ANY DIRECTION

GENERAL NOTES

1. GRADES SHOWN ARE FINISH SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL MAKE APPROPRIATE DEDUCTIONS FOR VARYING SURFACES TO DETERMINE SUBGRADE ELEVATIONS.
2. SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE TOP BACK OF CURB UNLESS OTHERWISE NOTED.
3. UNLESS NOTED OTHERWISE, GRADES ADJACENT TO THE BUILDING WALL SHALL BE 6" BELOW FINISH FLOOR ELEVATION IN LANDSCAPED AREAS AND AT FINISH FLOOR ELEVATION FOR PAVED AREAS.
4. ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
5. CONTRACTOR SHALL STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
6. SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%. CROSS-SLOPES OF AT LEAST 1.5% IN THE GENERAL DIRECTION OF THE OVERALL SITE SLOPE WILL BE ACHIEVED IN AREAS WHERE LONGITUDINAL SLOPES ARE LESS THAN 1.5%.
7. ONLY PLACE FILL MATERIALS ON COMPETENT, INSPECTED SUBGRADE.
8. IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
9. SEE SHEETS C101-102 FOR THE SEDIMENTATION AND EROSION CONTROL PLANS.
10. PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
11. REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES AND SHRUBS, ETC.
12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLES STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
13. ALL GRADE WITHIN THE LANDSCAPED AREAS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. AROUND THE BUILDING SHALL BE GRADED AT 5% FOR 10'. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 2.0%.
14. PREVENT CONSTRUCTION SEDIMENT, DIRT AND DEBRIS FROM ENTERING INFILTRATION BMP.
15. REFER TO SHEET C102 FOR STORMWATER BMP NOTES AND SOIL AMENDMENT PROCEDURE.

ABBREVIATIONS

- EOF EMERGENCY OVERFLOW
- FFE FIRST FLOOR ELEVATION
- HWL HIGH WATER LEVEL
- HP HIGH POINT
- LP LOW POINT
- MP MID POINT
- PC POINT OF CURVATURE
- PCC POINT OF COMPLETION SURVEY
- PRC POINT OF REVERSE CURVATURE
- PT POINT OF TANGENT
- TBC TOP BACK OF CURB
- BC BACK OF CURB

CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
 363 COON RAPIDS BLVD NW
 COON RAPIDS, MN 55433

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

PRELIMINARY
NOT FOR CONSTRUCTION
 07/16/2024

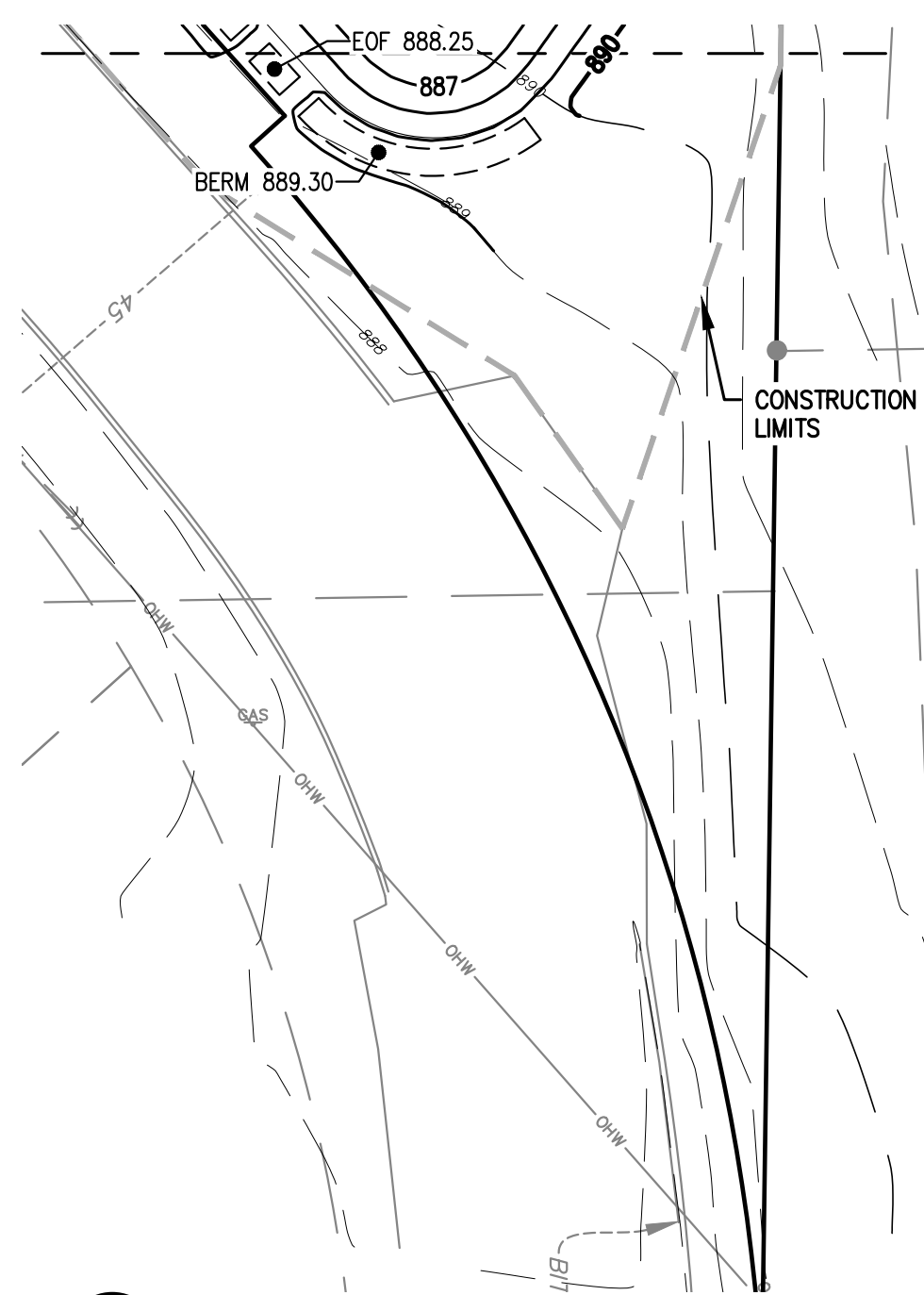
COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
COON RAPIDS, MN 55433

DRAWING TITLE:
GRADING PLAN

DRAWN BY: DPG
 CHECKED BY: MMW
 PROJ. NO.: 230138
 DRAWING NO.:

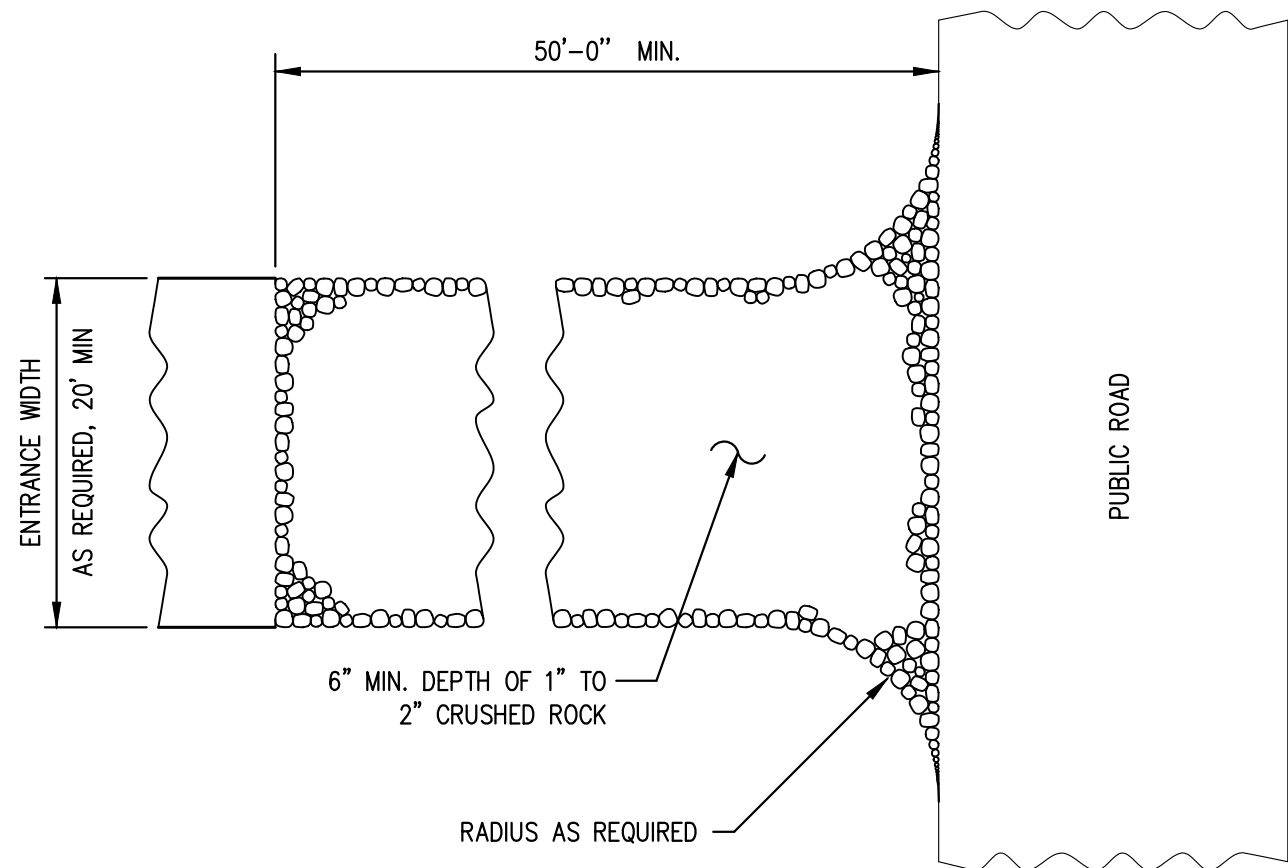


WARNING
 LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. CALL BEFORE DIGGING.

MINNESOTA ONE-CALL SYSTEM
1-800-252-1166
 REQUIRED BY MN STATUTE 216D

File Path: \\20136500 Drawings\CAD\2024\C301 Grading Plan.dwg
Plot Date: 9/29/2024 4:29 PM

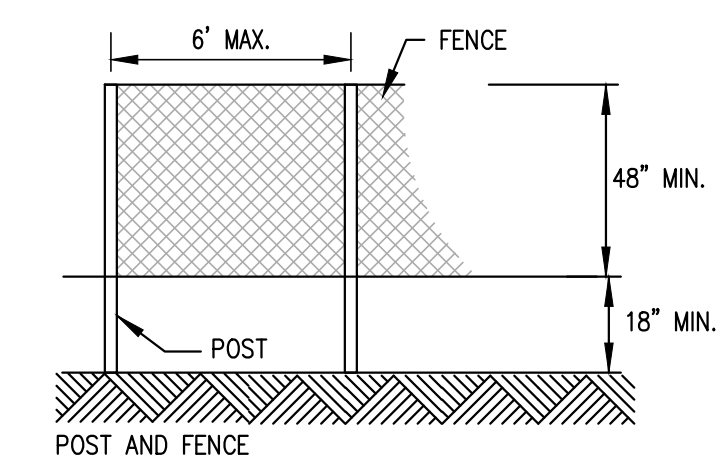
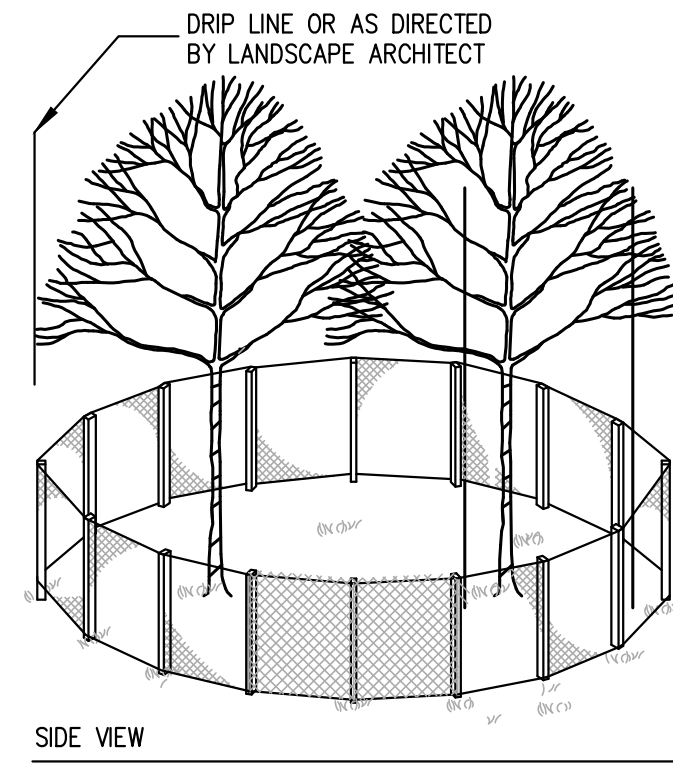
C301



CONSTRUCTION ENTRANCE SPECIFICATIONS

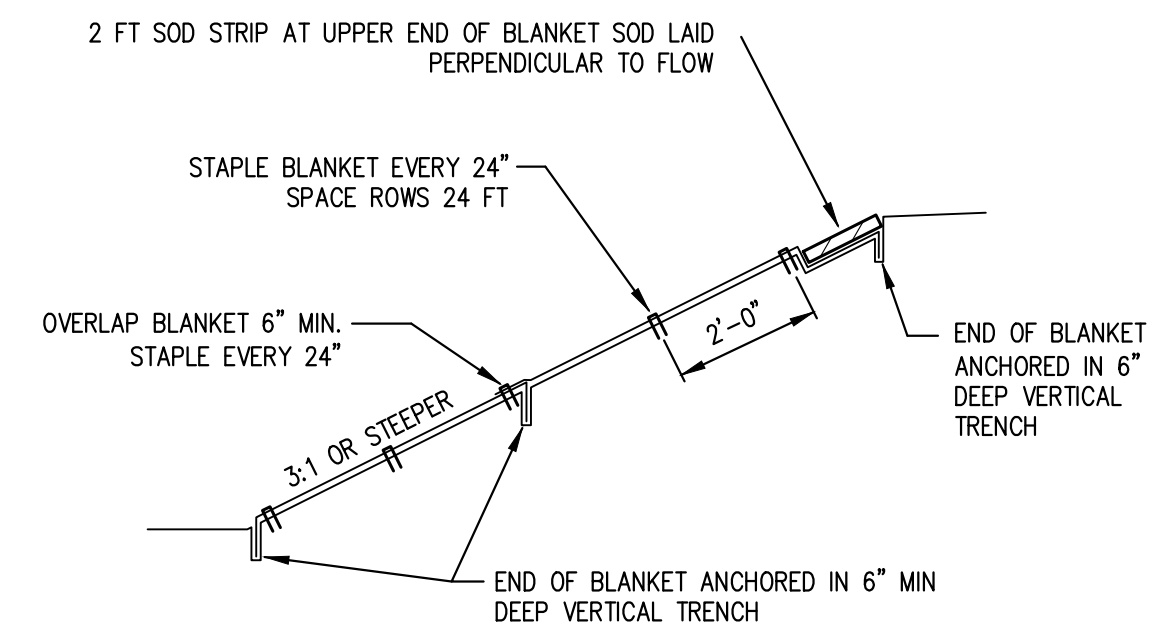
- STONE SIZE: USE 1"-2" CRUSHED ROCK OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS: NOT LESS THAN 6-INCHES.
- FILTER CLOTH: SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

1 ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



- DETAIL NOTES:
1. THE FENCE SHALL BE LOCATED AT THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
 2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
 3. THE FENCE MAY BE EITHER 48" HIGH CHAINLINK FENCE, 48" HIGH SNOW FENCE, OR ANY OTHER MATERIAL AS APPROVED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
 4. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT CONSTRUCTION A PROTECTIVE LAYER OF MULCH AT A MINIMUM DEPTH OF 12" FOR VEHICLE ACCESS.

2 TREE PROTECTION FENCING
NOT TO SCALE



NOTE: EROSION CONTROL BLANKET ON 4:1 SLOPES OR STEEPER AND SWALES WITH LONGITUDINAL SLOPES OF 2.0% OR GREATER

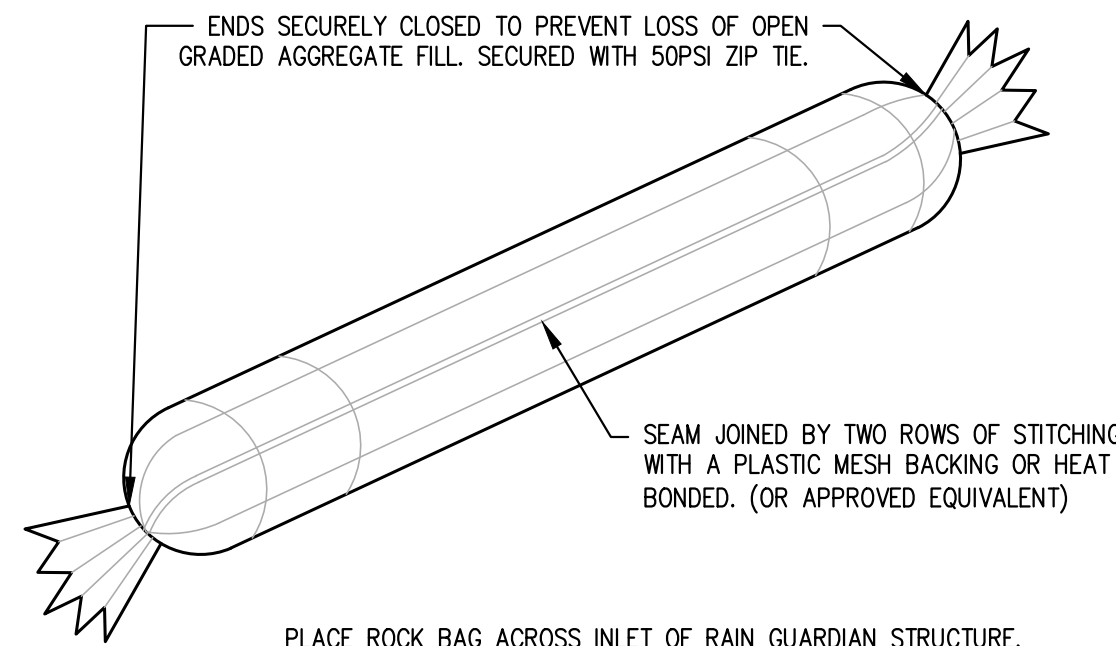
3 EROSION CONTROL BLANKET
NOT TO SCALE

GRADATION	
SIEVE SIZE	PERCENT PASSING
1-1/2 INCH	100
1 INCH	95-100
3/4 INCH	65-95
3/8 INCH	30-65
NO. 4	10-35
NO.10	3-20
NO. 40	0-8
NO. 200	0-3

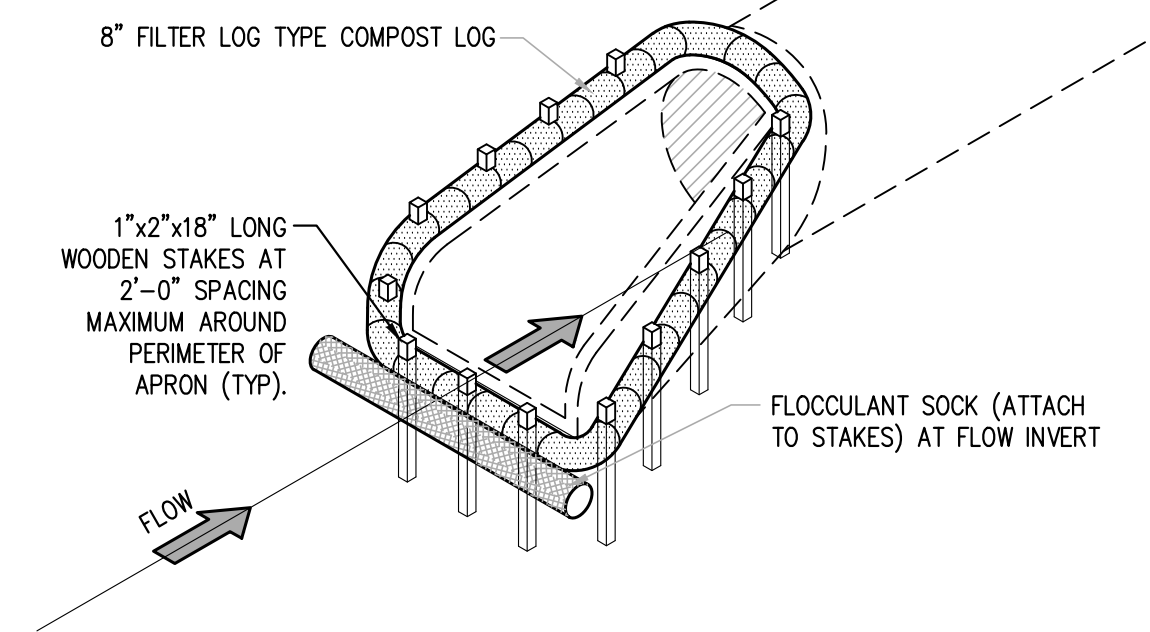
5" DIAMETER GEOTEXTILE SOCK, TYPE WOVEN MONOFILAMENT CONFORMING TO SPEC. 3886, TABLE 3886-1, MACHINE SLICE

FILL ROCK LOG WITH 45 LBS. OF OPEN GRADED AGGREGATE CONSISTING OF SOUND, DURABLE PARTICLES OF CRUSHED QUARRY ROCK OR GRAVEL CONFORMING TO THE FOLLOWING GRADATION.

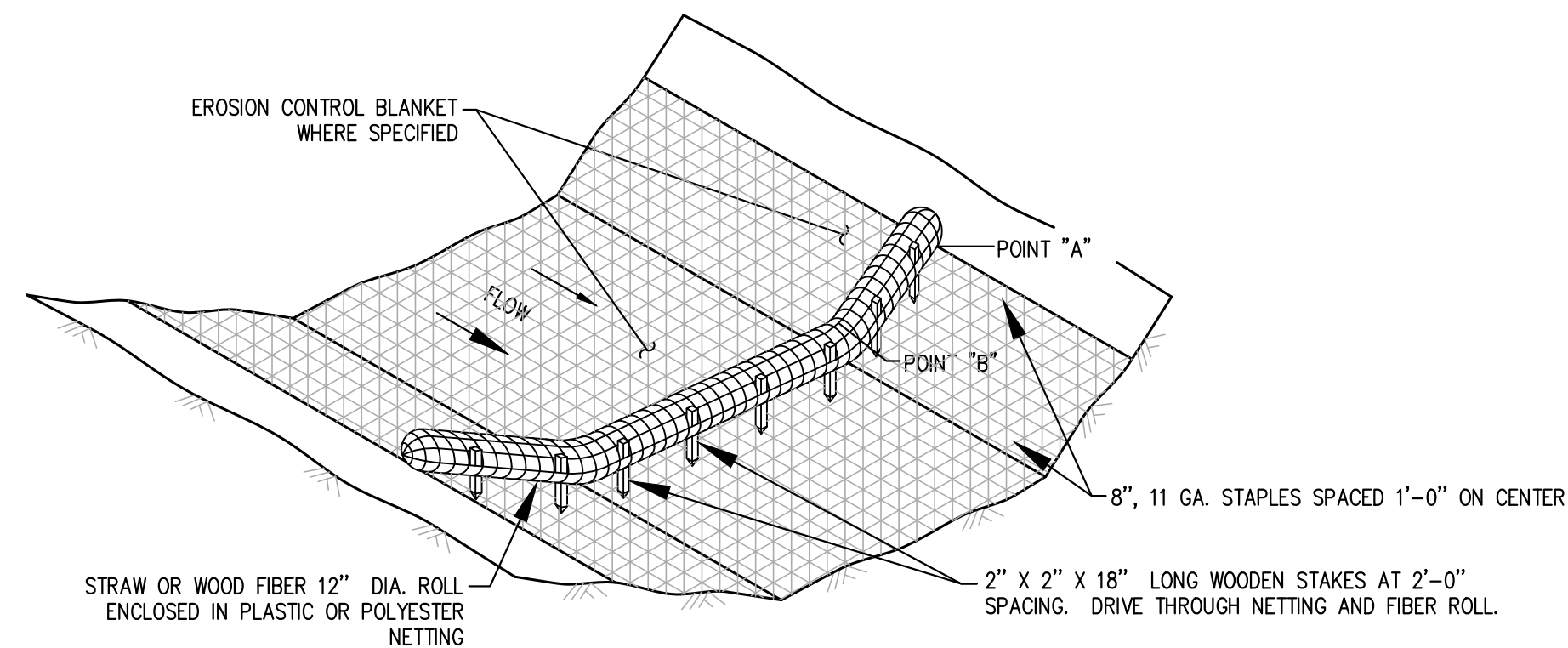
NOTE: CRUSHED CONCRETE OR BITUMINOUS SHALL NOT BE USED FOR OPEN GRADED AGGREGATE.



TYPE I



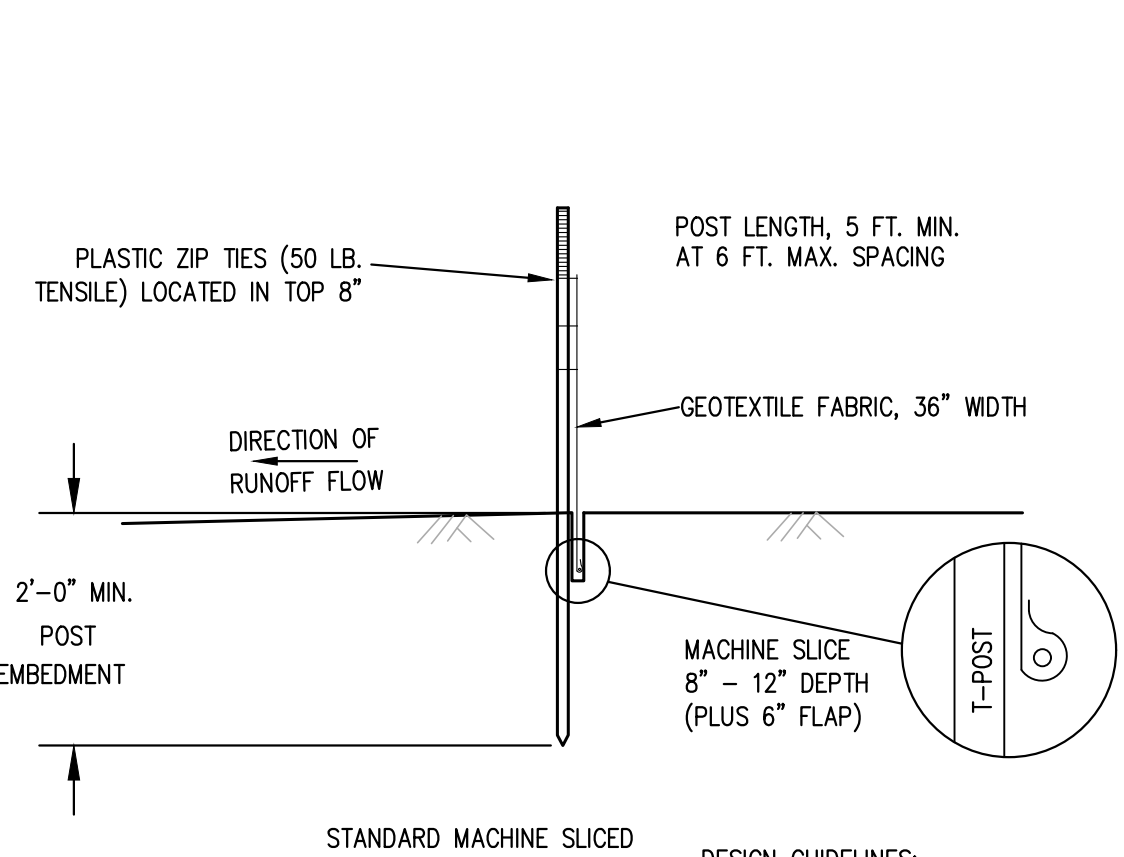
TYPE II



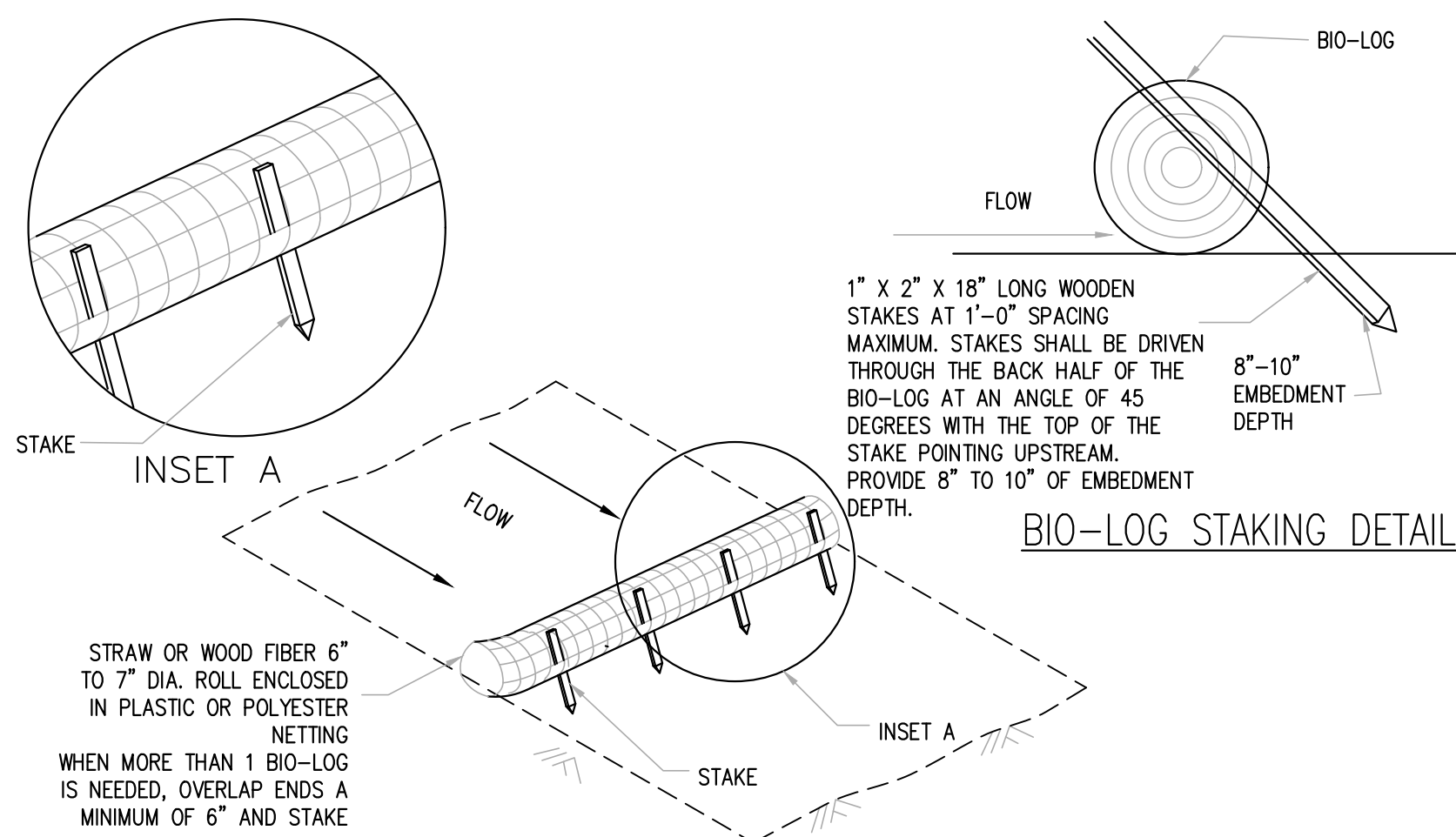
POINT "A" MUST BE HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.

4 DITCH CHECK
NOT TO SCALE

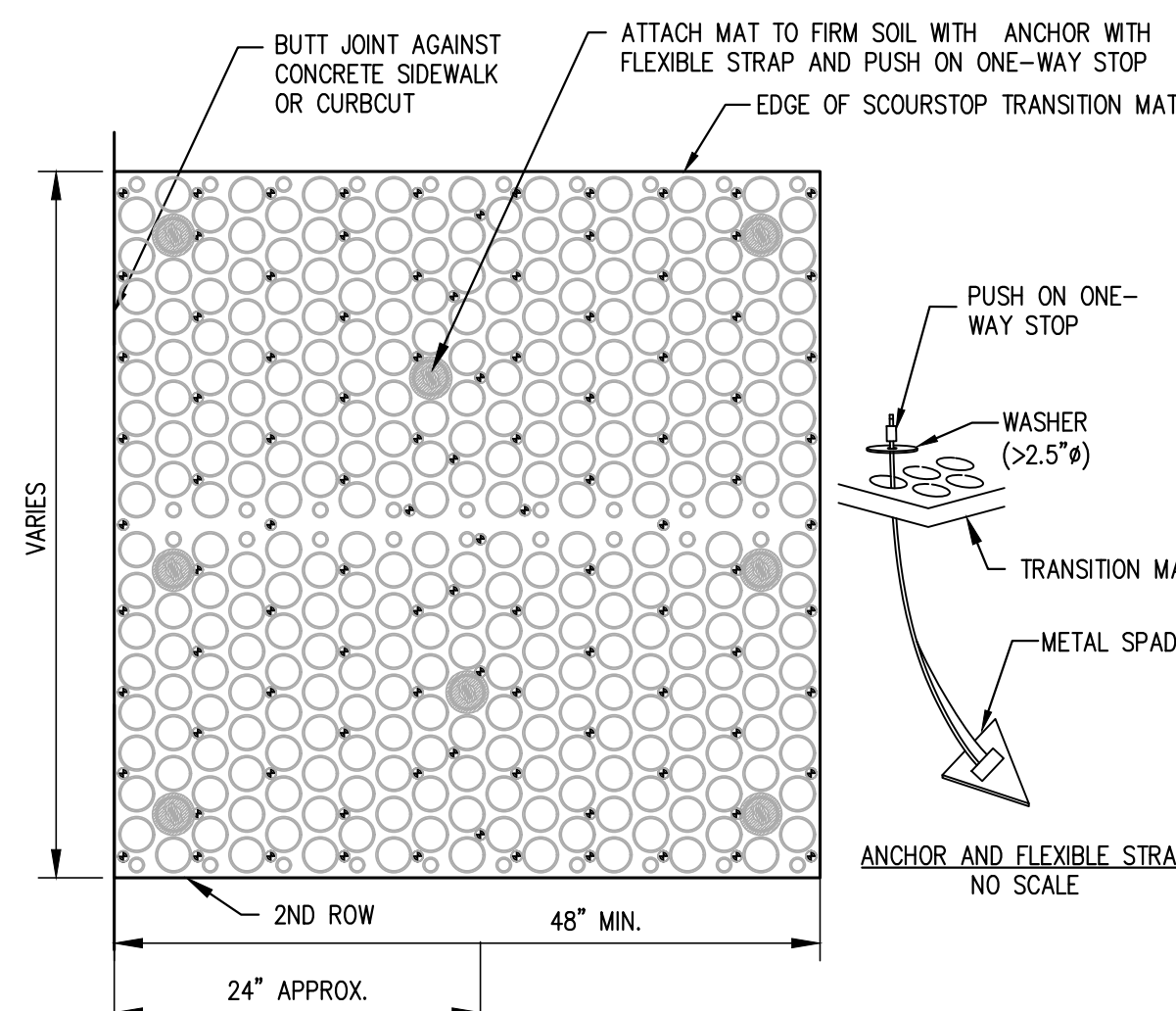
5 INLET PROTECTION - TYPE I & II
NOT TO SCALE



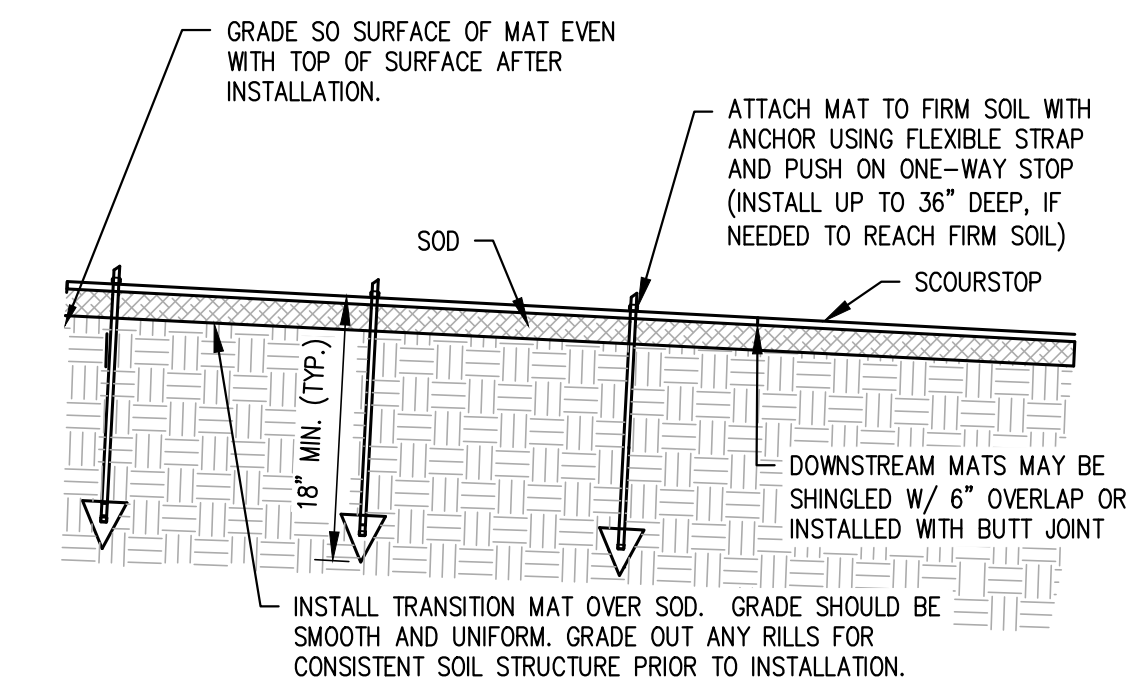
DESIGN GUIDELINES:
MAXIMUM CONTRIBUTING AREA: 3 ACRES



BIO-LOG STAKING DETAIL



ANCHOR AND FLEXIBLE STRAP NO SCALE



ANCHOR INSTALLATION INSTRUCTIONS:

1. PUSH SPADE THROUGH SOIL WITH STAKE OR BY OTHER MEANS TO MINIMUM DEPTH OF 18". SPADE MUST BE INSTALLED INTO FIRM SOILS.
2. LOOP STRAP THROUGH SCOURSTOP MAT.
3. PULL STRAP TIGHT AND PUSH ON ONE-WAY STOP UNTIL SNUG.
4. TRIM EXCESS STRAP IF NECESSARY.

7 TURF TRANSITION MAT (SCOURSTOP OR APPROVED EQUAL)
NOT TO SCALE

6 SILT FENCE MACHINE SLICED OR BIO-LOG
NOT TO SCALE

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

NO	DATE	REVISION
2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

PRELIMINARY
NOT FOR CONSTRUCTION
07/08/2024

COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

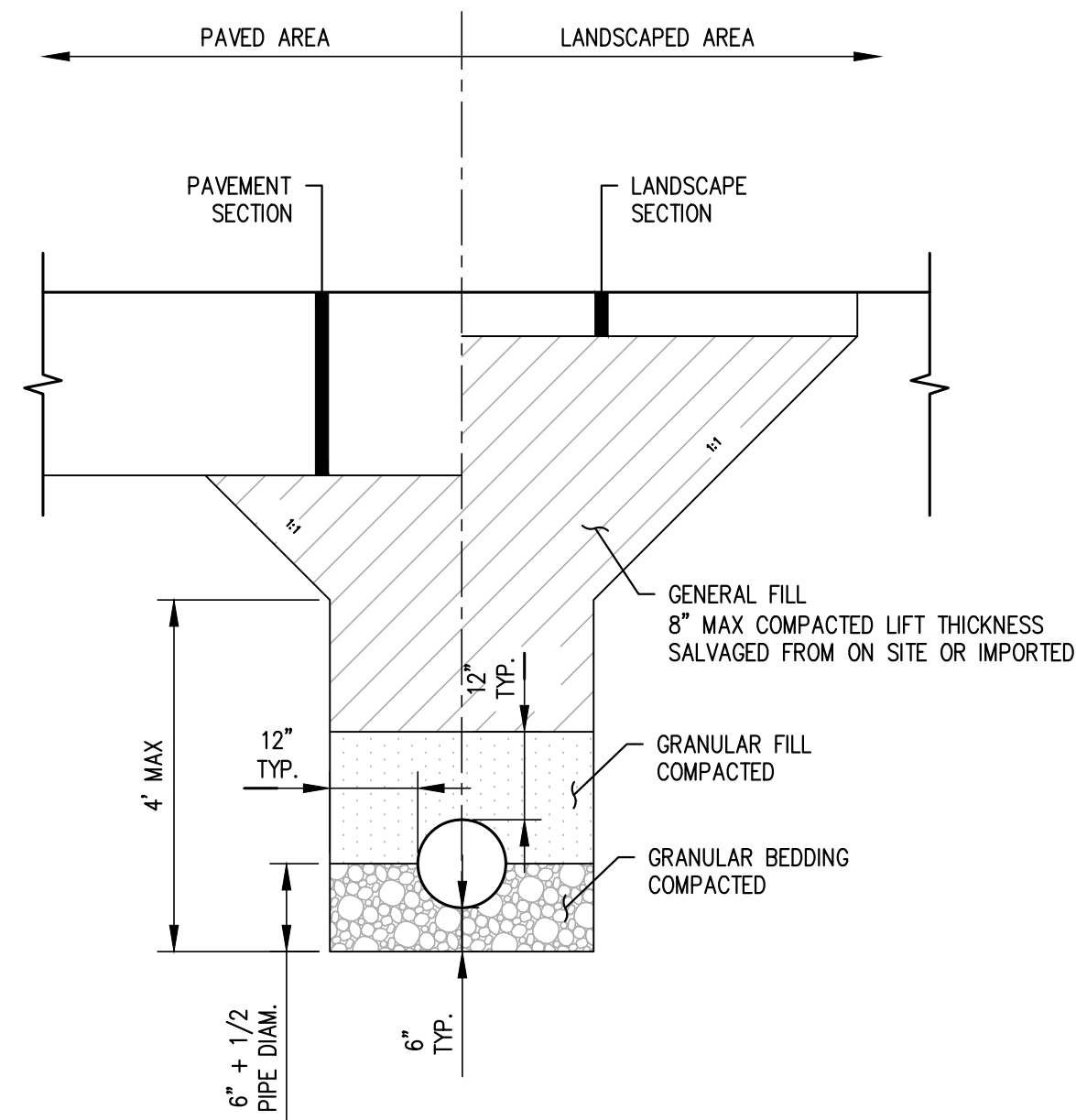
340 95TH AVE NW
COON RAPIDS, MN 55433

DRAWING TITLE:
CIVIL DETAILS

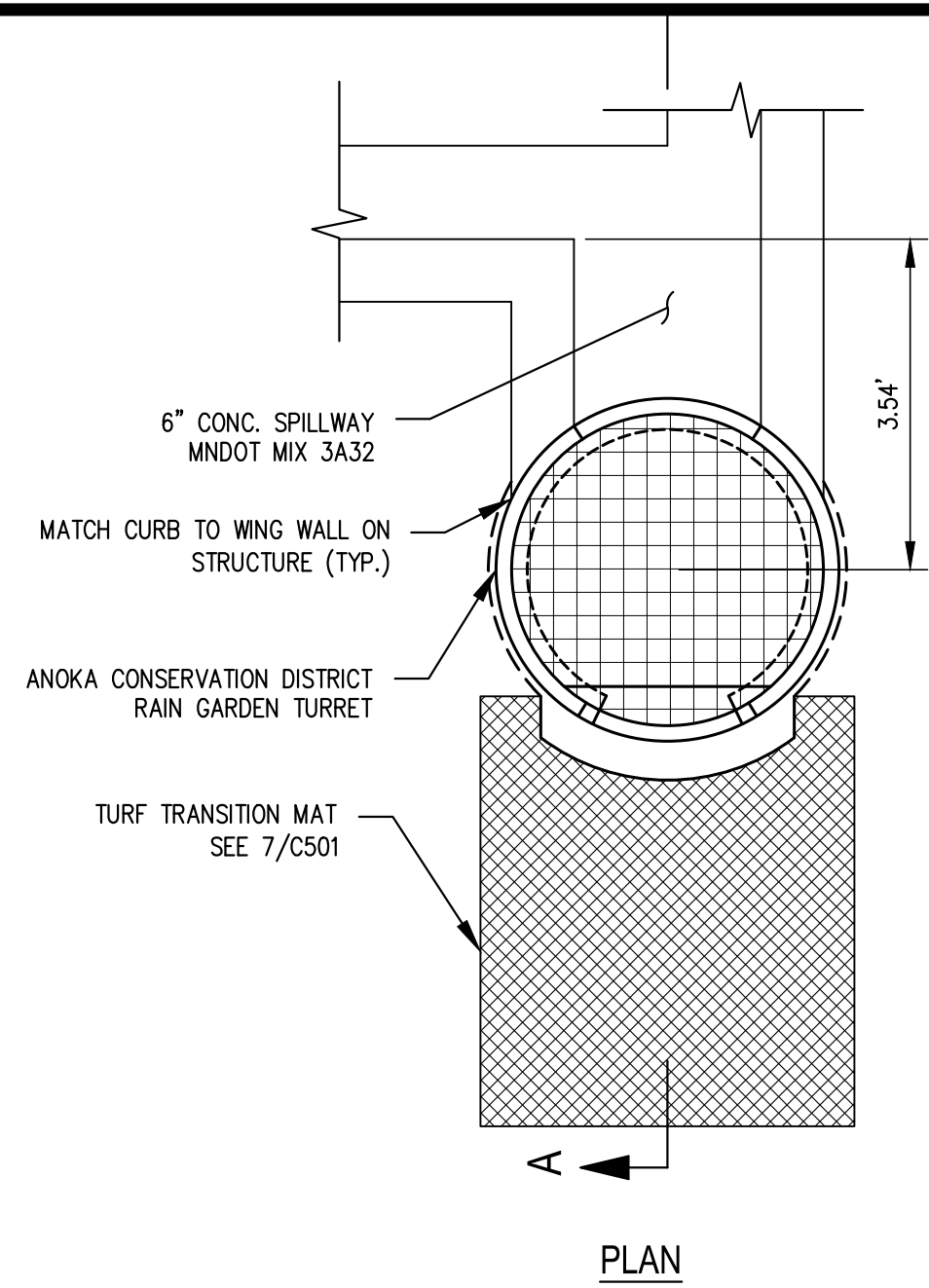
DRAWN BY:
CHECKED BY:
PROJ. NO.: 230138
DRAWING NO.:

C501

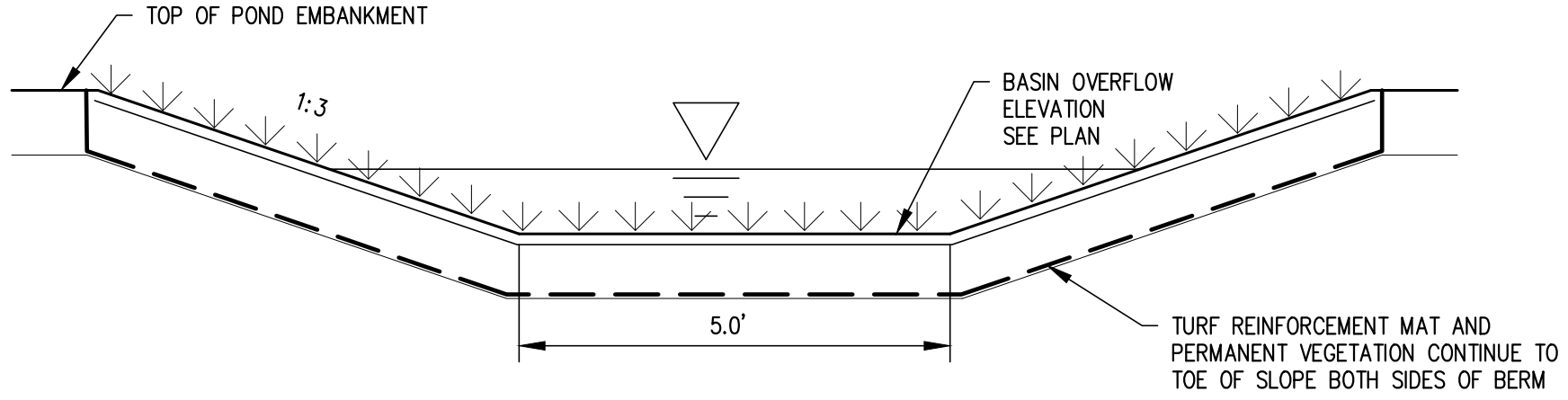
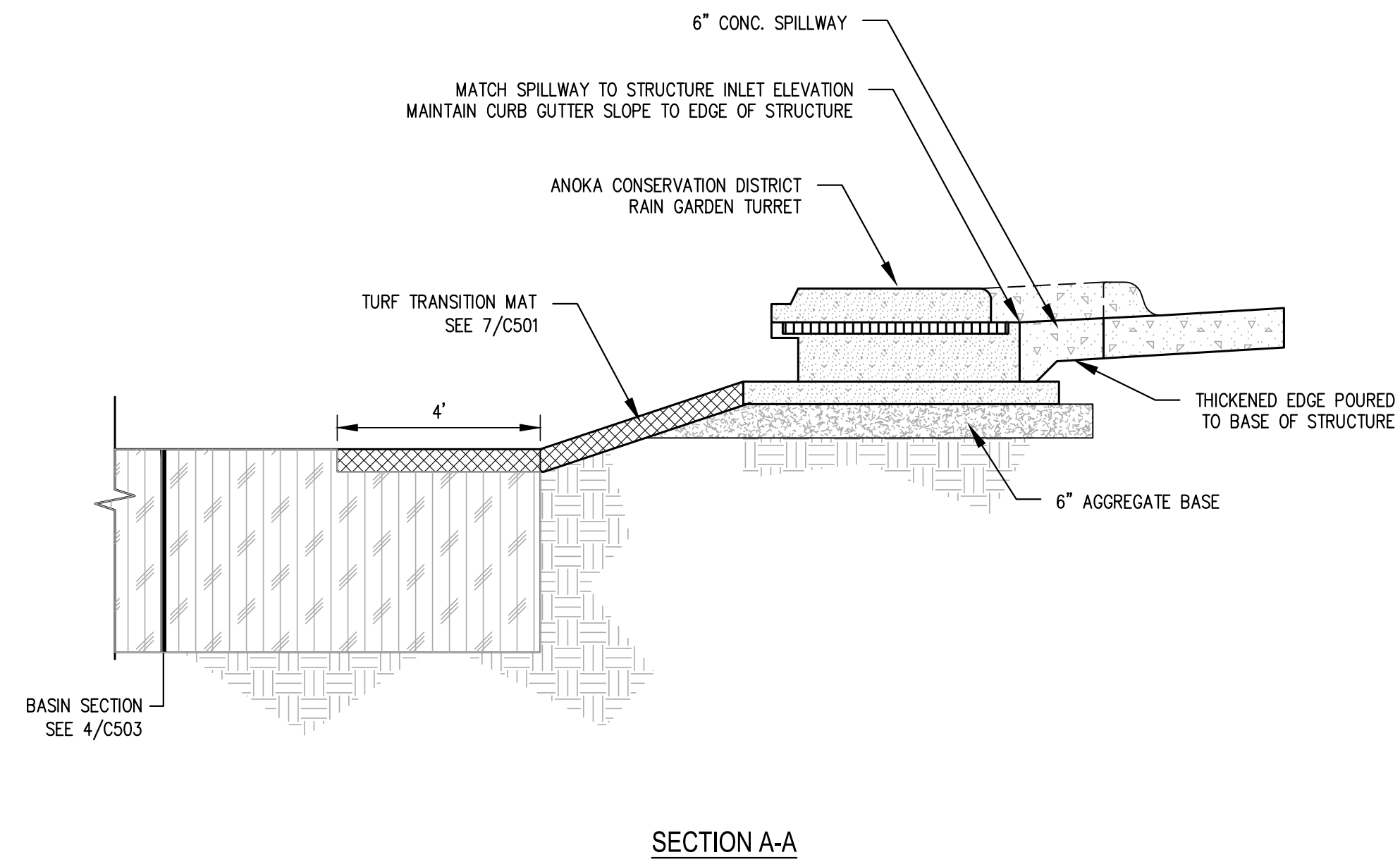
CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
 363 COON RAPIDS BLVD NW
 COON RAPIDS, MN 55433



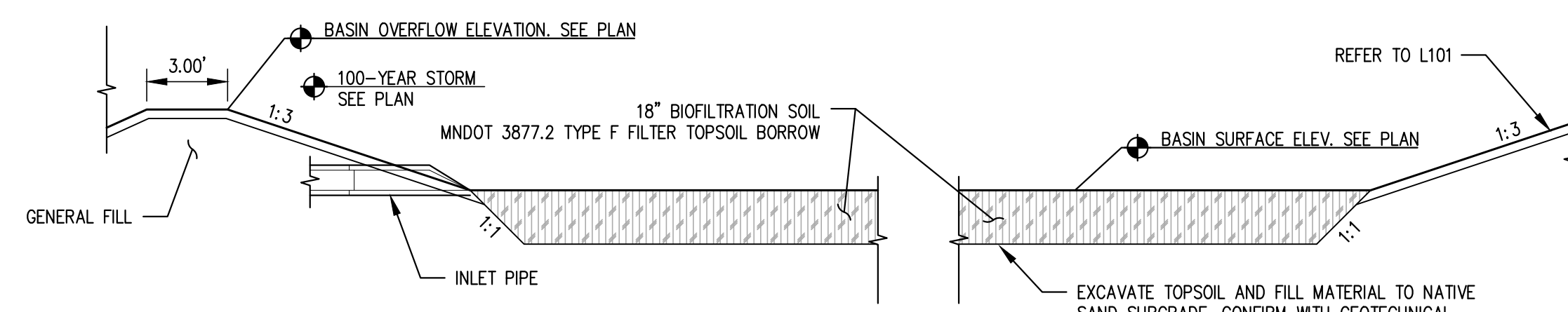
1 TYPICAL UTILITY TRENCH SECTION
 NOT TO SCALE



2 PRETREATMENT STRUCTURE
 NOT TO SCALE



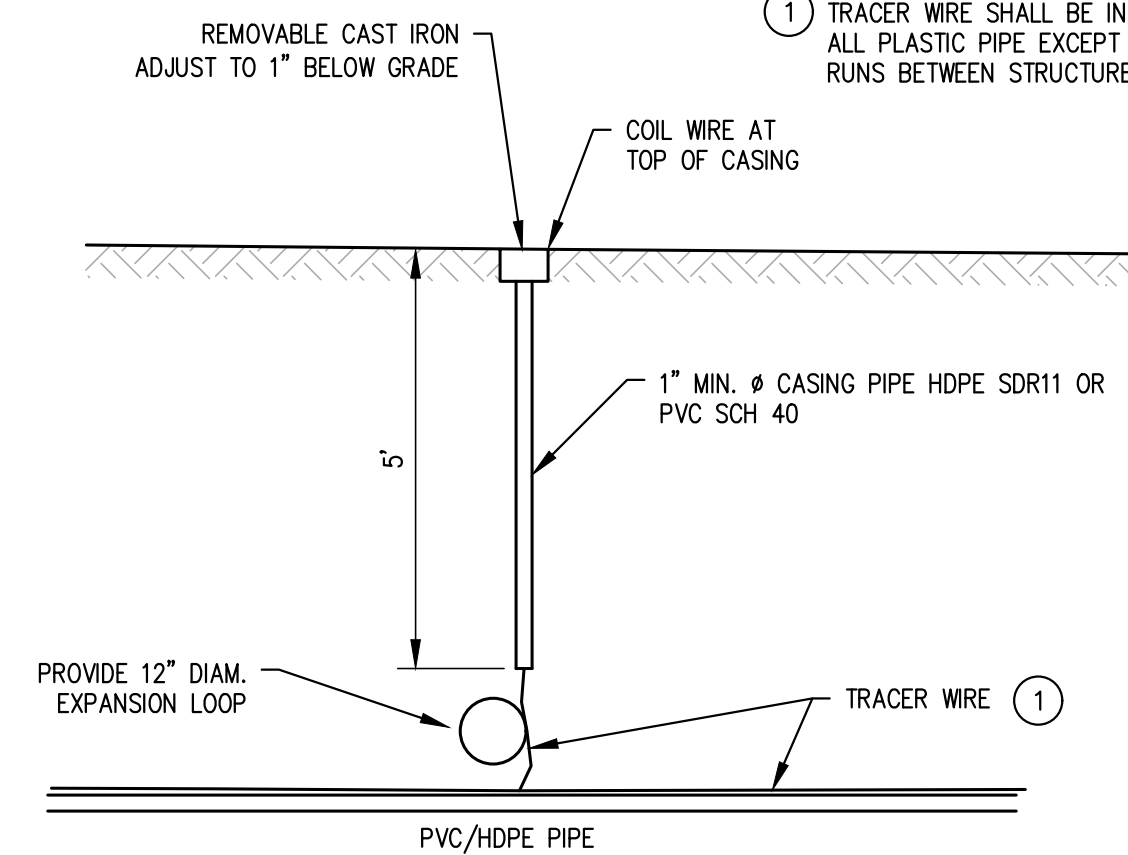
3 BASIN OVERFLOW SPILLWAY
 NOT TO SCALE



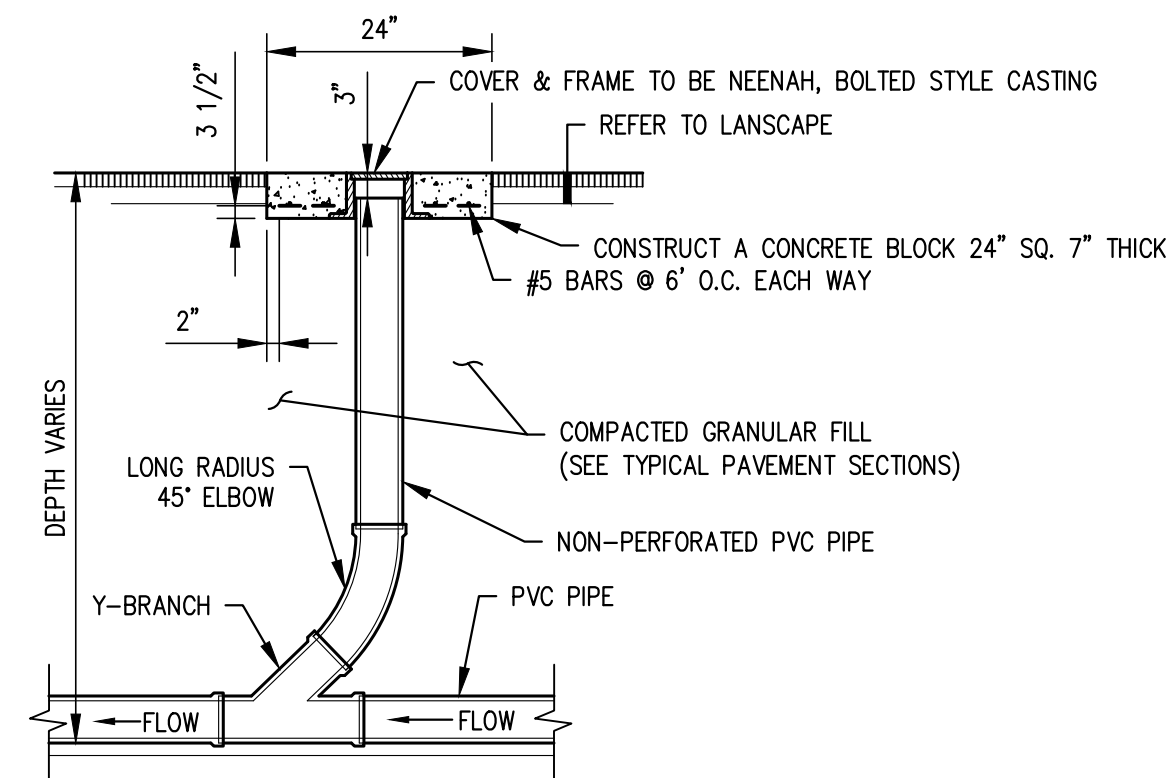
4 TYPICAL INFILTRATION BASIN SECTION
 NOT TO SCALE

KEY NOTES:

- 1 TRACER WIRE SHALL BE INSTALLED ON ALL PLASTIC PIPE EXCEPT FOR STRAIGHT RUNS BETWEEN STRUCTURES.



5 TRACER WIRE
 NOT TO SCALE



6 CLEANOUT
 NOT TO SCALE

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

NO	DATE	REVISION
2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO DATE REVISION

PRELIMINARY
 NOT FOR CONSTRUCTION
 07/16/2024

COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
 COON RAPIDS, MN 55433

DRAWING TITLE:
CIVIL DETAILS

DRAWN BY:
 CHECKED BY:
 PROJ. NO: 230138
 DRAWING NO:

C503

CLIENT:
FAMILY PROMISE IN ANOKA COUNTY
 363 COON RAPIDS BLVD NW
 COON RAPIDS, MN 55433

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

2	07/08/2024	CITY & WATERSHED SUBMITTAL
1	06/11/2024	SCHEMATIC DESIGN
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

PRELIMINARY
 NOT FOR CONSTRUCTION
 07/08/2024

COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
FAMILY PROMISE

340 95TH AVE NW
 COON RAPIDS, MN 55433

DRAWING TITLE:
LANDSCAPE PLAN

DRAWN BY: KAT
 CHECKED BY: LAM
 PROJ. NO: 10898
 DRAWING NO:

L101

PLANT SCHEDULE

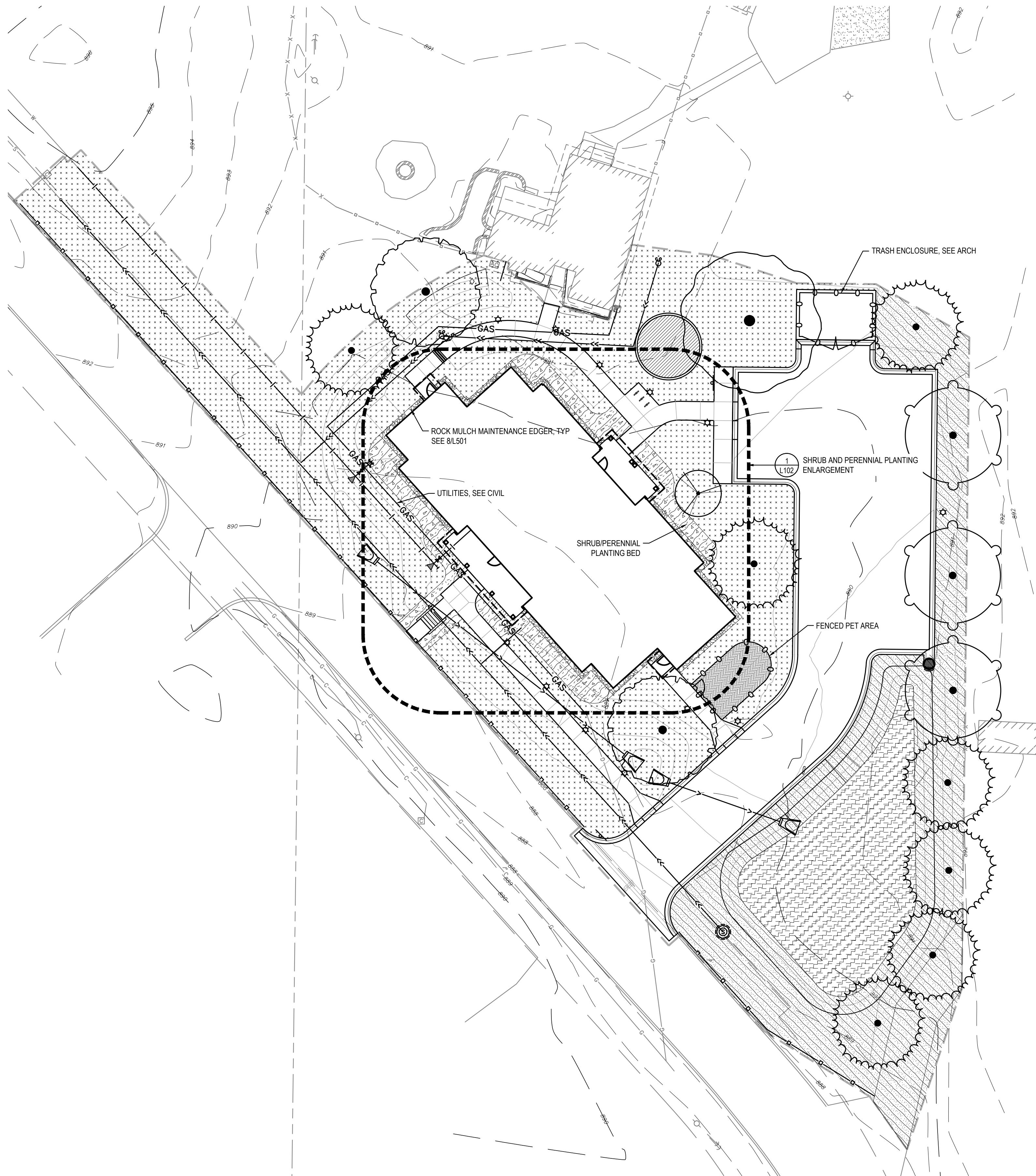
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
TREES				
	1	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	2.5" Ca
	3	Gleditsia triacanthos inermis 'Imperial' / Imperial Honey Locust	B & B	2.5" C
	7	Pinus alba / White Pine	B & B	2.5" C
	1	Quercus ellipsoidalis / Northern Pin Oak	B & B	2.5" C
	2	Tilia americana 'Greenspire' / Greenspire® Linden	B & B	2.5" C

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	NOTE
GROUND COVERS				
	2,987 sf	Detention Basin / See section	Seed Mix	
	314 sf	Engineered Wood Fiber	None	
	356 sf	Hardwood Mulch	See Specifications	
	1,327 sf	Landscape Bed	None	
	13,927 sf	Low Maintenance Turf	Seed	
	419 sf	Rock Mulch Maintenance Edger	None	
	7,066 sf	Short Prairie Native Seed Mix	Seed Mix	

LANDSCAPE NOTES

- GENERAL LANDSCAPE NOTES:**
- THIS DRAWING DOES NOT CONSTITUTE AN OFFICIAL SURVEY OF THE SITE. CONFIRM ALL LOCATIONS OF SURFACE AND SUB-SURFACE FEATURES BEFORE BEGINNING INSTALLATION. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - CONFIRM ALL QUANTITIES, SHAPES, AND LOCATIONS OF LANDSCAPE AREAS, AND ADJUST TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
 - VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH PLANT INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL MULCHES AND SOIL QUANTITIES TO COMPLETE THE WORK SHOWN IN THE DRAWINGS. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
 - REFER TO SECTION 31 2323 FILL FOR SOIL REQUIREMENTS. DO NOT BEGIN PLANTING OPERATIONS IF SOIL CONDITIONS ARE NOT AS SPECIFIED.
 - REMOVE FROM THE SITE ALL TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE IS NOT ALLOWED. THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - STAKE TREE AND PLANTING BED LAYOUT IN-FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING OPERATIONS.
- PROTECTIONS**
- AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES.
 - KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. KEEP THE PROJECT SITE CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
 - PROVIDE AND MAINTAIN INLET AND PERIMETER EROSION CONTROL BMPS AS SPECIFIED ON CIVIL SHEETS.
 - ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION WILL BE RESTORED WITH SEED OR SOD UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR TURF RESTORATION REQUIREMENTS.

- PLANT MATERIAL**
- PLANT TREE ROOT BALLS FLUSH WITH FINAL GRADE AND THE TOP OF ROOT FLARE EXPOSED, PER PLANTING DETAILS.
 - NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
 - THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
 - ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - HEEL IN AND WATER ANY PLANT STOCK NOT PLANTED WITHIN 24 HOURS OF DELIVERY UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
 - REFER TO SPECIFICATIONS FOR WARRANTY REQUIREMENTS AND OTHER PLANTING ACCESSORIES.
- MAINTENANCE AND CARE**
- BEGIN PLANT MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE.
 - MAINTENANCE INCLUDES WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION.
 - REFER TO SPECIFICATIONS FOR FULL INSPECTION, MAINTENANCE, AND WARRANTY REQUIREMENTS.



1 LANDSCAPE PLAN
 Scale: 1" = 20'

File Path: \\msn\l\p\j\l\1054\20138 Landscape Plan.dwg
 Plot Date: 9/20/2024 4:29 PM

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 14

Applicant/Landowner:

GHS Development
Attn: Nick Gervais
2935 County Dr STE 100
Little Canada, MN 55117

Project Name: Les Schwab Tire Center

Project PAN: P-23-080

Project Purpose: construction of a new commercial building, parking areas and associated stormwater treatment features

Project Location: 12401 Ulysses St NE, Blaine

Site Size: size of parcel - 1.39 acres; size of disturbed area - 1.24 acres; size of regulated impervious surface - 0.92

Applicable District Rule(s): Rule 2, Rule 3, Rule 4

Recommendation: Approve with 3 Conditions and 4 Stipulations

Description: The applicant proposed the construction of a new tire center with associated stormwater treatment features. Overall, it will disturb 1.24 acres and create 0.92 acres of new and regulated impervious. The parcel drains to County Ditch 41-8-A which drains to County Ditch 60-2. The relevant water resource concerns are stormwater treatment and erosion and sediment control. This corresponds to District Rules 3 and 4. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,620.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Rule 4.0 – Soils and Erosion Control

3. Updated the erosion and sediment control plan to include a note that soils and soil stockpiles will be stabilized within 7 days of inactivity.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of post construction infiltration test on the East and West Filtration Basins by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
4. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001).

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
MnDOT Drainage Permit	MnDOT	07/23/2024	07/23/2024
Geotechnical Evaluation Report	Braun Intertec	04/06/2023	12/21/2023
Stormwater Management Plan	KLJ	07/18/2024	07/18/2024
Construction Plans	KLJ	07/12/2024	07/18/2024

Findings

Fees and Escrows (Rule 2.7): The applicant has submitted a \$3,310.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 1.39 acres (\$3,300.00). The applicant will be required to submit a performance escrow in the amount of \$2,620.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (1.24 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG A. Curve Numbers have been shifted down ½ classification to account for the impacts of grading on soil structure.

Rate Control: Peak stormwater flow rate at each point of site discharge does not increase from the pre-development condition for the 24-hour precipitation event with a return frequency of 2-, 10-, 100- years as shown in Table 1. The small rate increase for the 2 year event is within model tolerance. The project will not impact Drainage Sensitive Use areas. The rate control standard is met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
East Swale	0.31	0.42	0.91	0.63	4.83	1.19

Table 1.

Volume Control: The proposed project is new development; therefore, the volume reduction requirement is equal to 1.1 inches over the area of all impervious surface. The amount of proposed impervious required to be treated is 39,982 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
untreated	1,241	none	0	175	0
E biofiltration basin	26,692	E biofiltration basin	0.65	3,764	4,230
W Biofiltration basin	12,049	W biofiltration basin	0.65	1,699	2,634
Totals:	39,982			5,638	6,864

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
RG Turret 4	Rain Guardian	80
RG Turret 3	Rain Guardian	80
RG Turret 2	Rain Guardian	80
RG Turret 1	Rain Guardian	80

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

Infiltration may not be used as a volume control practice because the practice(s) would need to be placed in areas in an Emergency Response Area (ERA) within a Drinking Water Supply Management Area (DWSMA). Because the volume reduction standard cannot be met due to these site constraints, the project proposes the use of the stormwater management practices and their corresponding TP conversion factors listed in Table 2. A small portion of the site entrances remains untreated and cannot be routed to a treatment features. The volume control standard has been met to the maximum extent practicable.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
E drainage swale	80

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is new development which includes buildings and habitable structures. Therefore, SMPs must be designed such that the lowest basement floor elevations are at least 2 feet above the 100-yr high water level and 1 foot above the emergency overflow. The lowest basement floor elevation proposed is 906.3 MSL. The applicable 100-year high water levels are 903.6 and 903.7 ft MSL and the applicable emergency overflows are both at 904 ft MSL. The freeboard requirement is met.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to County Ditch 41-8-A. The soils affected by the project include Zimmerman and do not have a soil erodibility factor of 0.15 or greater. Disturbed areas are not proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes perimeter control, inlet protection, rock construction entrance, erosion control blanket and street sweeping. The erosion control plan does not meet District requirement because soils and soil stockpiles are not proposed to be stabilized within 7 days of inactivity. See attached Figure 3: Erosion and Sediment Control plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

The proposed project does not include land disturbing activities within the floodplain as mapped and modeled by the District. Rule 6.0 does not apply.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

The proposed project is not requesting a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

P-23-080



1:2,230

0 0.01 0.02 0.03 0.04 0.05 mi

0 0.02 0.04 0.08 km

Maxar, Microsoft, Esri Community Maps Contributors, Metropolitan Council, MetroGIS, Three Rivers Park District, © OpenStreetMap, Microsoft, Esri,

7/24/2024

Figure 1: Project Location

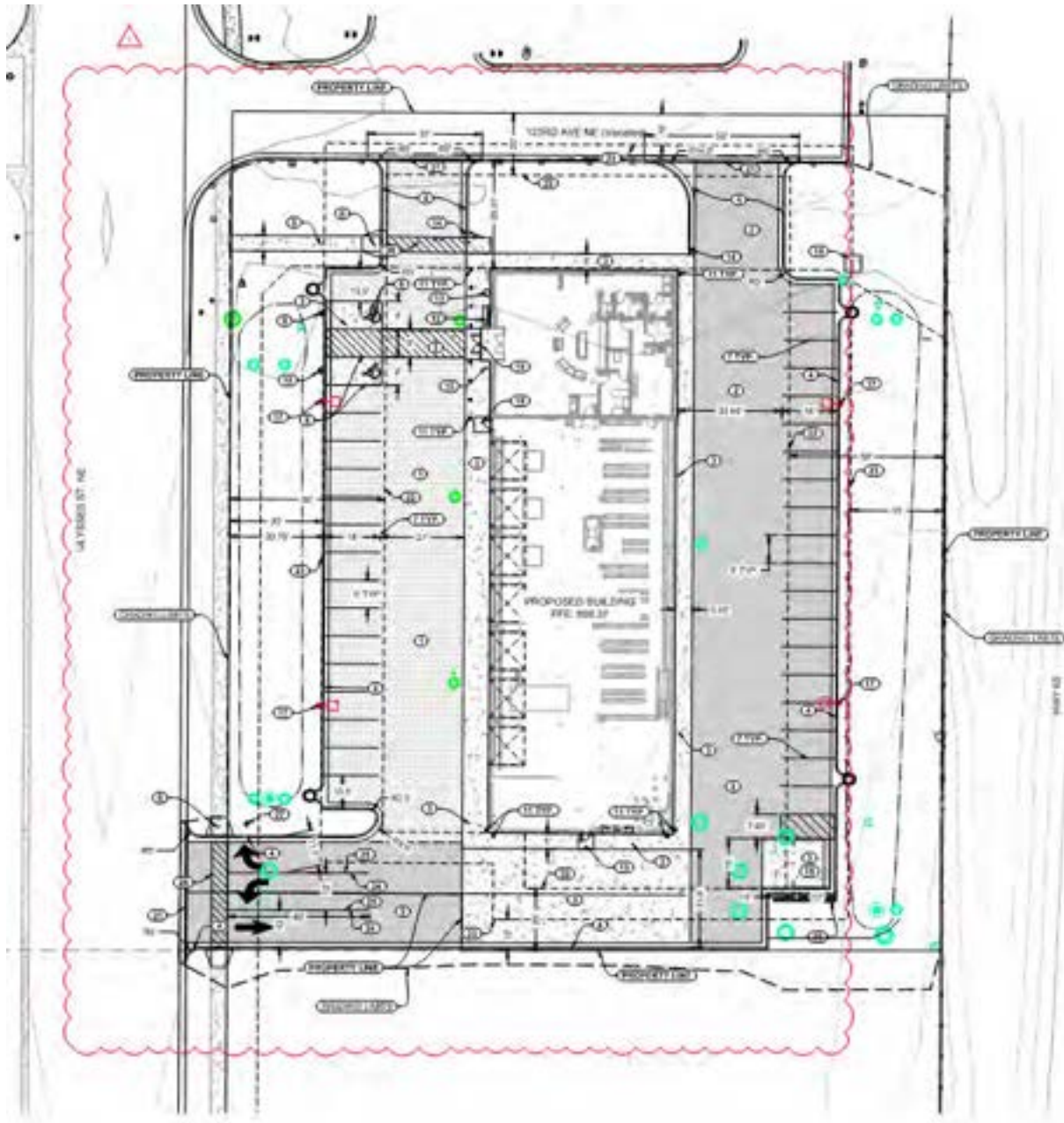


Figure 2: Site Plan

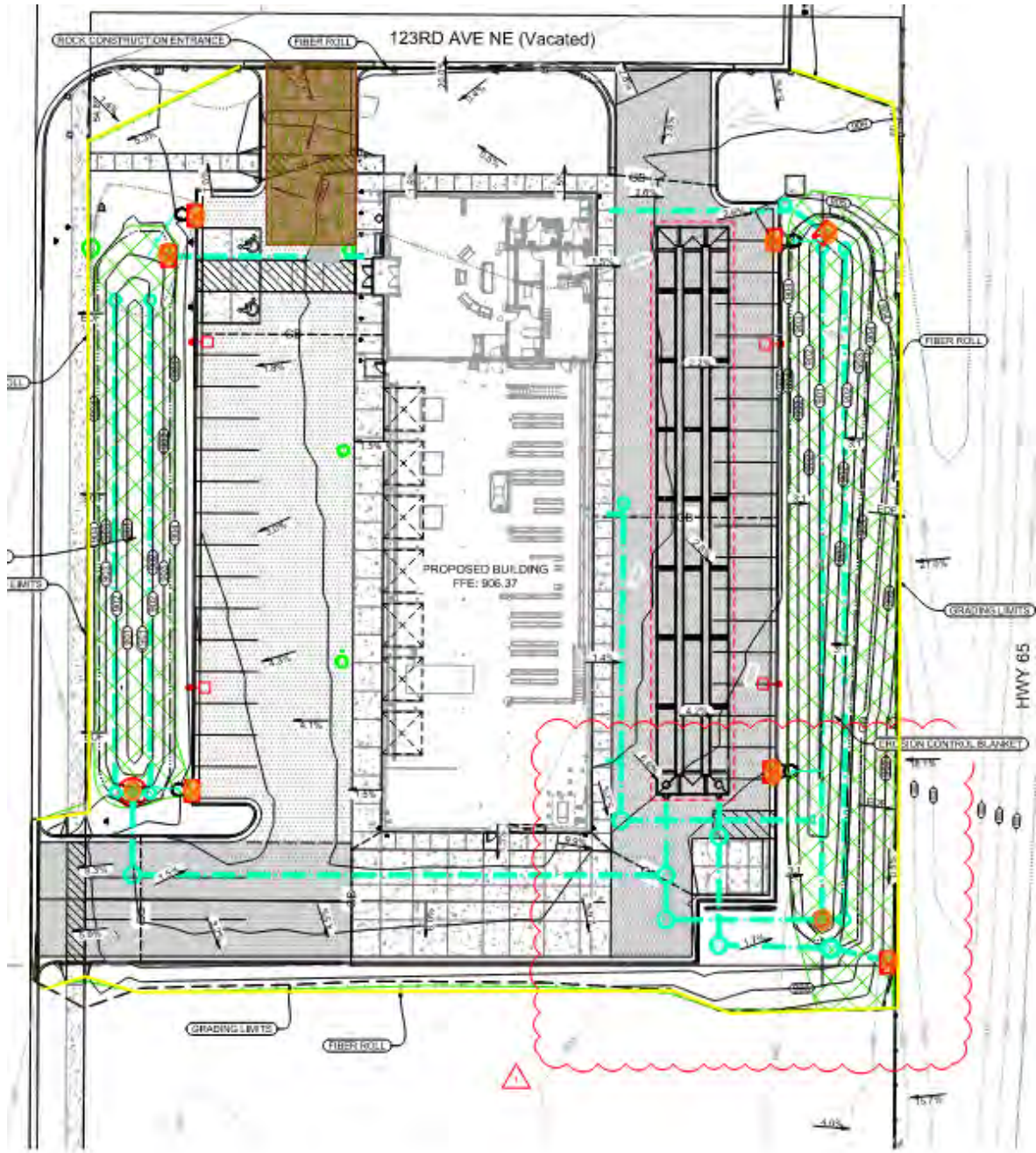


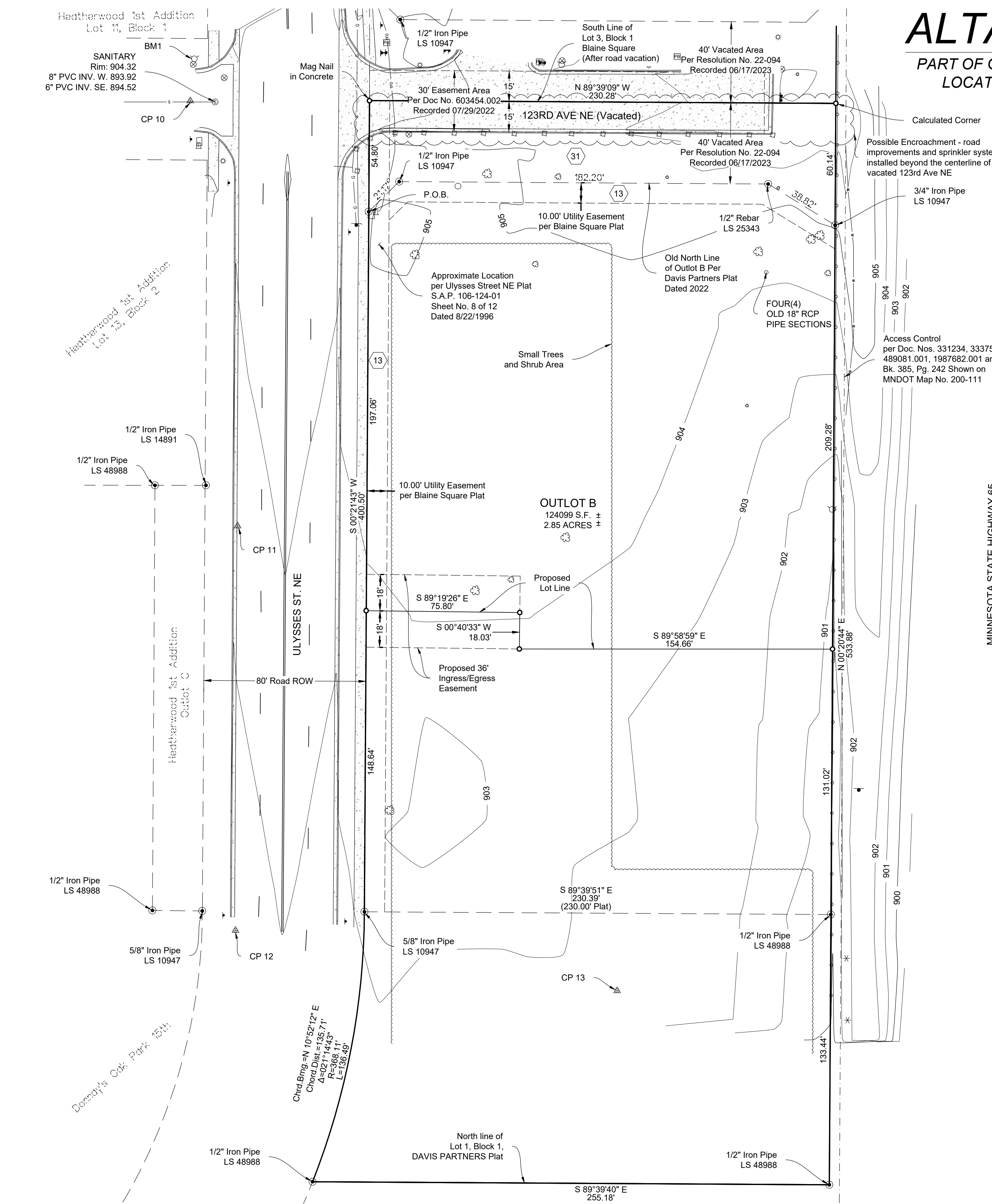
Figure 3: Erosion and Sediment Control Plan

ALTA/NSPS LAND TITLE SURVEY

PART OF OUTLOT B OF DAVIS PARTNERS PLAT AND PART OF VACATED 123RD AVE NE
LOCATED IN THE NW1/4 OF SECTION 8, TOWNSHIP 31 NORTH, RANGE 23 WEST,
TO THE CITY OF BLAINE, ANOKA COUNTY, MINNESOTA



VICINITY MAP
NOT TO SCALE



LEGEND

EXISTING	ITEM
●	FOUND IRON MONUMENT (AS DESCRIBED)
○	CALCULATED CORNER (5/8" REBAR LS56506 TO BE SET)
⊙	SANITARY SEWER MANHOLE
⊚	CONTROL POINT
⊛	WATER VALVE
⊜	SPRINKLER HEAD
⊝	FIRE HYDRANT
⊞	LIGHT POLE
⊟	ELECTRICAL PEDESTAL
⊠	SIGN
⊡	TREES
⊢	CURB & GUTTER
⊣	NATURAL GAS PIPELINE
⊤	TELEPHONE FIBER OPTIC
⊥	UNDERGROUND WATER MAIN
⊦	FENCE LINE
⊧	RIGHT OF ACCESS
⊨	CONCRETE SURFACE

BASIS OF SURVEY

MINNESOTA COUNTY COORDINATES
ANOKA ZONE
MINNESOTA GEIOD 18 - NAVD 88
US SURVEY FEET
GRID COORDINATES

BENCHMARKS

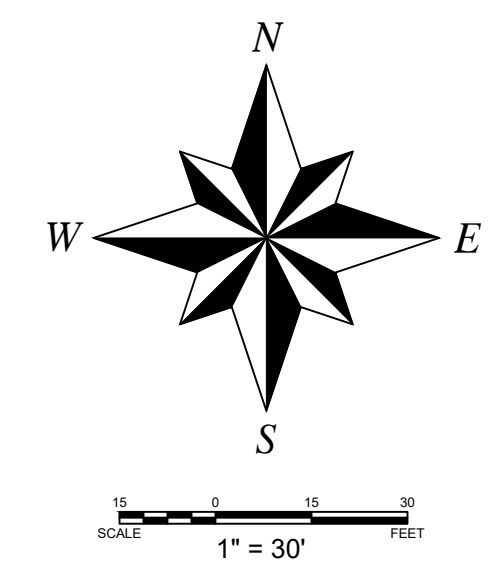
BM1 = TOP NUT OF HYDRANT, ELEV. 907.26', NW OF ULYSSES ST & 123RD AVE INTERSECTION
BM2 = TOP NUT OF HYDRANT, ELEV. 903.13', SW OF COLLEGE DR. & 4TH ST SE INTERSECTION (1 BLOCK NORTH OF THE SITE)

CONTROL POINT

PL	DESCRIPTION	N	E	ELEV
Pt. 10	Mag Nail	N=157445.181	E=507807.546	ELEV=904.46'
Pt. 11	Mag Nail	N=157235.319	E=507830.881	ELEV=903.46'
Pt. 12	Mag Nail	N=157035.608	E=507829.871	ELEV=902.34'
Pt. 13	5/8" Rebar w/cap	N=157005.861	E=508018.303	ELEV=902.69'

SCHEDULE B - SECTION II EXCEPTIONS (PER STEWART TITLE CO.)

EASEMENT NO.	RECORDATION INFO.	PURPOSE	LOCATION ON SHEET
13	DOCUMENT NO. 604151.002	UTILITY & DRAINAGE EASEMENTS	SHOWN ON THE WEST & NORTH SIDES
14	DOCUMENT NO. 63147	NORTHWEST BELL TELEPHONE CO. EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
15	BK. 241, PG. 445	NORTHWEST BELL TELEPHONE CO. EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
16	BK. 241, PG. 451 BK. 814, PG. 450	NORTHWEST BELL TELEPHONE CO. EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE DOES NOT AFFECT PROPERTY PER STEWART TITLE
17	BK. 385, PG. 242 BK. 855 OF DEED, PG. 77 BK. 861 OF DEED, PG. 507	RIGHT OF ACCESS RIGHT OF ACCESS RIGHT OF ACCESS	DOES NOT AFFECT PROPERTY PER STEWART TITLE DOES NOT AFFECT PROPERTY PER STEWART TITLE DOES NOT AFFECT PROPERTY PER STEWART TITLE
18	BK. 210 OF DEED, PG. 82	COUNTY DITCH NO. 41 EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
20	DOCUMENT NO. 114752	UTILITY & INGRESS/EGRESS EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
21	DOCUMENT NO. 114842	RESTRICTIVE COVENANTS AGREEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
22	DOCUMENT NO. 223050	U.S. WEST COMMUNICATIONS, INC. EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
23	DOCUMENT NO. 281877	STREET, DRAINAGE & UTILITY AND INGRESS/EGRESS EASEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
24	DOCUMENT NO. 293880 DOCUMENT NO. 308534	DECLARATION OF EASEMENT NOTICE OF ACCEPTANCE	DOES NOT AFFECT PROPERTY PER STEWART TITLE DOES NOT AFFECT PROPERTY PER STEWART TITLE
25	DOCUMENT NO. 489081.001	RESTRICTION OF ACCESS	DOES NOT AFFECT PROPERTY PER STEWART TITLE
30	DOCUMENT NO. 589373.001	CONDITIONAL USE PERMIT	NOT PLOTTABLE
31	DOCUMENT NO. 603200.001	RESOLUTION & RIGHT OF WAY VACATION EXHIBIT	SHOWN ON THE NORTH SIDE OF PROPERTY
32	DOCUMENT NO. 603454.002	EASEMENT AGREEMENT	DOES NOT AFFECT PROPERTY PER STEWART TITLE
33	DOCUMENT NO. 605294.002	EXCLUSIVITY & RESTRICTIVE COVENANTS	NOT PLOTTABLE



Rev'd. 6/4/2024

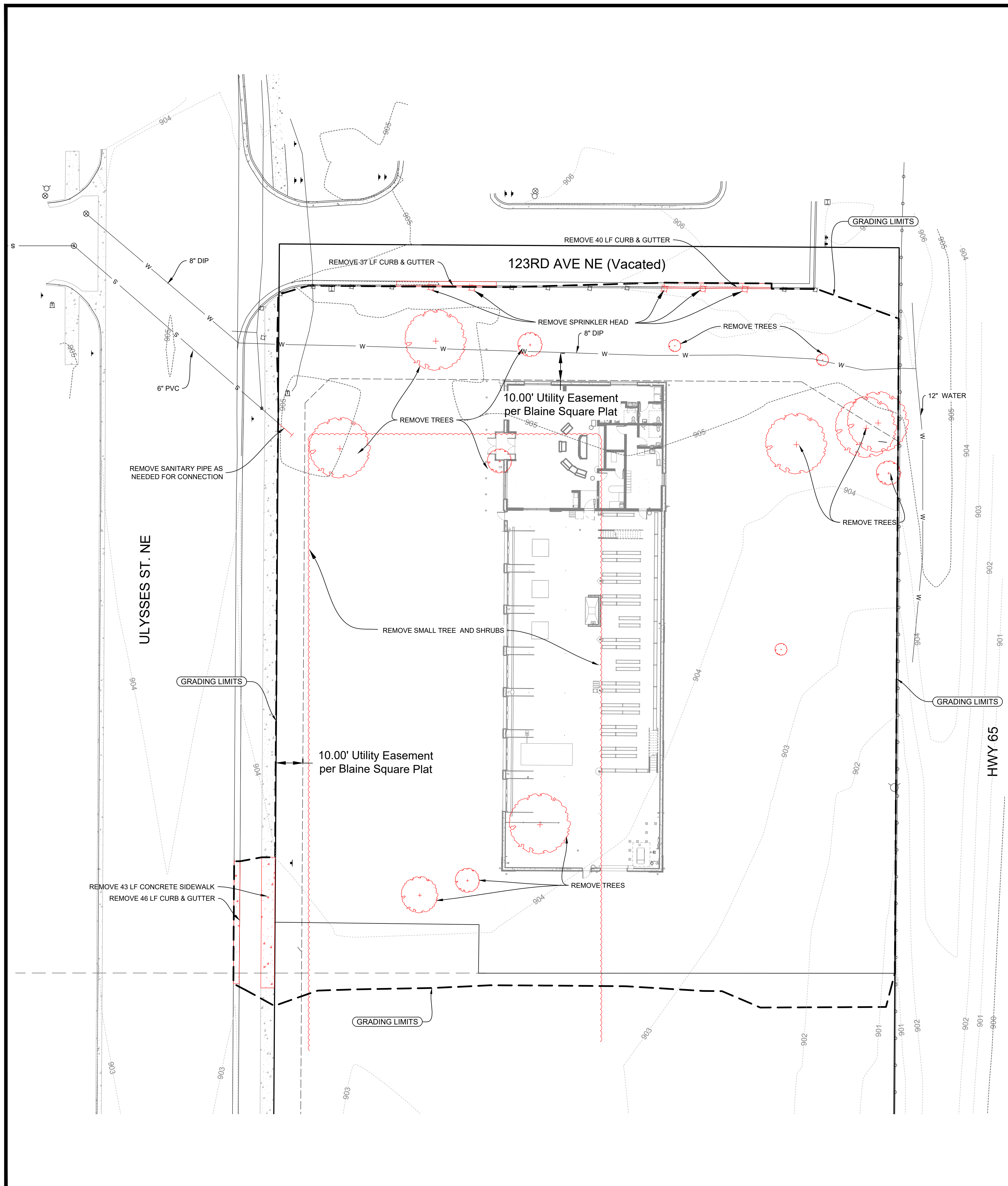
ALTA/NSPS LAND TITLE SURVEY
LES SCHWAB TIRE CENTERS
BLAINE, MN

SHEET NO. 1-2

ALTA/NSPS LAND TITLE SURVEY
PART OF OUTLOT B OF DAVIS PARTNERS PLAT SECTION 8,
TOWNSHIP 31 NORTH, RANGE 23 WEST
CITY OF BLAINE,
ANOKA COUNTY, MINNESOTA

DRWN. BY: CA
CHKD BY: CI
PROJECT NO.: 2314-00145
DATE: 1/23/2024

©KJLJ 2024



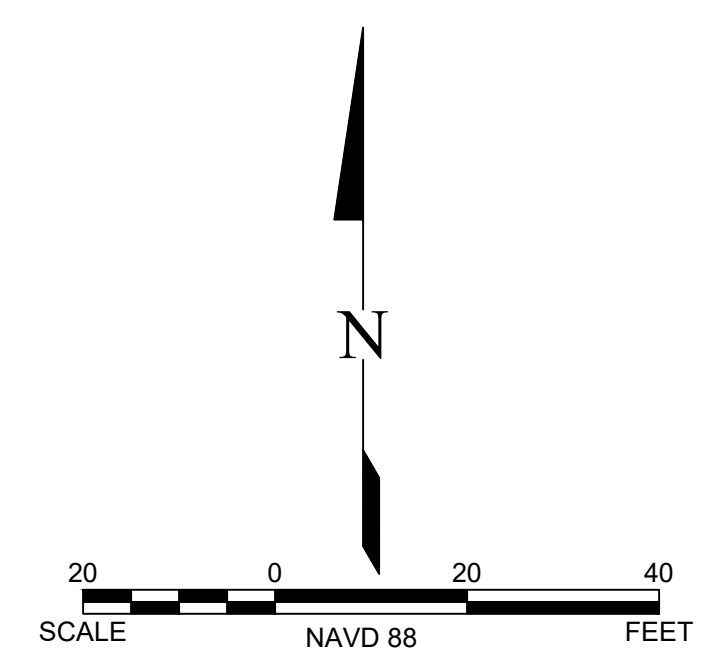
NOTES:

- THESE NOTES APPLY TO THE ENTIRE PROJECT EXCEPT AS INDICATED OTHERWISE. CONTRACTOR SHOULD NOTE THAT ADDITIONAL CONSTRUCTION NOTES ARE INCLUDED ON INDIVIDUAL DRAWINGS.
- THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- ANY ERRORS OR OMISSIONS DISCOVERED BY THE CONTRACTOR IN THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER WHEN DISCOVERED. THE CONTRACTOR SHALL ALLOW TIME FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- REQUESTS FOR SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER SHALL BE APPROVED IN WRITING BY THE ENGINEER OR ARCHITECT PRIOR TO IMPLEMENTATION.
- THE OWNER SHALL EMPLOY AND PAY FOR THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM ALL INSPECTIONS, TESTS, OR APPROVALS REQUIRED BY THE CONTRACT DOCUMENTS AND FOR COMPLETION OF ALL PHASES OF THE WORK. CONTRACTOR SHALL COORDINATE SCHEDULE WITH OWNER'S TESTING AGENCY.
- THE CONTRACTOR SHALL HIRE AN ENGINEERING OR SURVEYING FIRM TO PROVIDE CONSTRUCTION STAKING SERVICES. CONTACT KLJ AT 651-222-2176 TO REQUEST A QUOTE.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS. ANY MONUMENTS DISTURBED OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE A ONE (1) WEEK NOTICE TO ENGINEER, OWNER, AND PROPERTY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. UNDERGROUND LOCATES SHALL BE MADE BY USING MINNESOTA "ONE CALL" NUMBER 1-800-252-1166 OR 811.
- THIS PLAN SET INCLUDES A LEGEND OF GENERAL ABBREVIATIONS, SYMBOLS AND MATERIALS. SOME SYMBOLS, MATERIALS, AND ABBREVIATIONS MAY NOT BE UTILIZED ON THIS SPECIFIC PROJECT.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS.
- CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL MAINTAIN INGRESS/EGRESS ACCESS TO THIS PROPERTY AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE DETOURS AND ANY TEMPORARY CLOSURES WITH THE OWNER. THE CONTRACTOR SHALL KEEP THE DURATION OF ALL CLOSURES AND DETOURS TO A MINIMUM. CONTRACTOR SHALL PROVIDE FLAGGERS AS NEEDED. ALL DETOURS AND CLOSURES SHALL BE INSTALLED PER MUTCD REQUIREMENTS AND SHALL HAVE CITY OF BLAINE APPROVAL.
- CONTRACTOR SHALL FULL DEPTH SAW CUT ALL CURB AND GUTTER, SIDEWALK, AND PAVEMENT PRIOR TO REMOVAL.
- ANY EXISTING STRUCTURES DISTURBED BY CONSTRUCTION AND NOT CALLED FOR REMOVAL ARE TO BE RESTORED TO THEIR ORIGINAL LOCATION AND CONDITION. THIS INCLUDES ALL STRUCTURES SUCH AS CURB AND GUTTER, ADJACENT PAVEMENT, SIDEWALKS, ETC.
- MISCELLANEOUS ITEMS INCLUDING, BUT NOT LIMITED TO, MAILBOXES, STREET LIGHTS, TRAFFIC LIGHTS, SIGNS, FENCES, POLES, ETC. SHALL BE PROTECTED OR REMOVED AND REINSTALLED BY THE CONTRACTOR WITH THE OWNERS AND PROPERTY OWNERS PERMISSION, AND THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
- IF ENCOUNTERED, CONTRACTOR SHALL PROTECT EXISTING IRRIGATION SYSTEMS WHETHER SHOWN ON PLANS OR NOT. ANY DAMAGE TO EXISTING IRRIGATION SYSTEM(S) CAUSED BY CONSTRUCTION SHALL BE REPAIRED/RESTORED AT CONTRACTOR'S EXPENSE.
- EXCESS EXCAVATED MATERIAL INCLUDING PIPE, STUMPS, ROOTS, SOIL MATERIALS OR ANY OTHER ITEMS THE OWNER DOES NOT WISH TO SALVAGE SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY, INCIDENTAL TO THE CONTRACT. ALL CONCRETE SHALL BE LEGALLY DISPOSED OF OFFSITE, INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MANAGER AND THE APPROPRIATE UTILITY COMPANIES TO OBTAIN APPROVAL FOR AND DETERMINE THE EXTENTS OF REMOVAL, RELOCATION OR ABANDONMENT OF EXISTING ELECTRICAL, GAS AND COMMUNICATIONS LINES.

REMOVALS & DEMOLITION:

EXISTING	ITEM	PROPOSED
	FIRE HYDRANT	
	GATE VALVE	
	CURB STOP	
	YARD HYDRANT	
	BEND	
	TEE	
	CROSS	
	REDUCER	
	VERTICAL BEND	
	SANITARY MANHOLE	
	SANITARY FORECMAN MANHOLE CLEANOUT	
	STORM SEWER MANHOLE	
	CURB INLET	
	CATCH BASIN	
	POWER POLE	
	GUY WIRE	
	LIGHT POLE	
	ELECTRICAL PEDESTAL	
	ELECTRICAL METER	
	ELECTRICAL BOX	
	ELECTRICAL MANHOLE	
	TELEPHONE MANHOLE	
	TELEPHONE PEDESTAL	
	CABLE TV PEDESTAL	
	FIBER OPTIC PEDESTAL	
	UTILITY MARKER	
	GAS METER	
	TREES CONIFEROUS/ DECIDUOUS	
	BUSH/SHRUB	
	SIGN	
	CONTROL POINT	
	BENCHMARK	
	PIPE CAP	
	PROPERTY PIN	
	ASPHALT EDGE	
	BUILDING	
	BUILDING CANOPY	
	CABLE TV - UNDERGROUND	
	CENTERLINE	
	CONCRETE EDGE	
	CONSTRUCTION LIMITS	
	ELECTRICAL - OVERHEAD	
	ELECTRICAL - UNDERGROUND	
	FENCE - BARBED WIRE	
	FENCE - CHAINLINK	
	FENCE - PLASTIC, VINYL	
	FENCE - WOOD	
	FIBER - UNDERGROUND	
	GAS - UNDERGROUND	
	PROPERTY LINE	
	SANITARY SEWER SERVICE LINE	
	SANITARY SEWER (24" OR LESS)	
	SANITARY SEWER (24" OR MORE)	
	STORM SEWER EDGEDRAIN	
	STORM SEWER (24" OR LESS)	
	STORM SEWER (24" OR MORE)	
	TELEPHONE - OVERHEAD	
	TELEPHONE - UNDERGROUND	
	WATER SERVICE LINE	
	WATER MAIN	

ONE CALL
BEFORE DIGGING
800-252-1166



CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS FOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: 31338

NO.	DATE	REVISION

DRAFTED DEF
REVIEWED MRR
PROJECT NUMBER 2314-00145.1
ISSUE DATE 04/09/2024

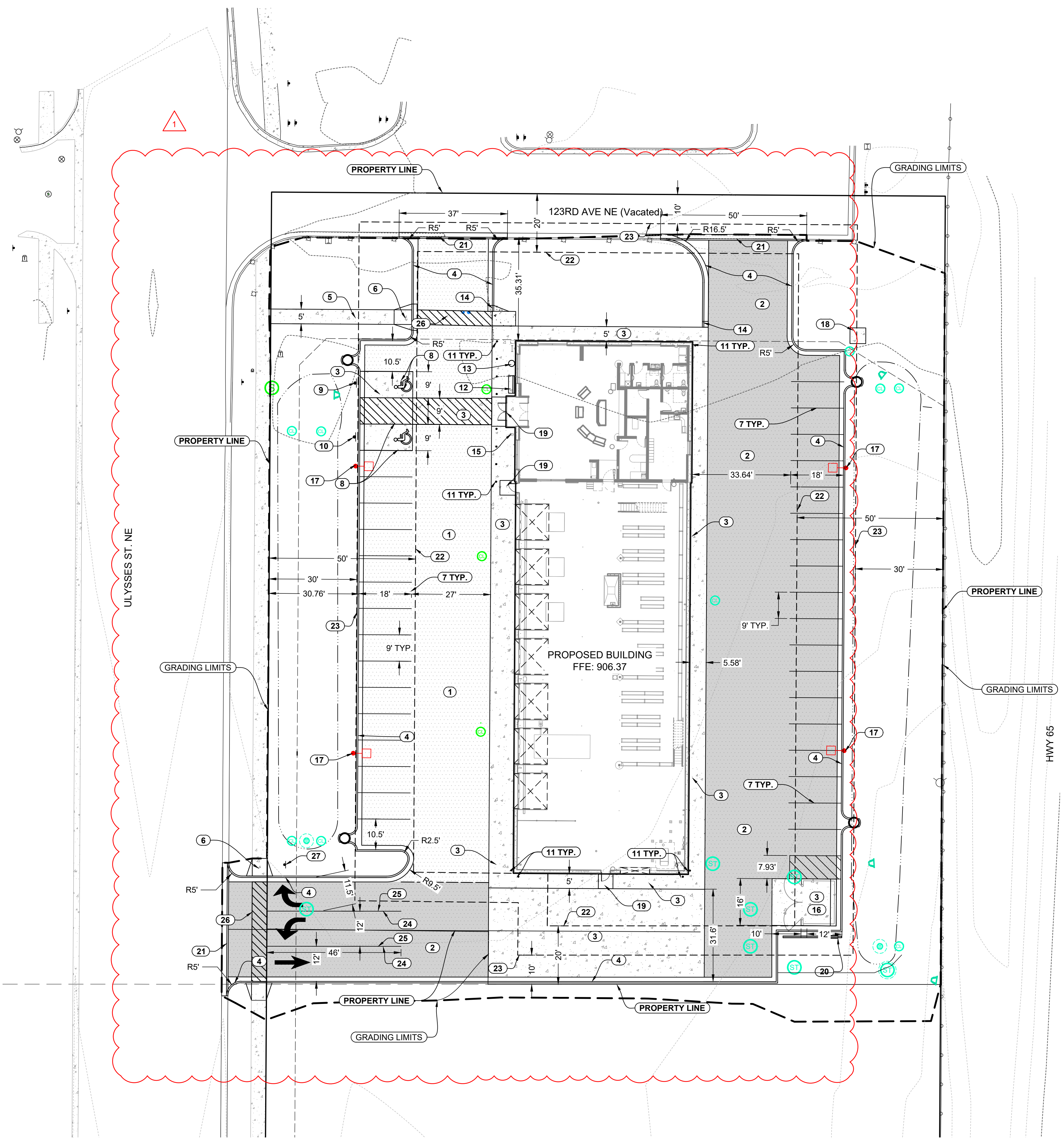
LES SCHWAB TIRE CENTER
LES SCHWAB
BLAINE, MINNESOTA
REMOVALS, GENERAL NOTES & ABBREVIATIONS

SHEET C200

NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED	DEF
REVIEWED	MRR
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
SITE LAYOUT



PLAN KEY NOTES:

- 1 STANDARD ASPHALT PAVEMENT - SEE DETAIL 1/C702
- 2 HEAVY DUTY ASPHALT PAVEMENT - SEE DETAIL 2/C702
- 3 HEAVY DUTY CONCRETE PAVEMENT - SEE DETAILS 3/C702 & 4/C702
- 4 CATCH CURB AND GUTTER - SEE DETAILS 4/C702 & 5/C702
- 5 CONCRETE SIDEWALK - SEE DETAILS 4/C702 & 8/C702
- 6 ACCESSIBLE RAMP - SEE DETAILS 4/C702 & 9/C702
- 7 4" YELLOW PAINTED PAVEMENT MARKING
- 8 HANDICAP ACCESSIBLE STALL PAVEMENT MARKING - SEE DETAIL 4/C703
- 9 STANDARD HANDICAP PARKING SIGN - SEE DETAIL 5/C703
- 10 VAN ACCESSIBLE PARKING SIGN - SEE DETAIL 5/C703
- 11 6" DIA. BOLLARD - SEE DETAIL 7/C702
- 12 BENCH - SEE DETAIL 2/C703
- 13 TRASH RECEPTACLE - SEE DETAIL 3/C703
- 14 NOSE DOWN CURB - SEE DETAIL 10/C702
- 15 KEY KEEPER WITH STAND - SEE DETAIL 1/C703
- 16 TRASH ENCLOSURE - SEE ARCHITECTURAL PLANS
- 17 LIGHT POLE - SEE ELECTRICAL PLANS
- 18 TRANSFORMER - SEE ELECTRICAL PLANS
- 19 STOOP - SEE STRUCTURAL
- 20 PYLON SIGN - SEE ATTACHED ARCHITECTURAL PLANS
- 21 DROP CURB & GUTTER - SEE DETAILS 4/C702 & 6/C702
- 22 BUILDING SETBACKS
- 23 PARKING SETBACKS
- 24 4" WHITE STRIPPING
- 25 DRIVEWAY LANE STRIPING
- 26 CROSSWALK PAVEMENT MARKING - SEE DETAIL 11/C702
- 27 STOP SIGN - SEE DETAIL 2/C701

ABBREVIATIONS:

ALT	ALTERNATE	O.C.	ON CENTER
APPROX	APPROXIMATE	OCS	OUTLET CONTROL STRUCTURE
ASPH	ASPHALT	PERF	PERFORATED
C.C.	CENTER TO CENTER	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	REINF	REINFORCED
EX	EXISTING	SAN	SANITARY
FES	FLARED END SECTION	ST	STORM
FFE	FIRST FLOOR ELEVATION	SVC	SERVICE
FG	FINISHED GRADE	TA	TOP OF ASPHALT
FL	FLOWLINE	TBC	TOP BACK OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	TC	TOP OF CONCRETE
HP	HIGH POINT	TG	TOP OF GRAVEL
INV	INVERT	TS&V	TAPPING SLEEVE & VALVE (STAINLESS STEEL)
LF	LINEAR OR LINEAL FEET	TYP.	TYPICAL
LP	LOW POINT	UC	UTILITY CONFLICT
ME	MATCH EXISTING	V	VERIFY
		WM	WATERMAIN

SITE REQUIREMENTS:

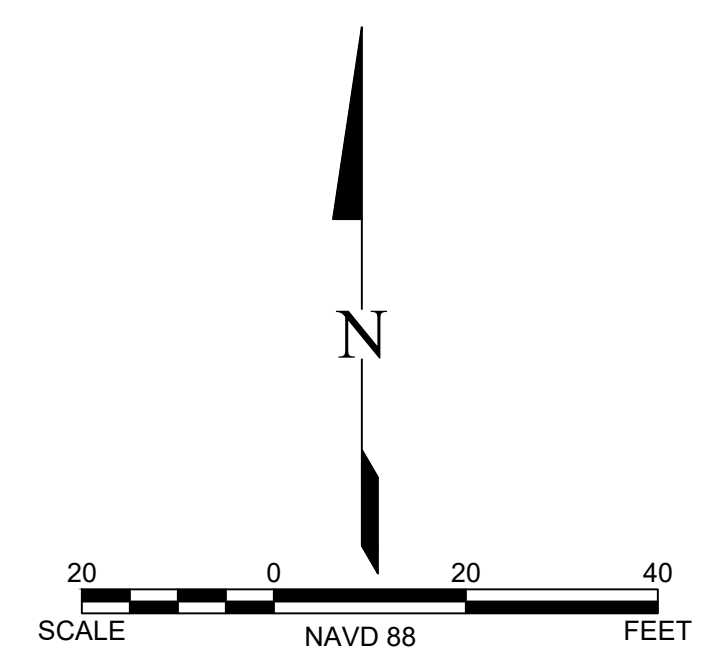
PROPERTY ADDRESS: 1241 ULYSSES AVE NE - BLAINE, MN 55434
 PROPERTY DESCRIPTION: LOT 1, BLOCK 2, OUTLOT B, BLAINE SQUARE
 LOT AREA: 60,812 SF ~ 1.40 ACRES
 IMPERVIOUS AREA: 41,556 SF ~ 0.95 ACRES ~ 68.3%
 PERVIOUS AREA: 19,256 SF ~ 0.44 ACRES ~ 31.7%
 ZONING: B-3, REGIONAL COMMERCIAL
 LOT COVERAGE:
 REQUIRED: NO MAXIMUM PERCENTAGE OF LOT COVERAGE
 FRONT YARD BUILDING SETBACK:
 REQUIRED: 50.00 FT
 PROVIDED: 83.78 FT (WEST)
 SIDE YARD BUILDING SETBACK:
 REQUIRED: 20.00 FT
 PROVIDED: 50.39 FT (NORTH)
 PROVIDED: 20.00 FT (SOUTH)
 REAR YARD BUILDING SETBACK:
 REQUIRED: 50.00 FT
 PROVIDED: 87.27 FT (EAST)

PARKING REQUIREMENTS:

CITY REQUIREMENT: 4 SPACES + 2 PER SERVICE BAY
 4 + 7 BAYS x 2 SPACES/BAY = 18 SPACES REQUIRED
 TOTAL STALLS PROVIDED = 46 STALLS (INCLUDES 2 ADA STALLS)

NOTES:

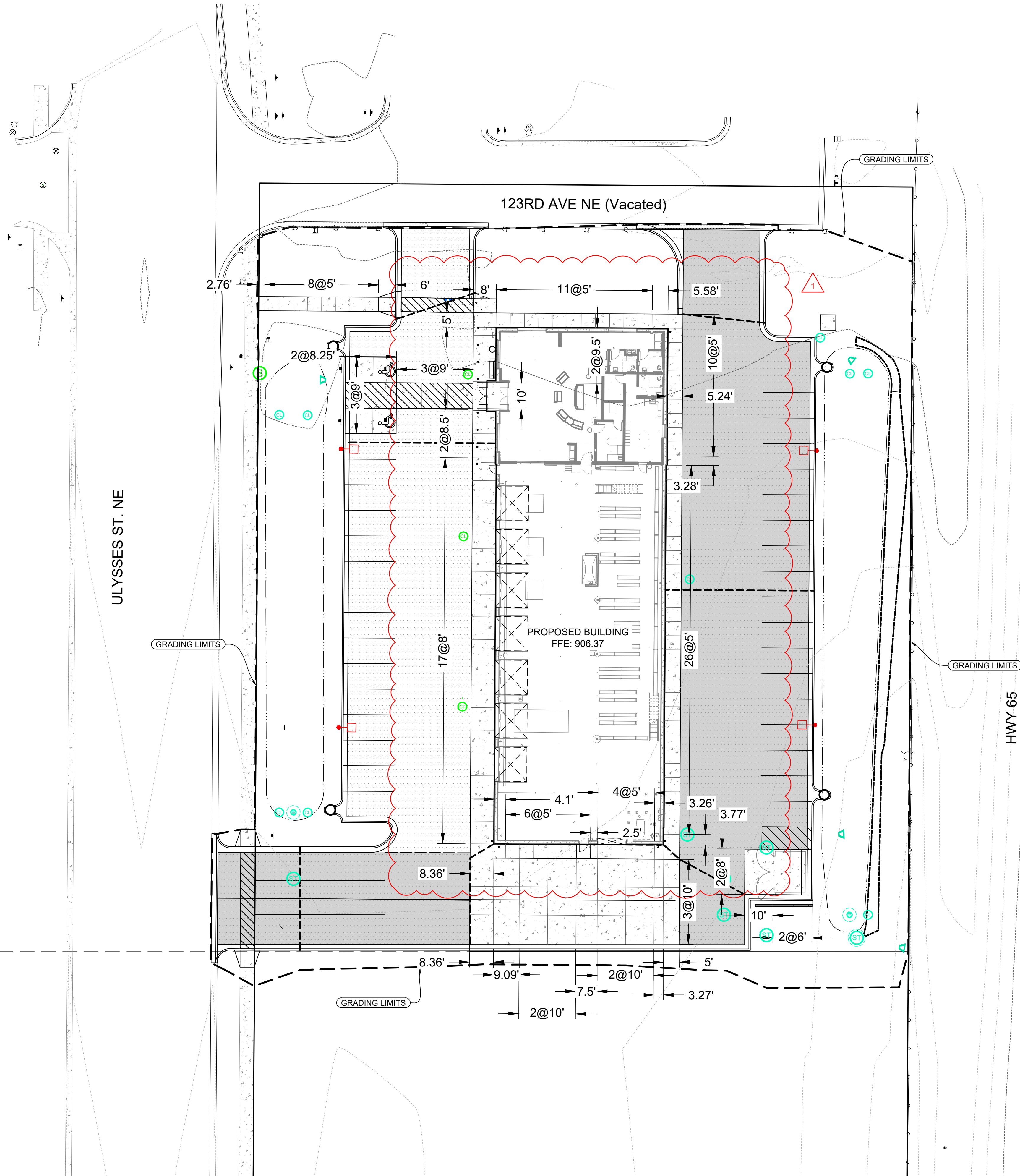
1. A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION CONTROL PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) A MINIMUM OF 7 DAYS PRIOR TO CONSTRUCTION. THIS NOTICE OF INTENT SHALL BE PROVIDED WITH THE BUILDING PERMIT APPLICATION.
2. ALL WORK WITHIN THE CITY ROW SHALL FOLLOW THE CITY OF BLAINE STANDARD SPECIFICATIONS.
3. DIMENSIONS LISTED ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
4. THE CONTRACTOR SHALL FOLLOW THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND GUIDES FOR TRAFFIC CONTROL FOR STREET AND HIGHWAY CONSTRUCTION.
5. THE CONTRACTOR SHALL FOLLOW CITY OF BLAINE AND MNDOT STANDARD DRAWINGS WHEN SETTING UP THE TRAFFIC CONTROL DEVICES.



CERTIFICATION
 I HEREBY CERTIFY THAT THIS SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 44188

NOTES:

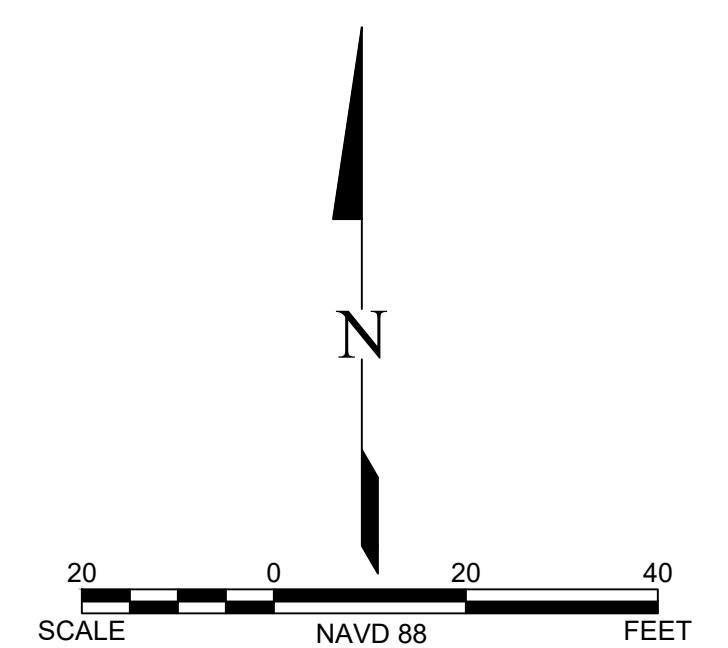
1. JOINT LAYOUT MAY BE ADJUSTED DURING CONSTRUCTION. CONTRACTOR SHALL SUBMIT REVISED JOINTING PLAN TO ENGINEER FOR APPROVAL.
2. ALL JOINTS SHALL BE SEALED.



NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED	DEF
REVIEWED	MRR
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
JOINTING LAYOUT



CERTIFICATION
 I HEREBY CERTIFY THAT THIS SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 22188

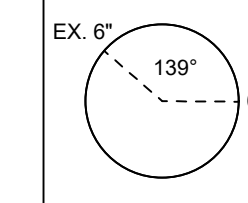


SANITARY SEWER & WATER:

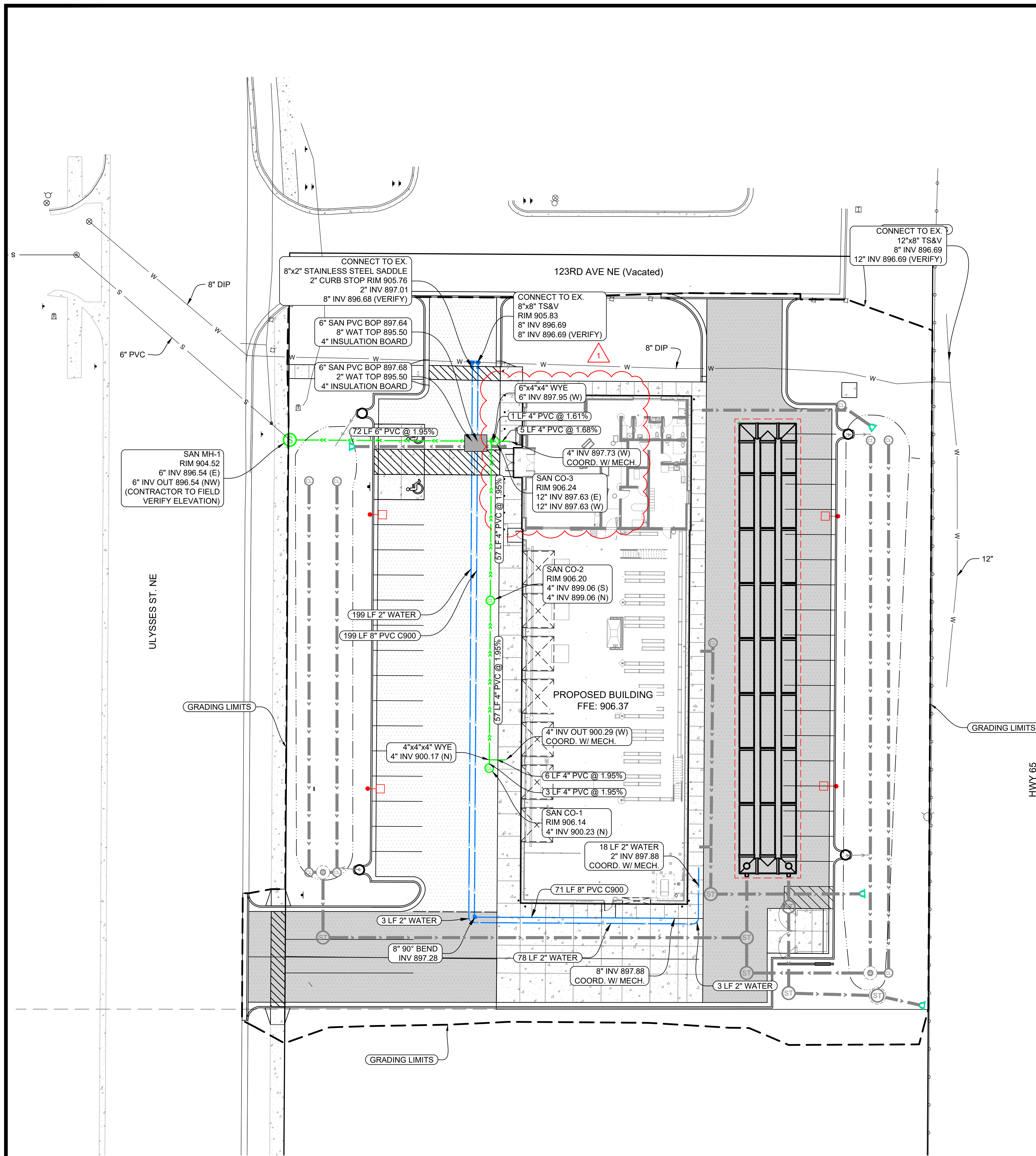
1. ALL WORK WITHIN THE CITY ROW SHALL FOLLOW THE CITY OF BLAINE STANDARD SPECIFICATIONS.
2. ALL PIPE DIMENSIONS ARE LISTED TO CENTER OF STRUCTURE.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE MATERIALS, SIZES, AND LOCATIONS AT ALL LOCATIONS.
4. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH BUILDING MECHANICAL CONTRACTOR FOR UTILITY CONNECTIONS, LOCATIONS, AND ELEVATIONS.
5. TRACER WIRE SHALL BE INSTALLED ON SANITARY SEWER SERVICES & WATER SERVICES.
6. SEE SHEETS C700-C701 FOR UTILITY DETAILS.
7. SEE SHEET C401 FOR STORM SEWER LAYOUT
8. MINIMUM WATER BURY DEPTH 7'-6"

STRUCTURE SUMMARY TABLE

STRUCTURE NO.	SAN MH-1
SIZE/TYPE	48" MANHOLE
MANUFACTURER	CONCRETE
CASTING - FRAME	NEENAH R-1733
CASTING - GRATE	SOLID



MODELS AND MANUFACTURES INCLUDED IN CASTING SCHEDULE ARE "OR EQUAL" ITEMS. CONTRACTOR MAY SUBMIT SIMILAR ALTERNATE PRODUCTS FOR REVIEW BY THE ENGINEER.



REVISION	
CITY RESPONSE COMMENTS	
NO.	1
DATE	07/12/2024

DRAFTED	DEF
REVIEWED	MRR
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
SANITARY SEWER & WATER LAYOUT

CERTIFICATION
 I HEREBY CERTIFY THAT THE PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 41181

SHEET
C400

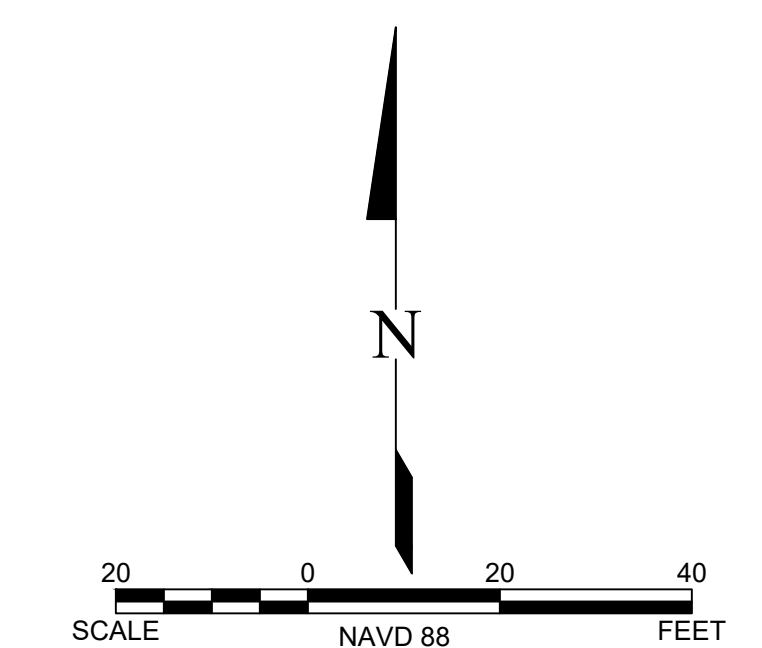
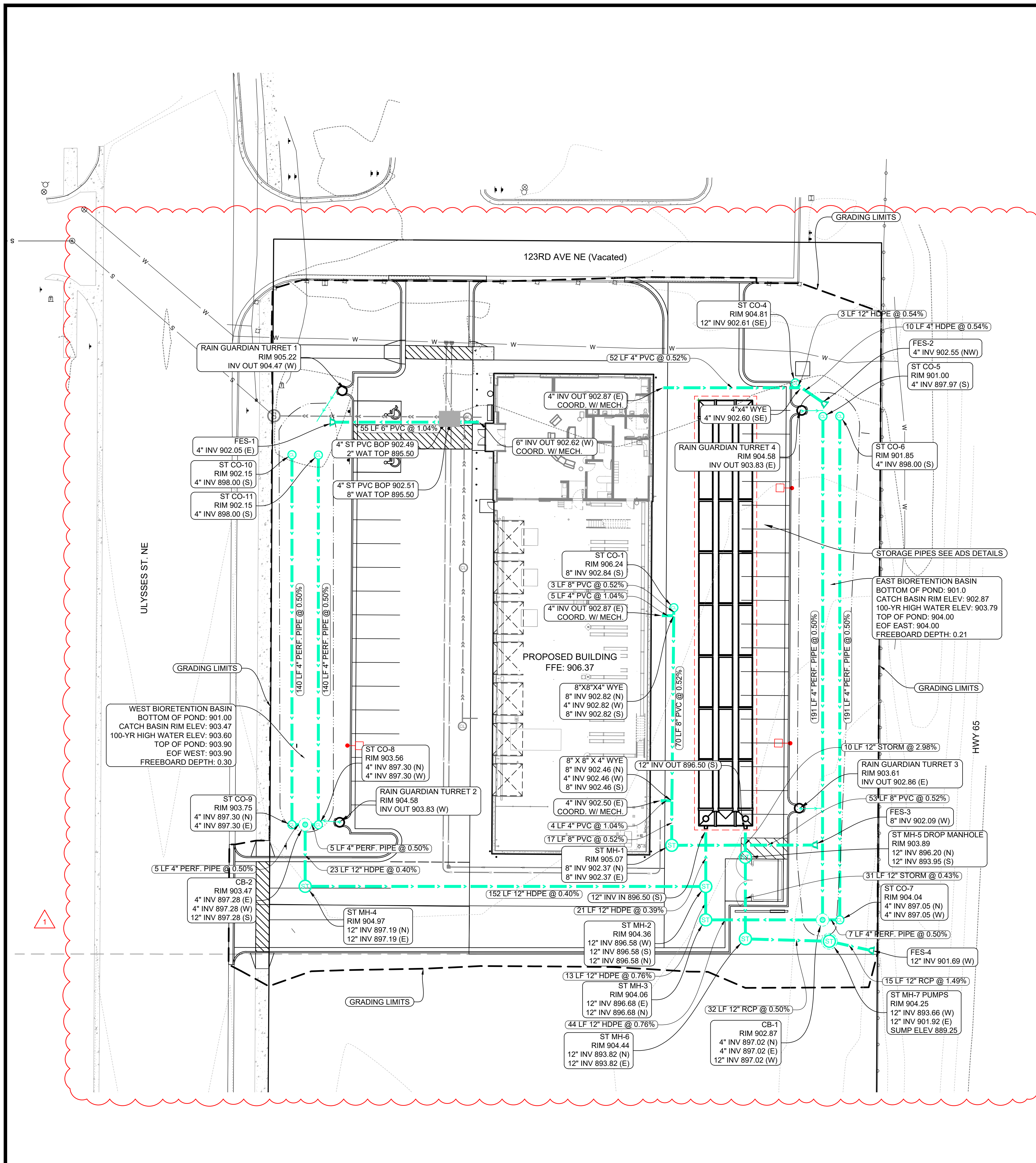
STORM SEWER:

- ALL WORK WITHIN THE CITY ROW SHALL FOLLOW THE CITY OF BLAINE STANDARD SPECIFICATIONS.
- ALL PIPE DIMENSIONS ARE LISTED TO CENTER OF STRUCTURE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE MATERIALS, SIZES, AND LOCATIONS AT ALL LOCATIONS.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH BUILDING MECHANICAL CONTRACTOR FOR UTILITY CONNECTIONS, LOCATIONS, AND ELEVATIONS.
- SEE SHEETS C700-C701 FOR UTILITY DETAILS.
- SEE SHEET C400 FOR SANITARY SEWER & WATER LAYOUT
- WATER QUALITY LEVEL:
 - WEST BIORETENTION POND ELEV = 901.54
 - EAST BIORETENTION POND ELEV = 902.05
- THE HIGH WATER LEVEL IN THE UNDERGROUND TANK FOR THE 100 YEAR STORM EVENT IS 901.13.

STRUCTURE SUMMARY TABLE

STRUCTURE NO.	ST MH-1	ST MH-2	ST MH-3	ST MH-4	
SIZE/TYPE	48" MANHOLE	48" MANHOLE	48" MANHOLE	48" MANHOLE	
MANUFACTURER	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
CASTING - FRAME	NEENAH R-1733	NEENAH R-1733	NEENAH R-1733	NEENAH R-1733	
CASTING - GRATE	SOLID	SOLID	SOLID	SOLID	
STRUCTURE NO.	ST MH-5	ST MH-6	ST MH-7	CB-1	CB-2
SIZE/TYPE	48" MANHOLE	48" MANHOLE	96" MANHOLE	48" MANHOLE	48" MANHOLE
MANUFACTURER	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
CASTING - FRAME	NEENAH R-1733	NEENAH R-1733	NEENAH R-1733	NEENAH R-1733	NEENAH R-1733
CASTING - GRATE	SOLID	SOLID	SOLID	SOLID	SOLID

MODELS AND MANUFACTURES INCLUDED IN CASTING SCHEDULE ARE "OR EQUAL" ITEMS, CONTRACTOR MAY SUBMIT SIMILAR ALTERNATE PRODUCTS FOR REVIEW BY THE ENGINEER.



CERTIFICATION
 I HEREBY CERTIFY THAT THE FINAL SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 4418

REVISION	DATE	CITY COMMENT RESPONSE
NO. 1	07/12/2024	

DRAFTED: DEF
 REVIEWED: MRR
 PROJECT NUMBER: 2314-00145.1
 ISSUE DATE: 04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
STORM SEWER LAYOUT

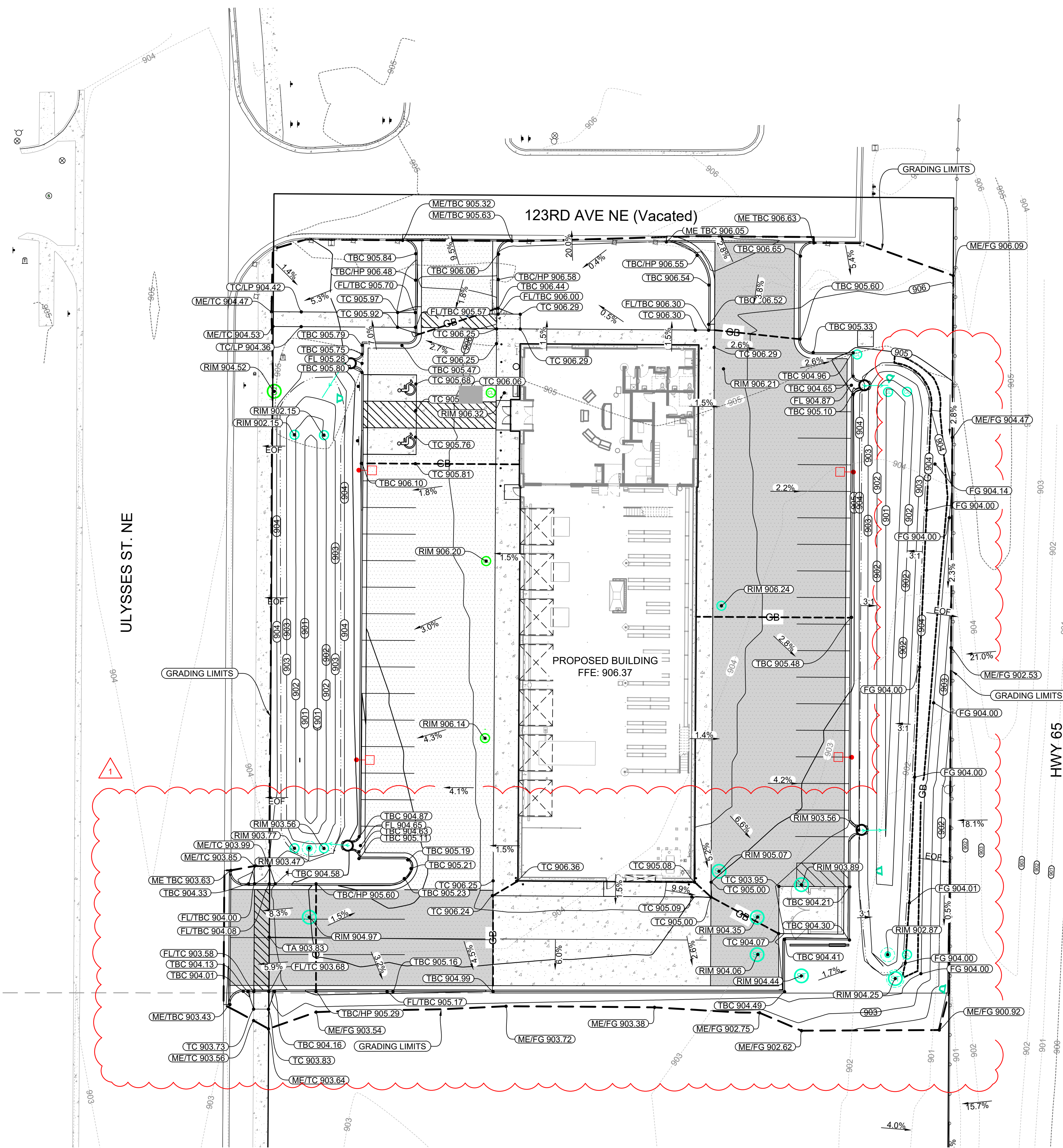
NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SITE FROM EROSION ONTO ADJACENT STREETS / PROPERTIES AND INTO THE STORM SEWER SYSTEM.
- EXISTING CONTOURS ARE SHOWN AT EXISTING GRADE.
- PROPOSED CONTOURS ARE SHOWN AT FINISH GRADE.
- CONTRACTOR SHALL REVIEW AND FOLLOW ALL REQUIREMENTS OF THE GEOTECHNICAL REPORT.
- SUBGRADE SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS.

ABBREVIATIONS:
 FFE= FIRST FLOOR ELEVATION
 FG = FINISHED GRADE
 FL = FLOWLINE
 GB = GRADE BREAK
 ME = MATCH EXISTING
 TBC= TOP BACK OF CURB
 TC = TOP OF CONCRETE

LEGEND:

--- GB --- GRADE BREAK



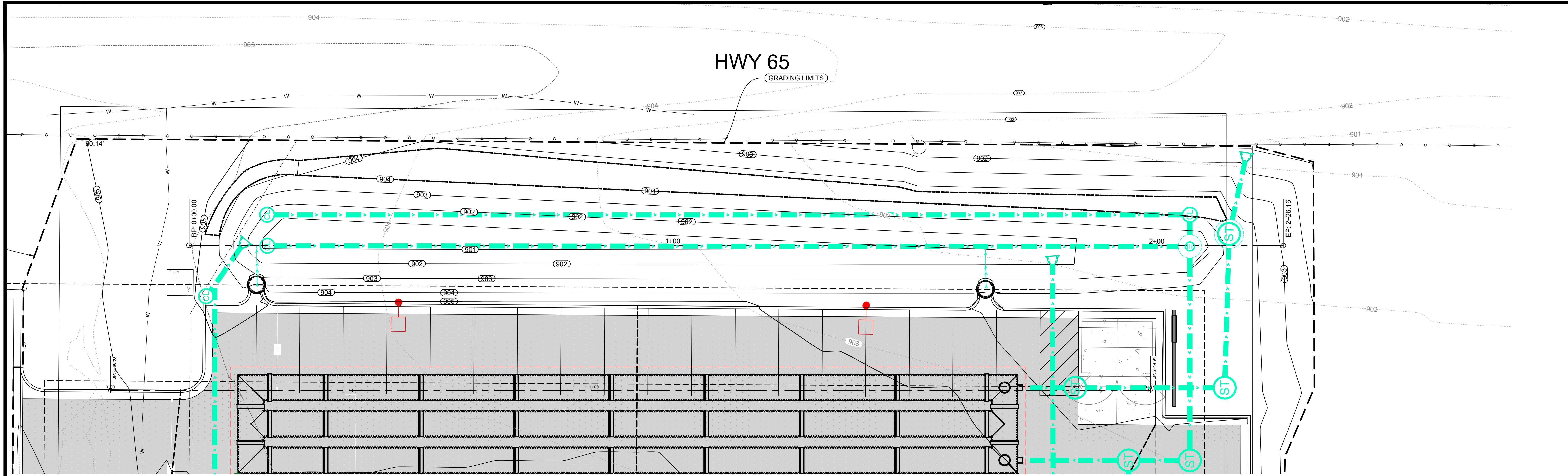
NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED
DEF
 REVIEWED
MRR
 PROJECT NUMBER
2314-00145.1
 ISSUE DATE
04/09/2024

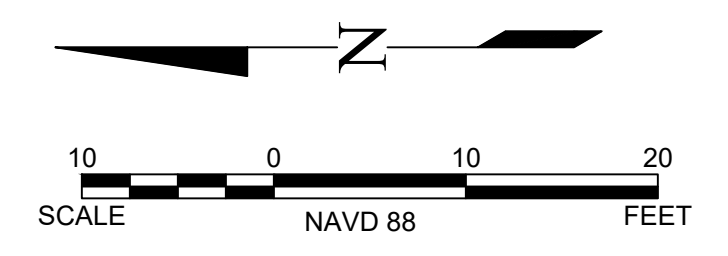
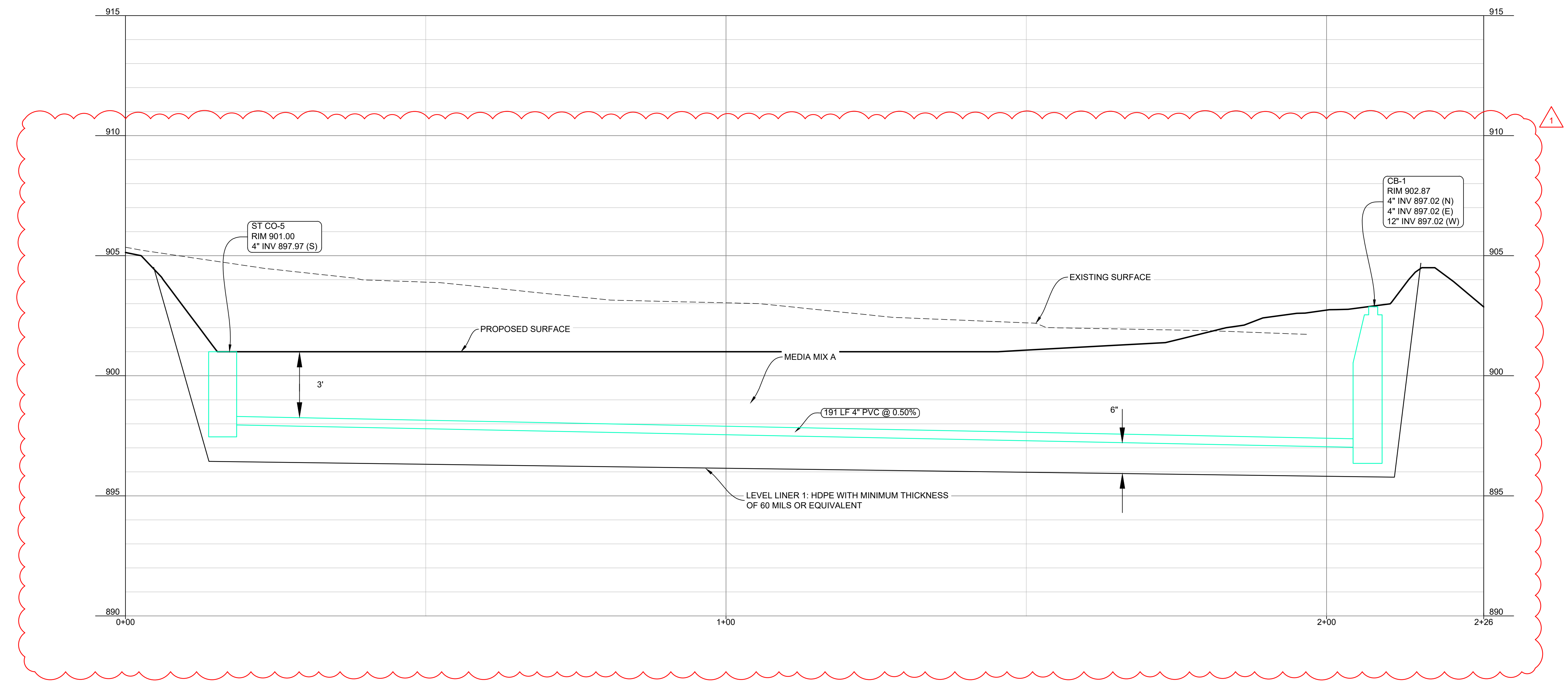
LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
GRADING LAYOUT

CERTIFICATION
 I HEREBY CERTIFY THAT THIS FINAL SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: JLLBL

SHEET
C500



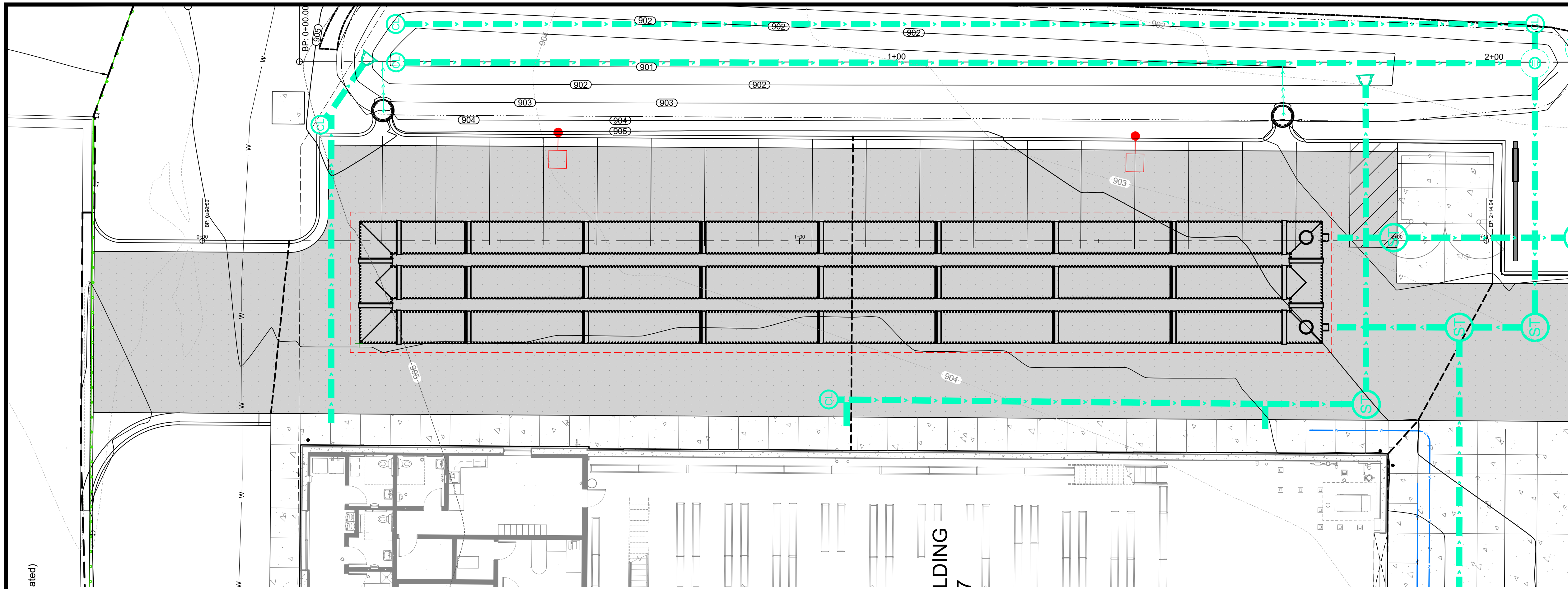
NO.	1	DATE	07/12/2024	REVISION	CITY COMMENT RESPONSE
DRAFTED DEF					
REVIEWED MRR					
PROJECT NUMBER 2314-00145.1					
ISSUE DATE 04/09/2024					



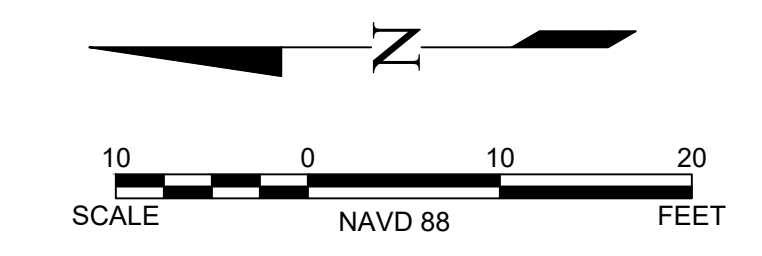
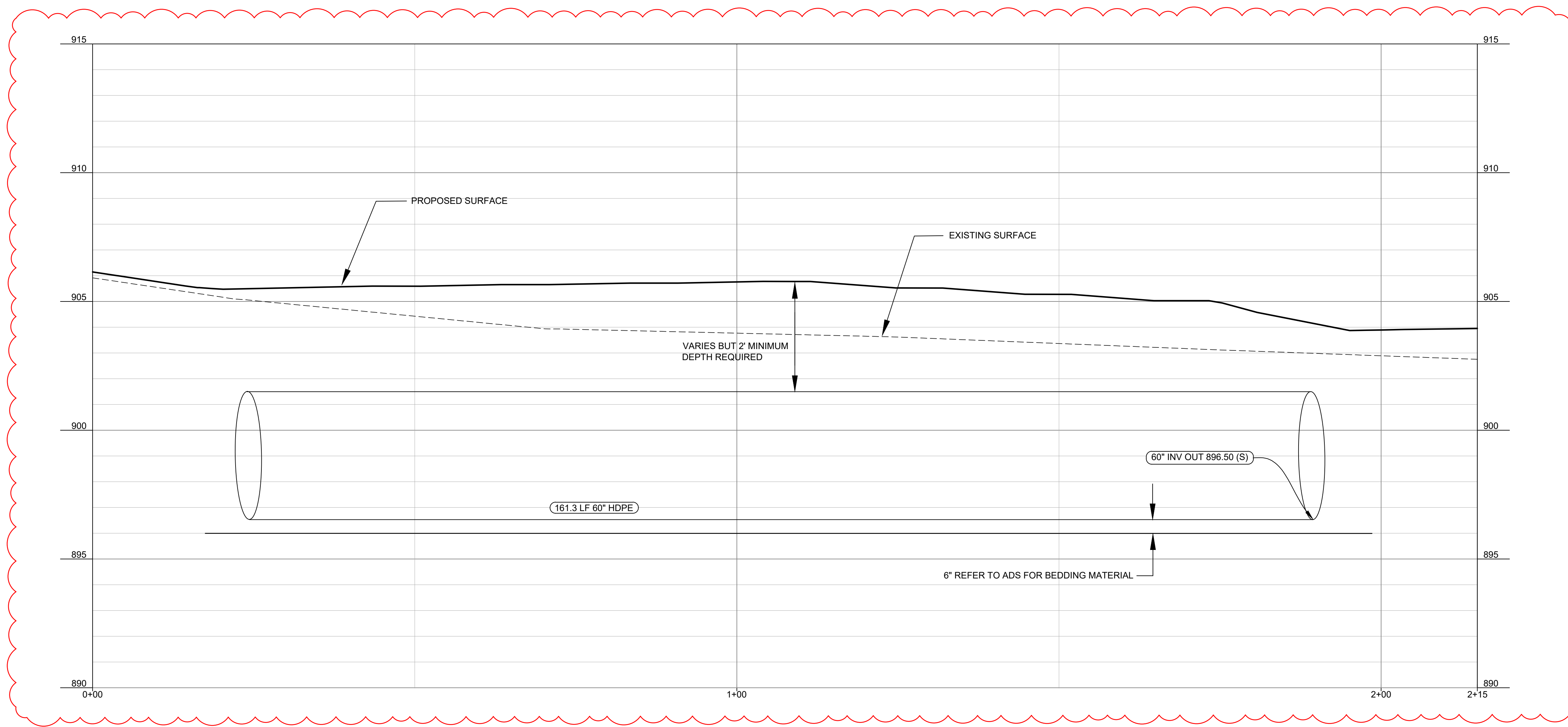
CERTIFICATION
 I HEREBY CERTIFY THAT THIS SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: JLLBL

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
EAST BIORETENTION BASIN

SHEET
C501



1



CERTIFICATION
 I HEREBY CERTIFY THAT THE DESIGN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 44188

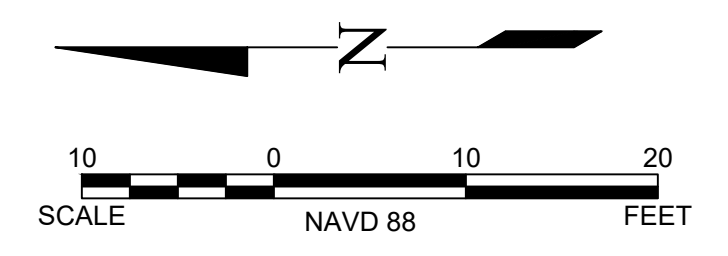
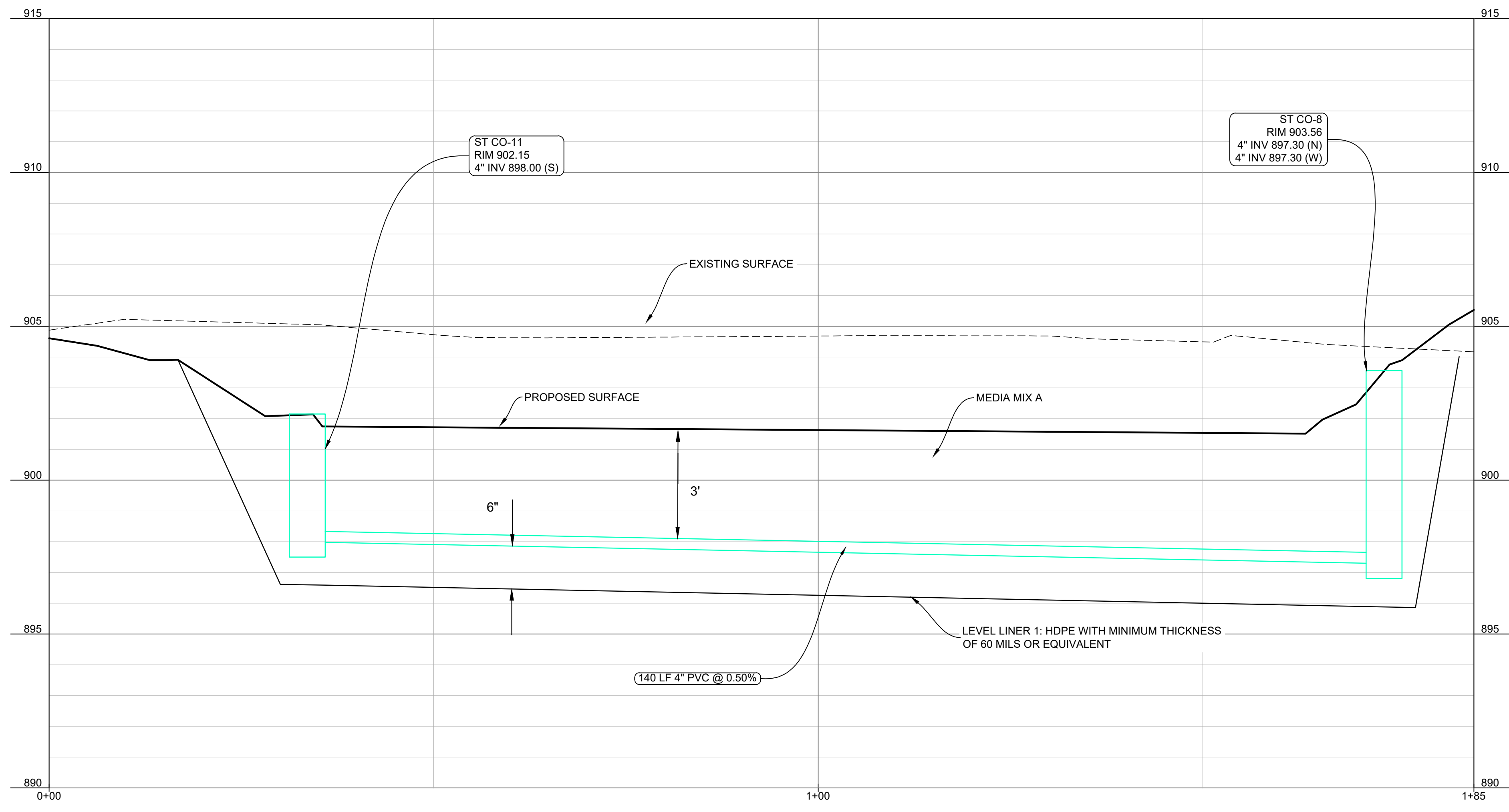
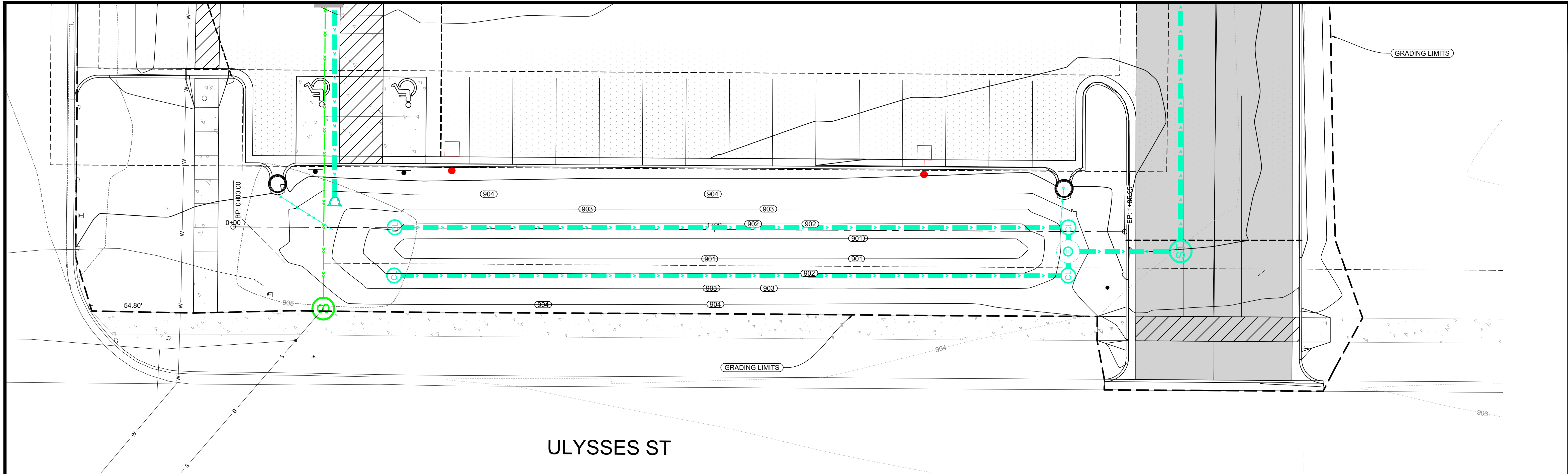


NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED: DEF
 REVIEWED: MRR
 PROJECT NUMBER: 2314-00145.1
 ISSUE DATE: 04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
UNDERGROUND STORAGE

SHEET
C502



CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 11181

NO.	DATE	REVISION

DRAFTED
DEF

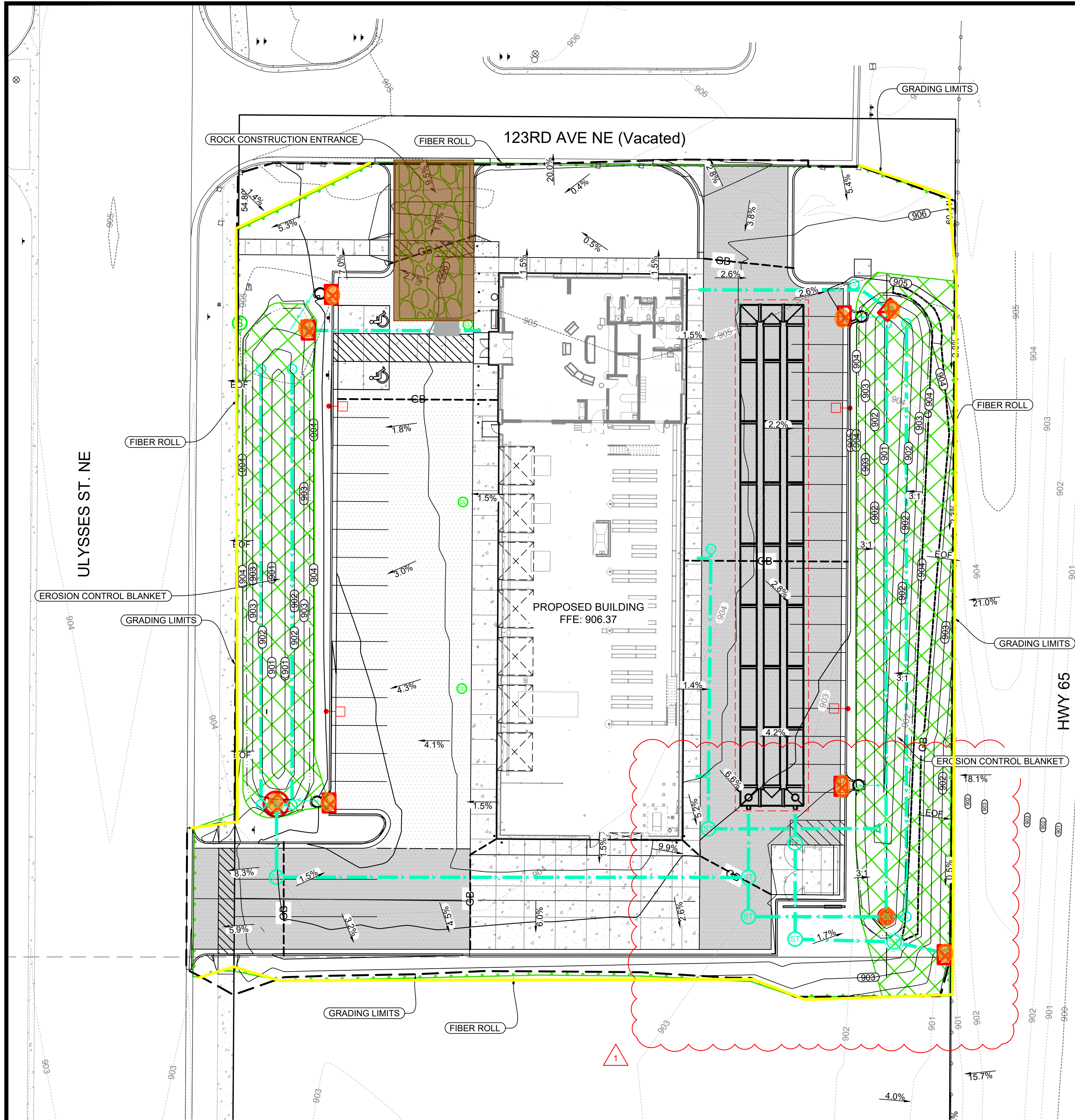
REVIEWED
MRR

PROJECT NUMBER
2314-00145.1

ISSUE DATE
04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
WEST BIORETENTION BASIN

SHEET
C503



SITE DESCRIPTION
 THE PROJECT CONSISTS OF A NEW BUILDING, UNDERGROUND UTILITIES, PARKING LOT, AND LANDSCAPING. THE PROJECT IS LOCATED ON OUTLOT B IN LOT 1, BLOCK 2, OF BLAINE SQUARE, LOCATED IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 31 NORTH, RANGE 23, TO THE CITY OF BLAINE, ANOKIA COUNTY, MINNESOTA. THE SITE IS LOCATED ON A 1.39 ACRE PARCEL WITH AN ESTIMATED DISTURBANCE OF 1.24 ACRES.

THE SITE IS CURRENTLY A VACANT LOT AND CONTAINS MOSTLY PERVIOUS AREA AND GENERALLY DRAINS TO THE SOUTHEAST AT GRADUAL GRADES.

THE PROPOSED SITE WILL CONSIST MAINLY OF IMPERVIOUS SURFACES, SUCH AS THE NEW BUILDING AND PARKING LOT. STORMWATER WILL BE COLLECTED BY INLETS AND STORM SEWER WHICH WILL DRAIN TO THE CITY STORM SEWER.

CONSTRUCTION SCHEDULE

1. INSTALL TEMPORARY EROSION CONTROL (I.E. CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION, ETC.)
2. STRIP TOPSOIL AND STOCKPILE ONSITE.
3. INSTALL TEMPORARY SOIL STABILIZATION ON DISTURBED AREAS
4. EXCAVATE AND INSTALL BUILDING FOUNDATION
5. SITE GRADING
6. INSTALL WATER, SANITARY SEWER, AND STORM SEWER
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. COMPLETE FINAL GRADING ACTIVITIES
9. COMPLETE PAVING OPERATIONS
10. MULCH AND SEED ALL DISTURBED AREAS WITHIN 14 DAYS OF TOPSOIL PLACEMENT AND GRADING.

SOIL DESCRIPTION

THE EXISTING SOILS FOR THE SITE CONSISTING PRIMARILY OF ZIMMERMAN FINE SAND.

RECEIVING WATERS

MISSISSIPPI RIVER THE ULTIMATE RECEIVING WATER FOR THE SITE AND IS AN IMPAIRED WATER FOR ANY CONSTRUCTION RELATED ACTIVITIES AND IS GREATER THAN 1 MILE FROM THE CONSTRUCTION ACTIVITY.

OPERATIONAL CONTROLS

1. THE CONTRACTOR SHALL PREPARE AND SUBMIT THE SWPPP PERMIT AND A NOTICE OF INTENT AND EROSION CONTROL PLAN TO THE OWNER 35 DAYS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES FOR REVIEW.
2. THE CONTRACTOR AND OWNER ARE JOINTLY REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) TO THE MINNESOTA POLLUTION CONTROL AGENCY AT LEAST 7 DAYS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE SWPPP AS REQUIRED BY THE MINNESOTA POLLUTION CONTROL AGENCY. THE PLAN PROVIDES STRUCTURAL CONTROLS AND/OR STABILIZATION PRACTICES DESIGNED TO MINIMIZE POLLUTANTS IN THE STORMWATER DISCHARGE, TO MINIMIZE EROSION ON THE SITE, AND TO ELIMINATE TRACKING OF SOILS OFFSITE BY VEHICLES.
4. A REGULAR PROGRAM OF INSPECTION AND MAINTENANCE OF THE EROSION, SEDIMENT AND POLLUTION CONTROLS WILL BE MAINTAINED, MODIFIED, AND SUPPLEMENTED BY ADDITIONAL MEASURES IN ORDER TO ADEQUATELY MINIMIZE POLLUTANTS.
5. THE CONTRACTOR SHALL UPDATE SWPPP IF DIFFERENT FROM SWPPP PLAN THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR AND OWNER ARE JOINTLY REQUIRED TO SUBMIT A NOTICE OF TERMINATION (NOT) AFTER THE SITE HAS BEEN STABILIZED, CONSTRUCTION IS COMPLETE, AND TEMPORARY EROSION CONTROL MEASURES HAVE BEEN REMOVED.
7. STORMWATER MANAGEMENT CONTROLS IN ADDITION TO THOSE SHOWN ON THE PLANS SHALL BE PLACED, MAINTAINED, AND REMOVED AT THE DISCRETION OF THE CONTRACTOR OR AT THE DIRECTION OF THE ENGINEER AS NECESSARY.

GOOD HOUSEKEEPING

1. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL, UNLESS THE CONTAINER IS NOT RE-SEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT SAFETY INFORMATION.
2. ALL HAZARDOUS MATERIALS STORAGE AREAS SHALL HAVE RESTRICTED ACCESS TO PREVENT VANDALISM.
3. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR AGENCY-RECOMMENDED METHODS OF PROPER DISPOSAL WILL BE FOLLOWED.
4. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
5. ALL NON-HAZARDOUS WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED METAL DUMPSTERS OR OTHER APPROVED CONTAINMENT METHOD AT THE END OF EACH DAY.
6. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS NECESSARY TO FUNCTION AS INTENDED FOR DEBRIS COLLECTION. NO CONSTRUCTION MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED BY THE CONTRACTOR'S EROSION CONTROL SUPERVISOR REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
7. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AT A RATE NECESSARY TO MAINTAIN DESIGNED FUNCTION, BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
8. GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORMWATER CONTAMINATION FROM PETROLEUM PRODUCTS, FERTILIZERS, PAINTS, CONCRETE, AND ANY OTHER PRODUCTS USED IN CONSTRUCTION ACTIVITIES.
9. FERTILIZERS WILL BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.

SEDIMENT TRACK OUT

OPERATOR SHALL UTILIZE ROCK CONSTRUCTION ENTRANCE(S) AND WASH-DOWN STATIONS AS NEEDED TO MINIMIZE OFFSITE TRACKING. THE OPERATOR SHALL, AT THE END OF EACH SHIFT OR MORE FREQUENTLY IF REQUIRED, UTILIZE A STREET CLEANER TO REMOVE ANY ACCUMULATED SEDIMENT.

DUST CONTROL

OPERATOR SHALL USE SUFFICIENT WATER DURING SITE CLEARING AND GRADING ACTIVITIES TO MINIMIZE THE GENERATION OF DUST AND BLOWING SOILS.

PREVENTATIVE MAINTENANCE

SITE INSPECTIONS SHALL BE PERFORMED BY THE OPERATOR BEGINNING WITH THE INITIAL SITE CLEARING AND GRADING THROUGH THE COMPLETION OF ALL PROJECT ACTIVITIES. UPON INSPECTION OF PROBLEM AREAS, CORRECTIVE ACTION SHALL BE TAKEN WITHIN 24 HOURS. INSPECTION AND CORRECTIVE ACTIONS TAKEN SHALL BE RECORDED BY THE OPERATOR AND SHALL BE INCLUDED WITH THE PROJECT FILE. INSPECTIONS SHALL BE PERFORMED AT LEAST ONCE EVERY SEVEN DAYS AND FOLLOWING A 0.5 INCH RAIN EVENT WITHIN A 24-HOUR PERIOD.

SEDIMENTATION CONTROL DEVICES SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL FOLLOWING SECTION 11.1-1.2 INSPECTIONS AND MAINTENANCE OF THE CSW PERMIT. THE PARTY RESPONSIBLE FOR MAINTENANCE SHALL BE NOTIFIED OF DEFICIENT SEDIMENTATION CONTROL DEVICES AND CORRECTIVE ACTIONS SHALL BE TAKEN WITHIN 24 HOURS OF DISCOVERY OF THE PROBLEM.

SPILL PREVENTION AND RESPONSE PROCEDURES

1. ALL VEHICLES ONSITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
2. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
3. SPILL KITS WILL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
4. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
5. ALL PAINT CONTAINERS AND CURING COMPOUNDS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS OR AGENCY REGULATIONS.
6. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ONSITE. EQUIPMENT WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER OR OIL ABSORBENTS, SAND, SAW DUST, OIL ABSORBENT BOOMS AND DIAPERS AND PLASTIC AND METAL TRASH CONTAINERS DEDICATED TO SPILL CLEANUP.
7. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM CONVEYANCE SYSTEM WILL BE REPORTED TO THE MINNESOTA POLLUTION CONTROL AGENCY.
8. THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
9. SPRAY GUNS WILL BE CLEANED ON A REMOVABLE TARP OR OTHER APPROVED METHOD.
10. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, UNLESS DONE IN AN ENGINEERED CONTAINMENT SYSTEM.
11. FORM RELEASE OIL USED FOR DECORATIVE STONE OR CONCRETE WORK WILL BE APPLIED OVER A PALLET COVERED WITH AN ABSORBENT MATERIAL TO COLLECT EXCESS FLUID. THE ABSORBENT MATERIAL WILL BE REPLACED AND DISPOSED OF PROPERLY WHEN SATURATED.

EMPLOYEE TRAINING

THE OPERATOR SHALL PROVIDE PROPER TRAINING AND EDUCATION TO THEIR RESPECTIVE EMPLOYEES AND SUBCONTRACTORS WITH RESPECT TO SPILL RESPONSE PROCEDURES, GOOD HOUSE KEEPING PRACTICES, AND EROSION AND SEDIMENT CONTROL PRACTICES.

CONCRETE GRINDINGS AND SLURRY

OPERATOR SHALL ESTABLISH AND MAINTAIN A CONCRETE WASHOUT AREA THAT WILL NOT ALLOW WASH WATER, GRINDINGS, OR SLURRY TO EXIT THE SITE WASTE MATERIAL FROM THE WASH OUT SHALL BE TRUCKED OFFSITE BY THE OPERATOR AND DISPOSED OF PROPERLY AT NO TIME SHALL THE WASTE MATERIAL BE USED AS ENGINEERED FILL MATERIAL OR DISPOSED OF IN THE GRADING ACTIVITIES AT THE SUBJECT PROJECT LOCATION.

DEWATERING AND BASIN DRAINING OPERATIONS

THE OPERATOR SHALL EMPLOY APPROPRIATE METHODS TO ENSURE THAT NO SEDIMENT LADEN WATER IS ALLOWED TO INFILTRATE THE EXISTING DRAINAGE SYSTEM AND THAT NO EROSION IS CAUSED BY THE DISCHARGE OF THE DE-WATERING METHODS.

SWPPP DESIGN CERTIFICATION

1. SWPPP DESIGNER
 SCOTT KOLBINGER, PE
 DATE OF TRAINING: JUNE 1, 2023
 INSTRUCTOR: HUA ZHAO
 TRAINING ENTITY: UNIVERSITY OF MINNESOTA
 CONTENT OF TRAINING: DESIGN OF CONSTRUCTION SWPPP
2. INDIVIDUALS OVERSEEING IMPLEMENTATION OF REVISING AND OR/AMENDING THE SWPPP AND INDIVIDUAL PERFORMING INSPECTIONS OF THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ON-SITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.*
3. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS.*

*CONTRACTOR TO PROVIDE CERTIFICATION THAT MEETS MPCA CSW PERMIT REQUIREMENTS OF SECTIONS 5.20 AND 21.2 FOR CONTRACT APPROVAL.

ESTIMATED EROSION CONTROL BMPs QUANTITIES:

- FIBER ROLL - 1,000 LF
- INLET PROTECTION - 6 EACH
- ROCK CONSTRUCTION ENTRANCE - 1,000 SF
- EROSION CONTROL BLANKET - 10,800 SF

IMPERVIOUS AREA CALCULATIONS:

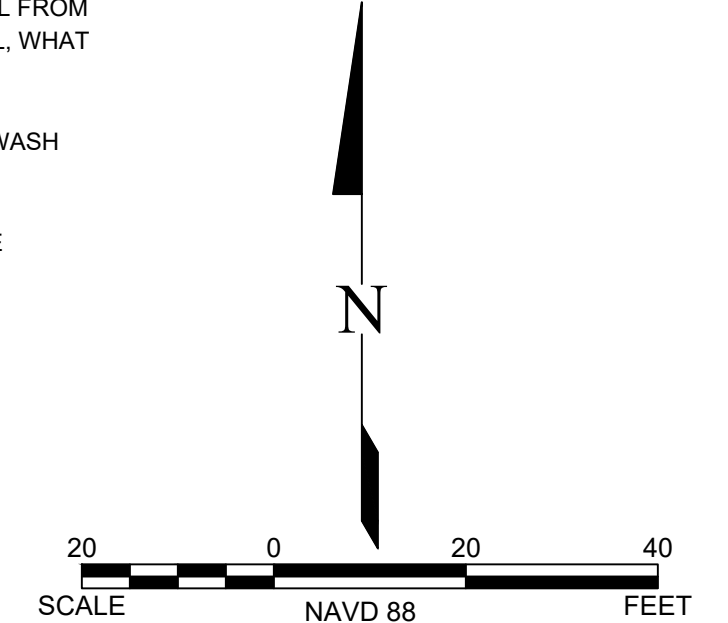
EXISTING IMPERVIOUS AREA = 0.09 ACRES
 PROPOSED IMPERVIOUS AREA = 1.79 ACRES

NOTES:

- THE CONTRACTOR IS TO HAVE A PERSON KNOWLEDGEABLE AND EXPERIENCE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS AND OPERATORS ON SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP.
- LES SCHWAB TIRE CENTER IS RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER TREATMENT SYSTEM.

LEGEND

- GB --- GRADE BREAK
- FIBER ROLL --- FIBER ROLL
- INLET PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET

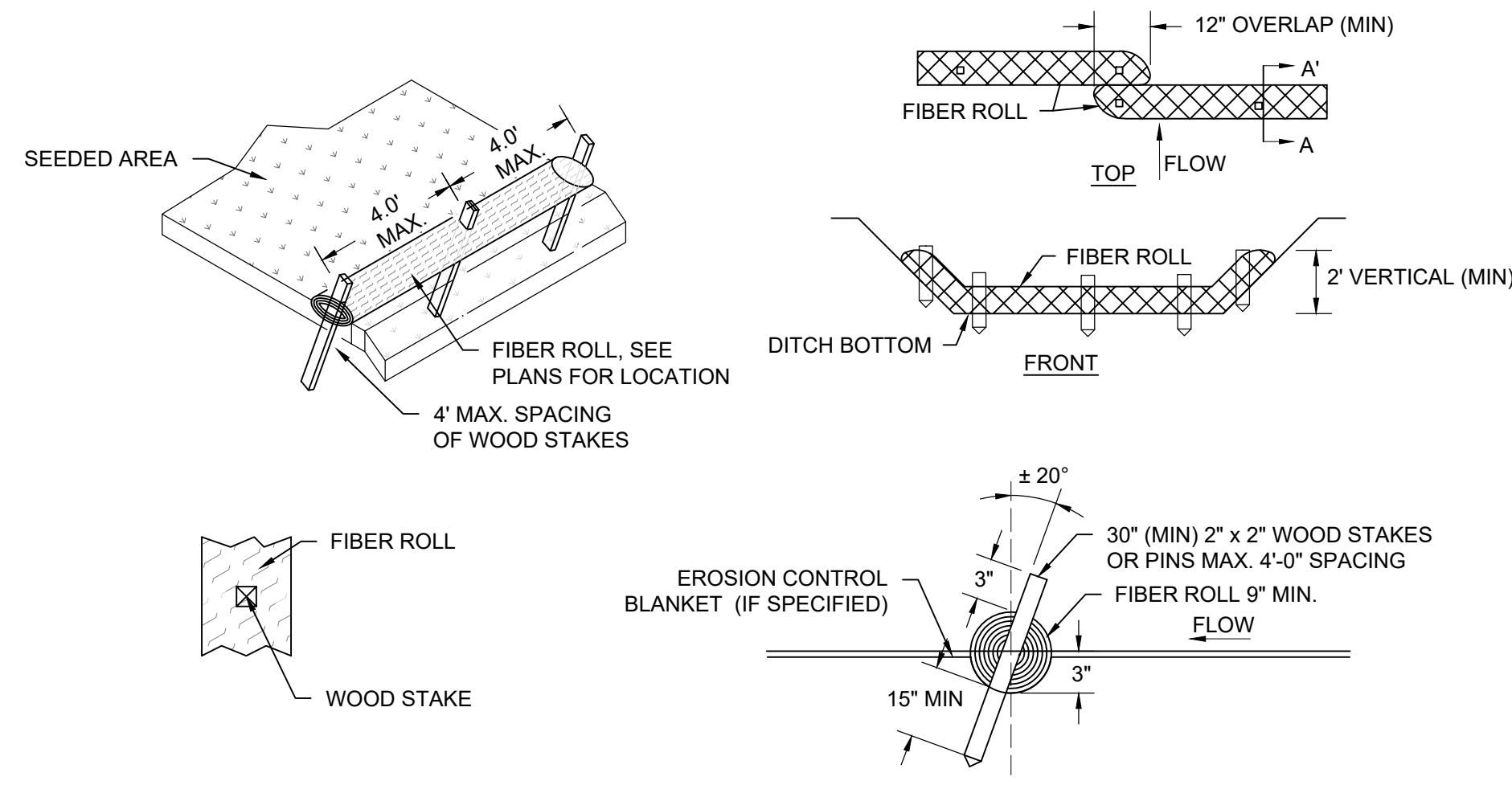


CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: JLLB

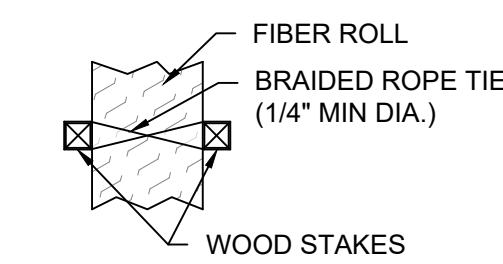
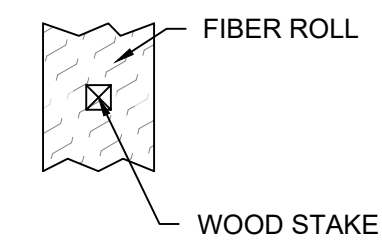
REVISION			
CITY COMMENT RESPONSE			
DATE	07/12/2024		
NO.	1		
DRAFTED	DEF		
REVIEWED	MRR		
PROJECT NUMBER	2314-00145.1		
ISSUE DATE	04/09/2024		

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA

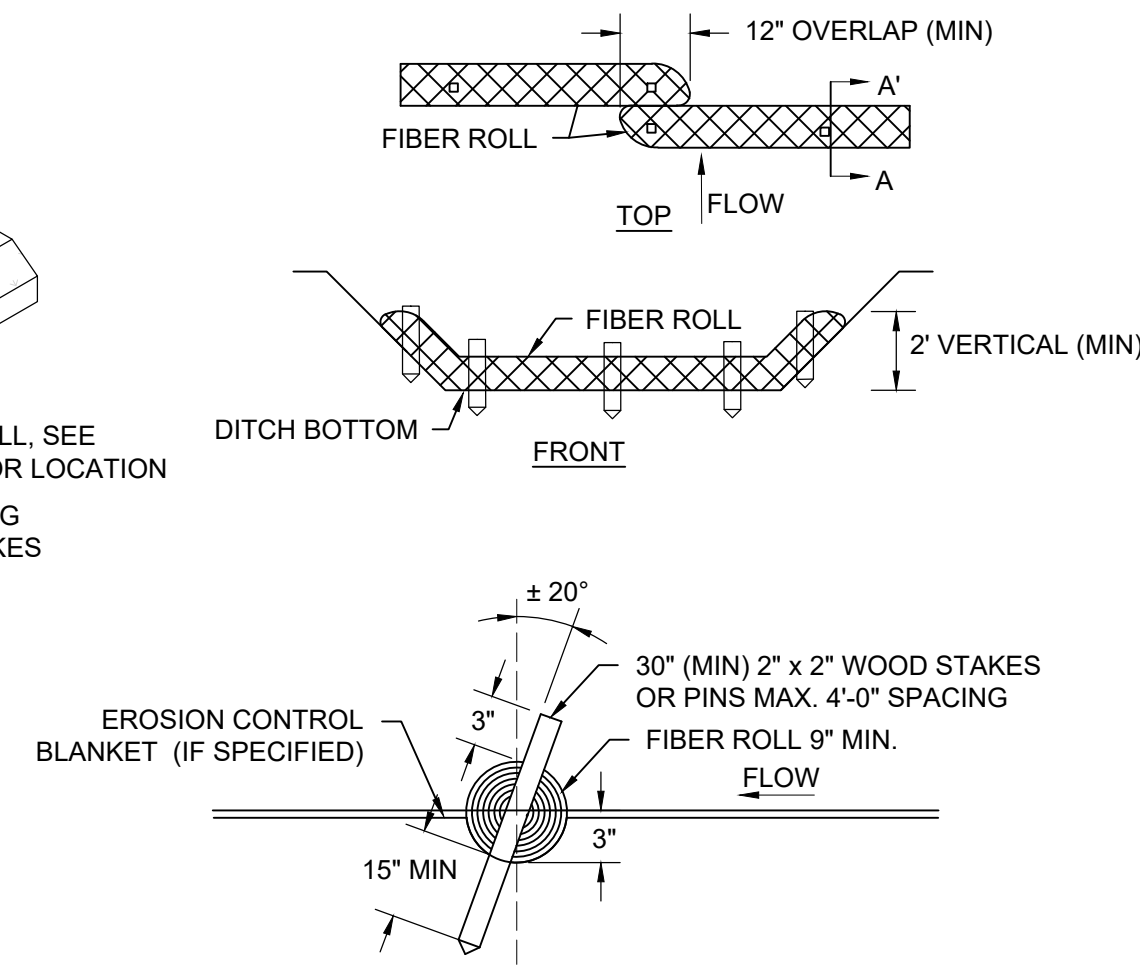
SHEET
C600



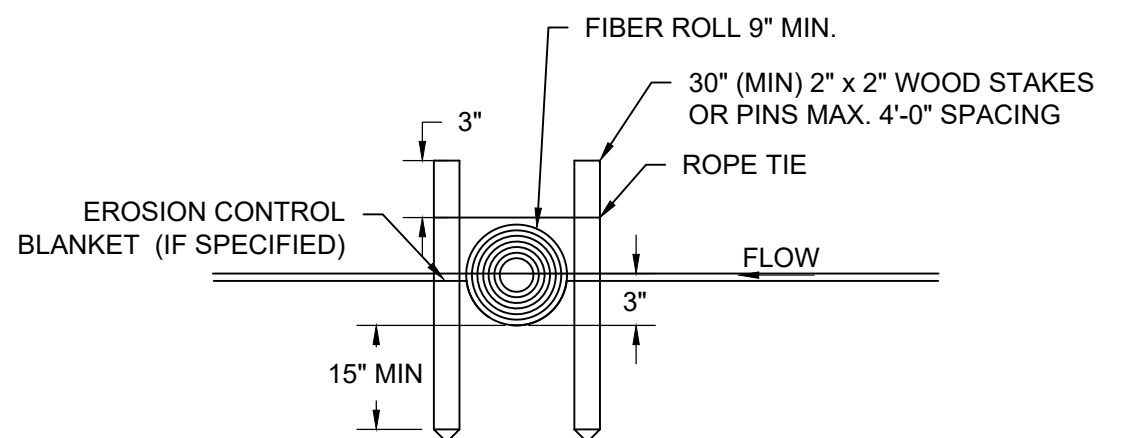
INSTALLATION METHOD A



INSTALLATION METHOD B

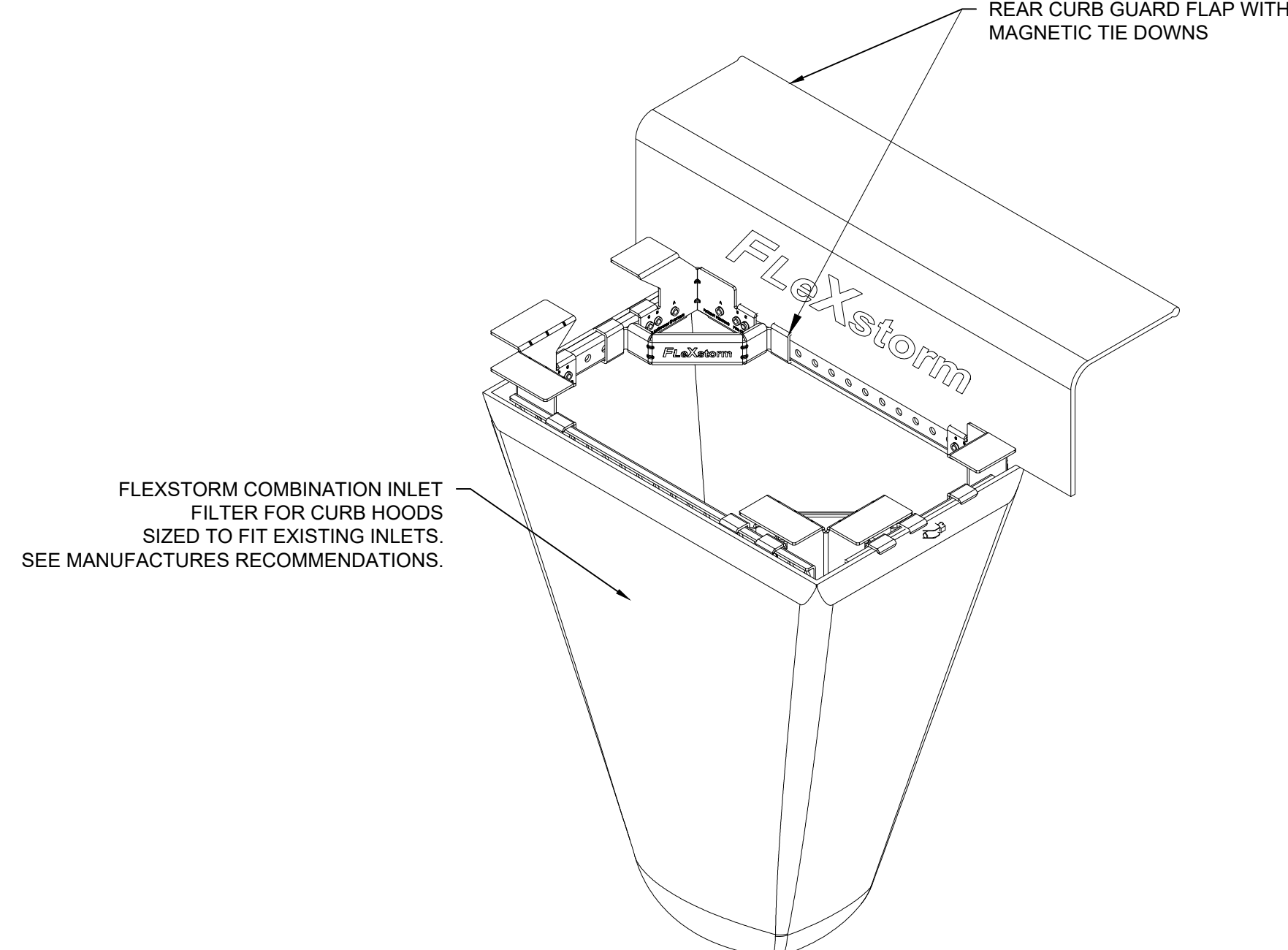


SECTION A-A' (METHOD A)

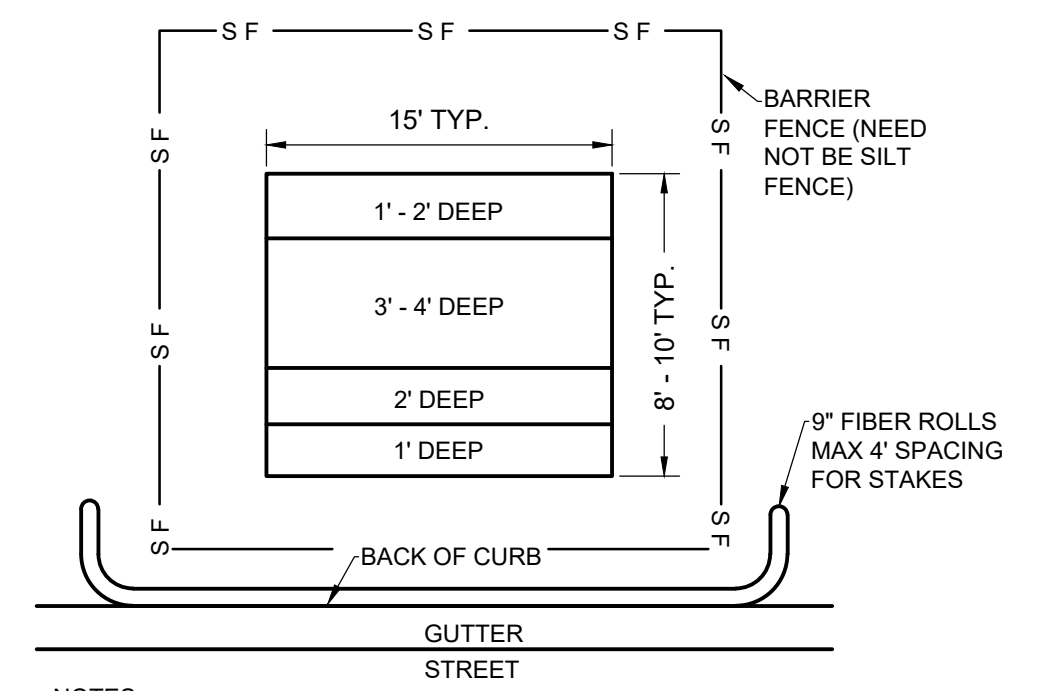


SECTION A-A' (METHOD B)

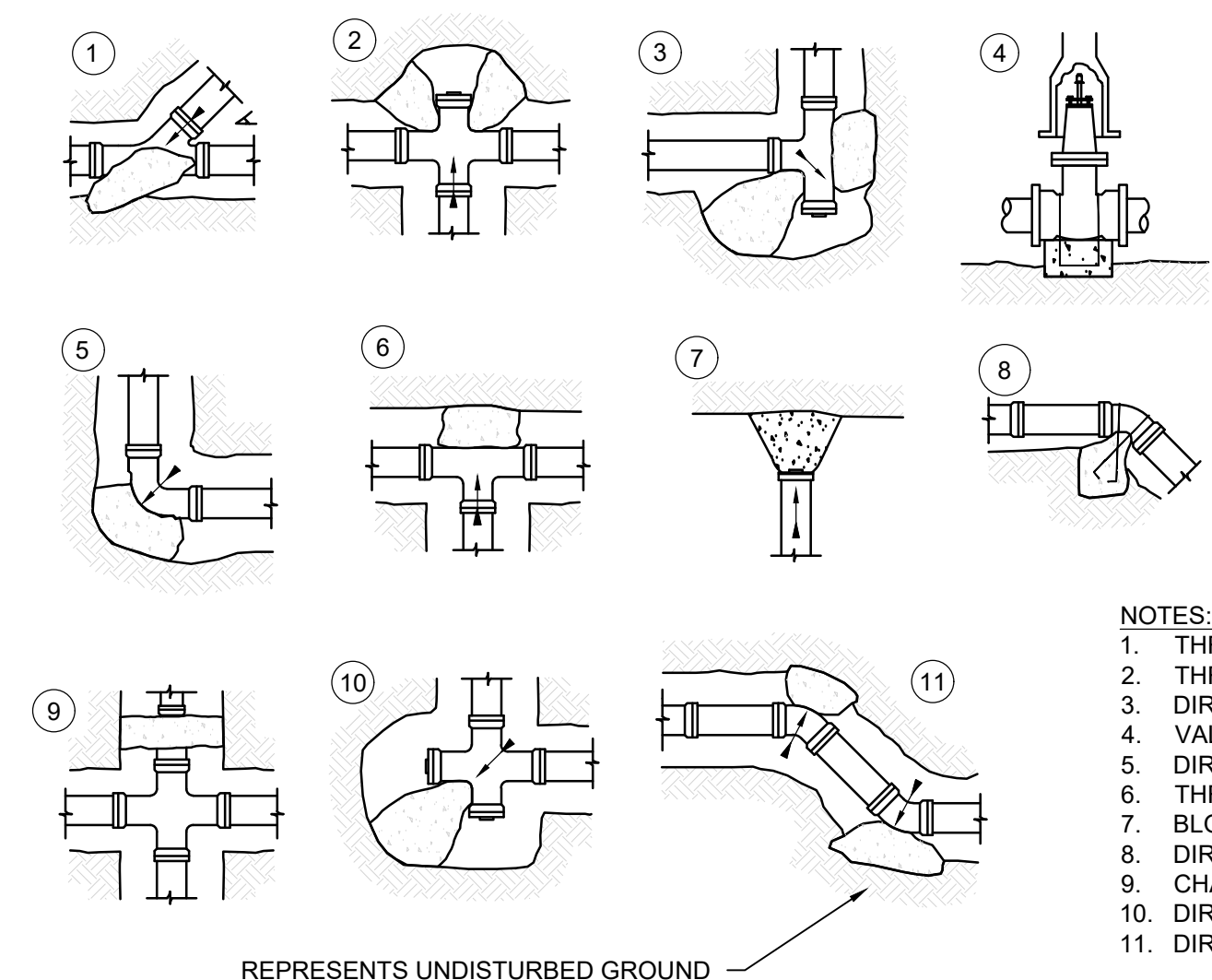
1 FIBER ROLL INSTALLATION NOT TO SCALE



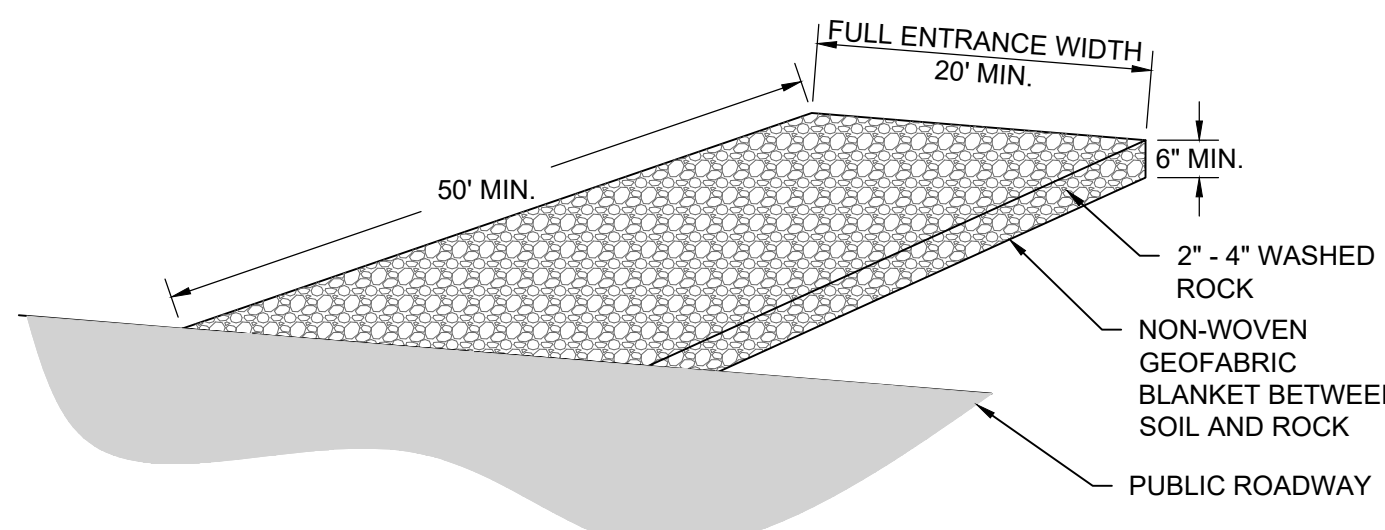
2 INLET PROTECTION NOT TO SCALE



3 CONCRETE WASHOUT NOT TO SCALE

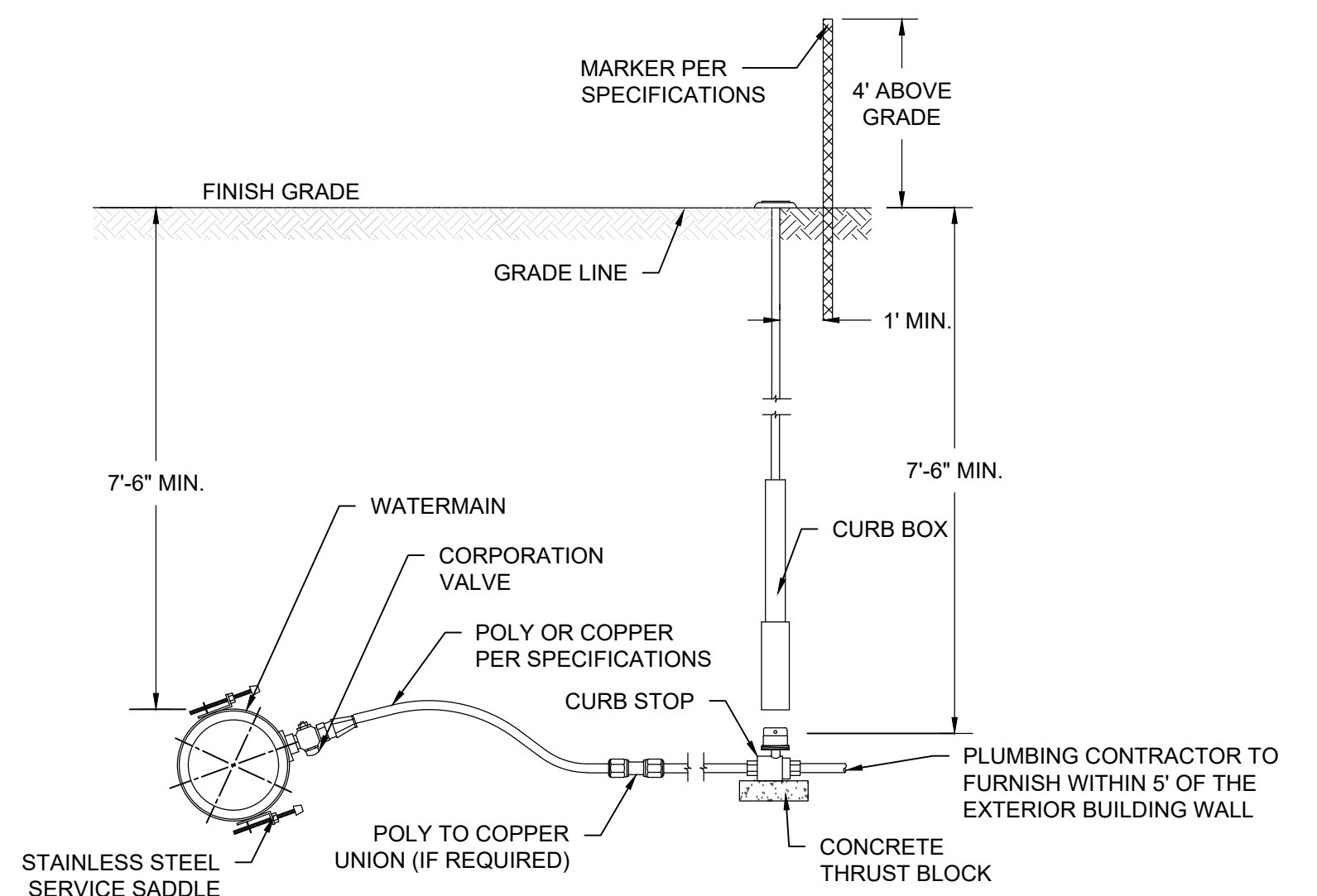


5 THRUST BLOCKING NOT TO SCALE

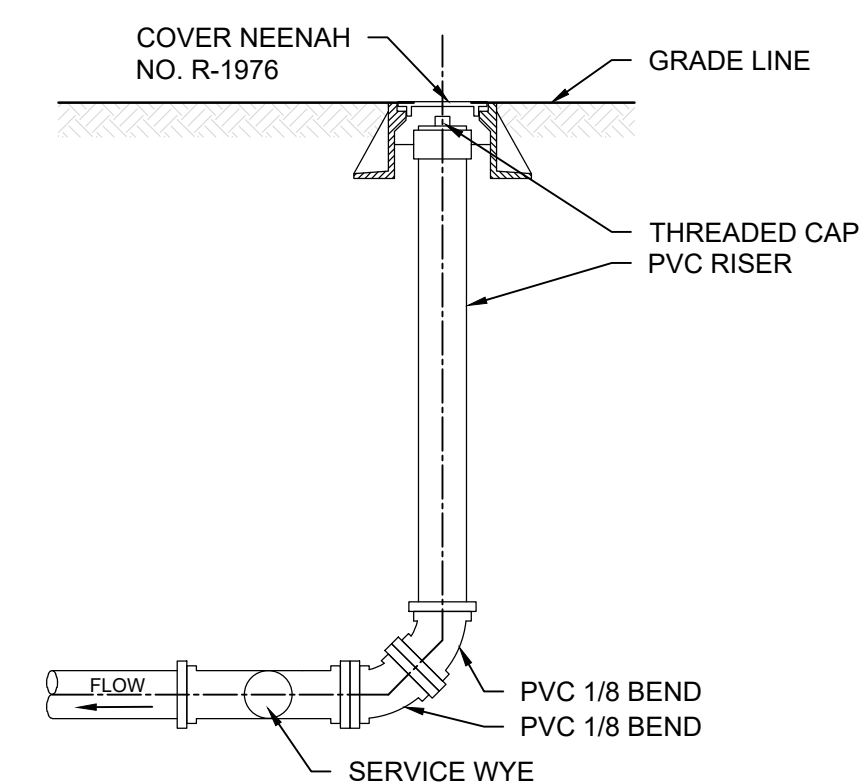


4 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE

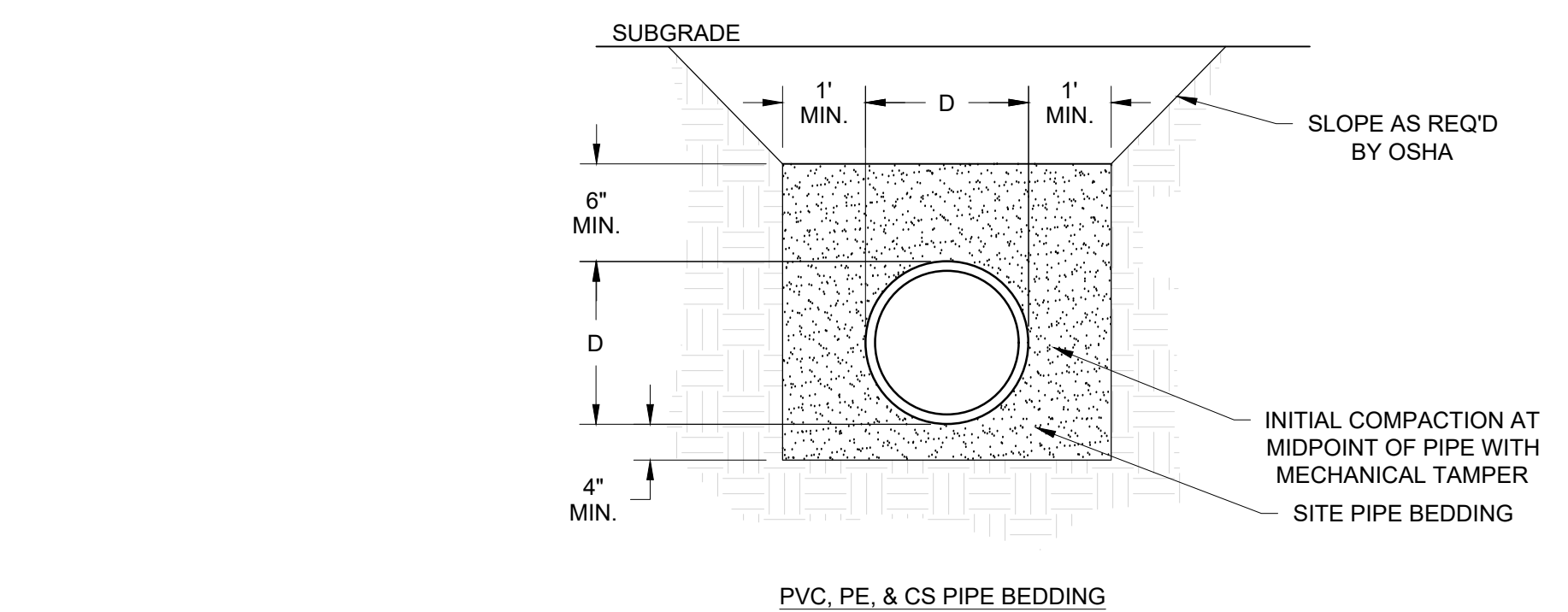
4 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



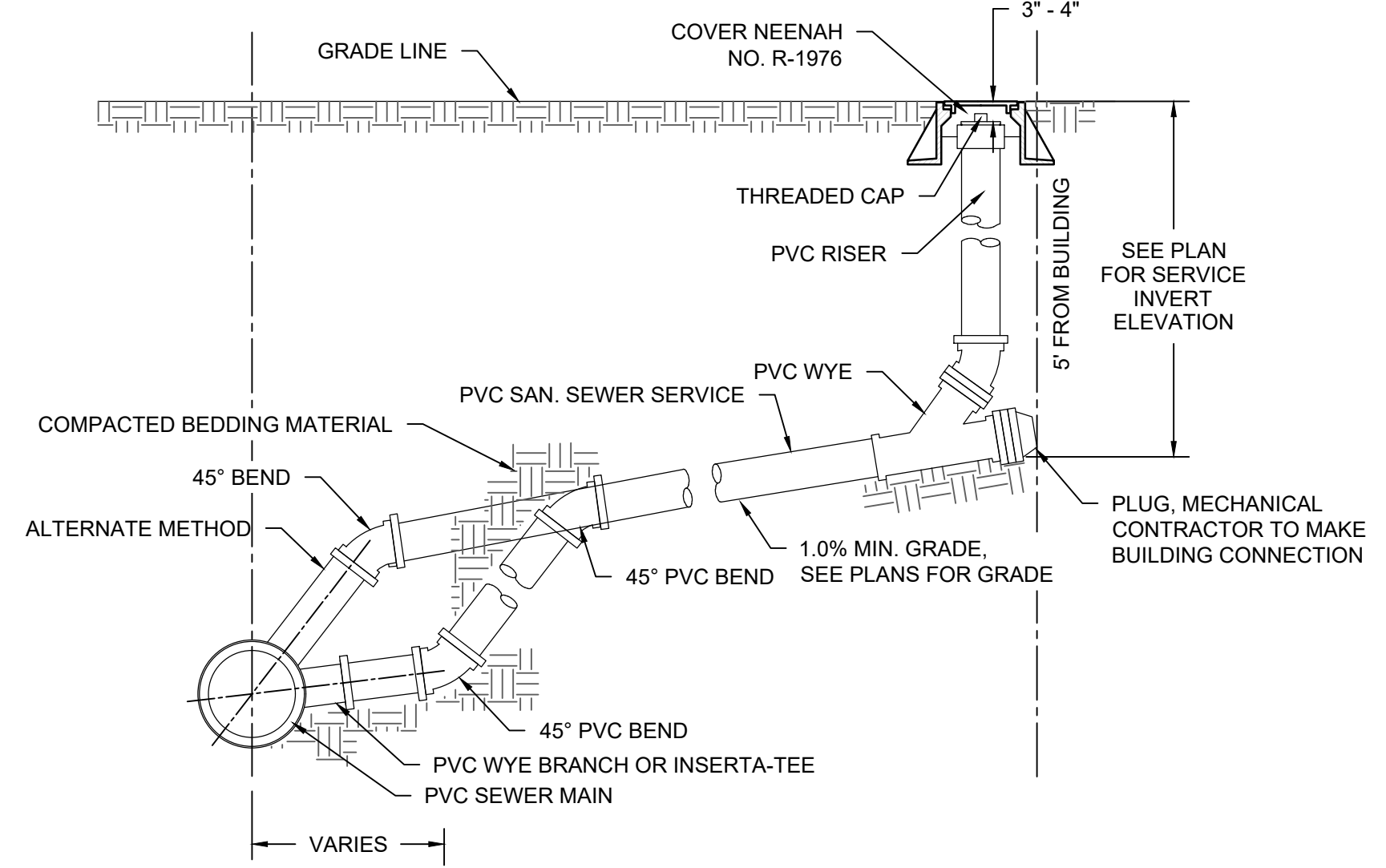
7 WATER SERVICE CONNECTION NOT TO SCALE



8 CLEAN OUT NOT TO SCALE



6 SITE PIPE BEDDING NOT TO SCALE



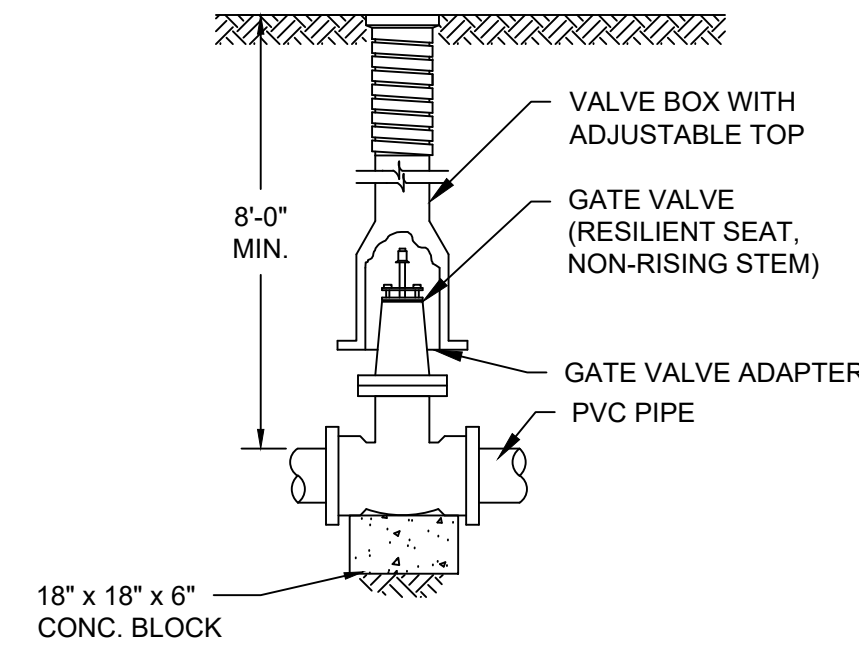
9 SANITARY SEWER SERVICE TO BUILDING NOT TO SCALE

CERTIFICATION
 I HEREBY CERTIFY THAT THE PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 41181

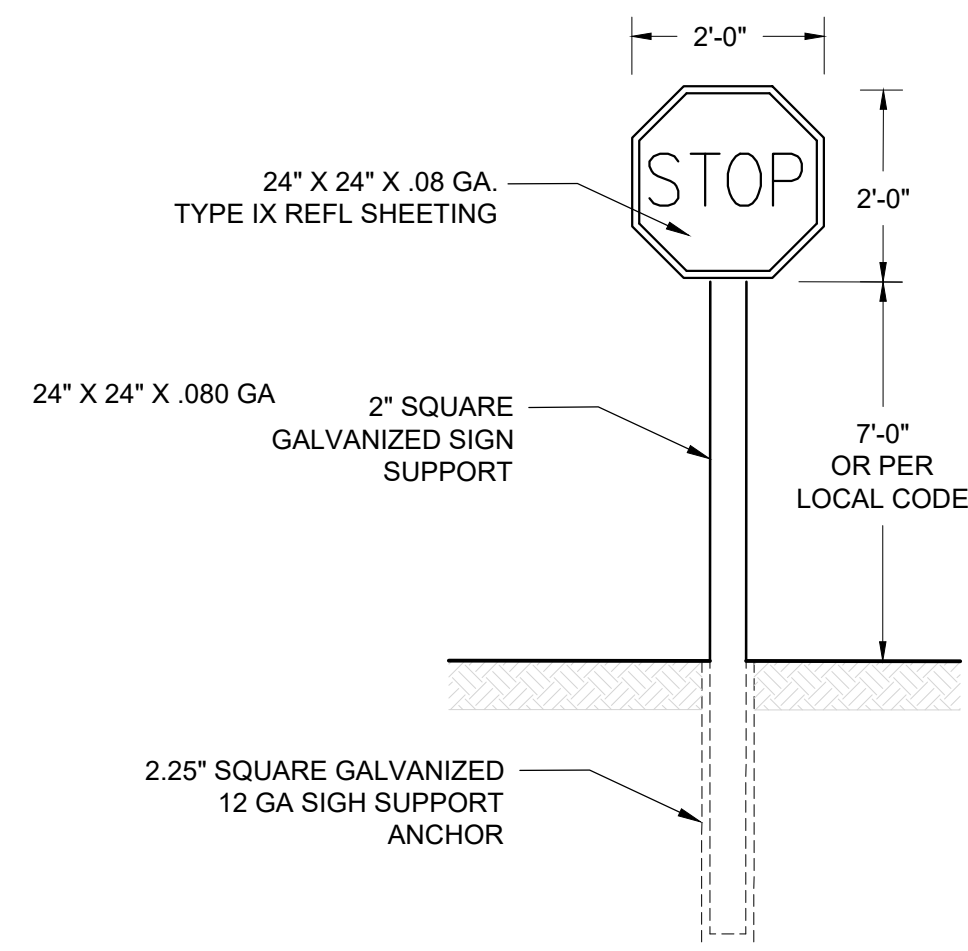
NO.	DATE	REVISION

DRAFTED: DEF
 REVIEWED: MRR
 PROJECT NUMBER: 2314-00145.1
 ISSUE DATE: 04/09/2024

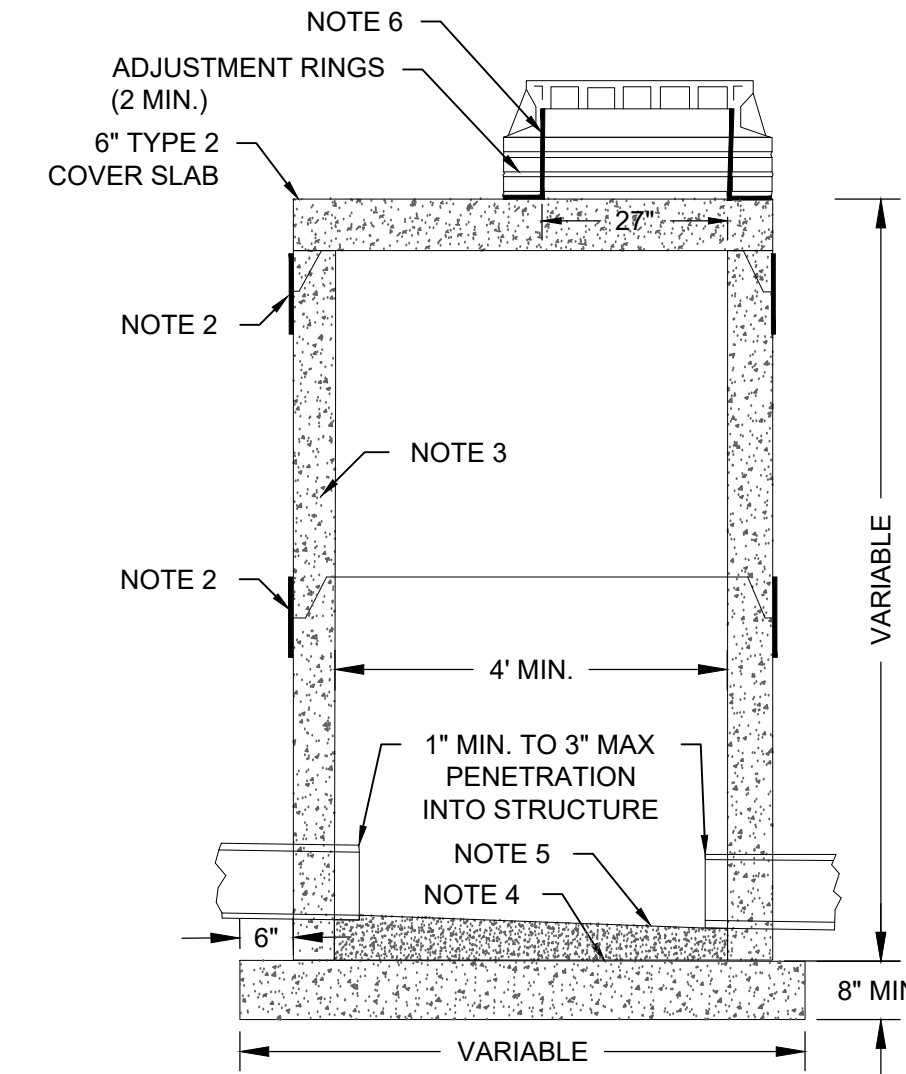
LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA



1 GATE VALVE
C701 NOT TO SCALE

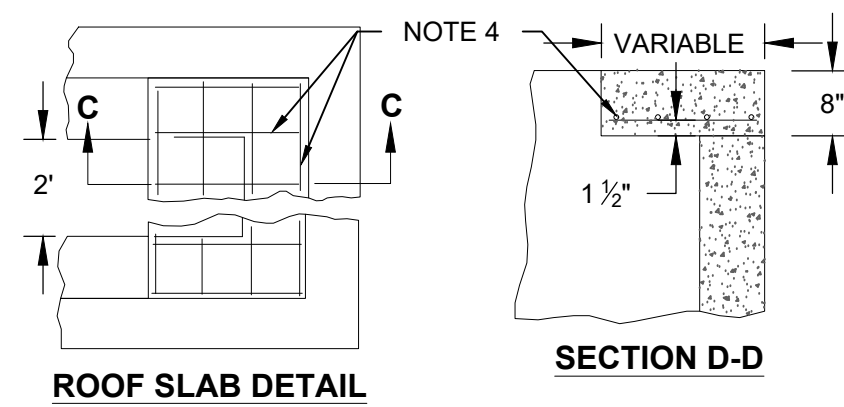


2 STOP SIGN
C701 NOT TO SCALE



3 STORM SEWER MANHOLE
C701 NOT TO SCALE

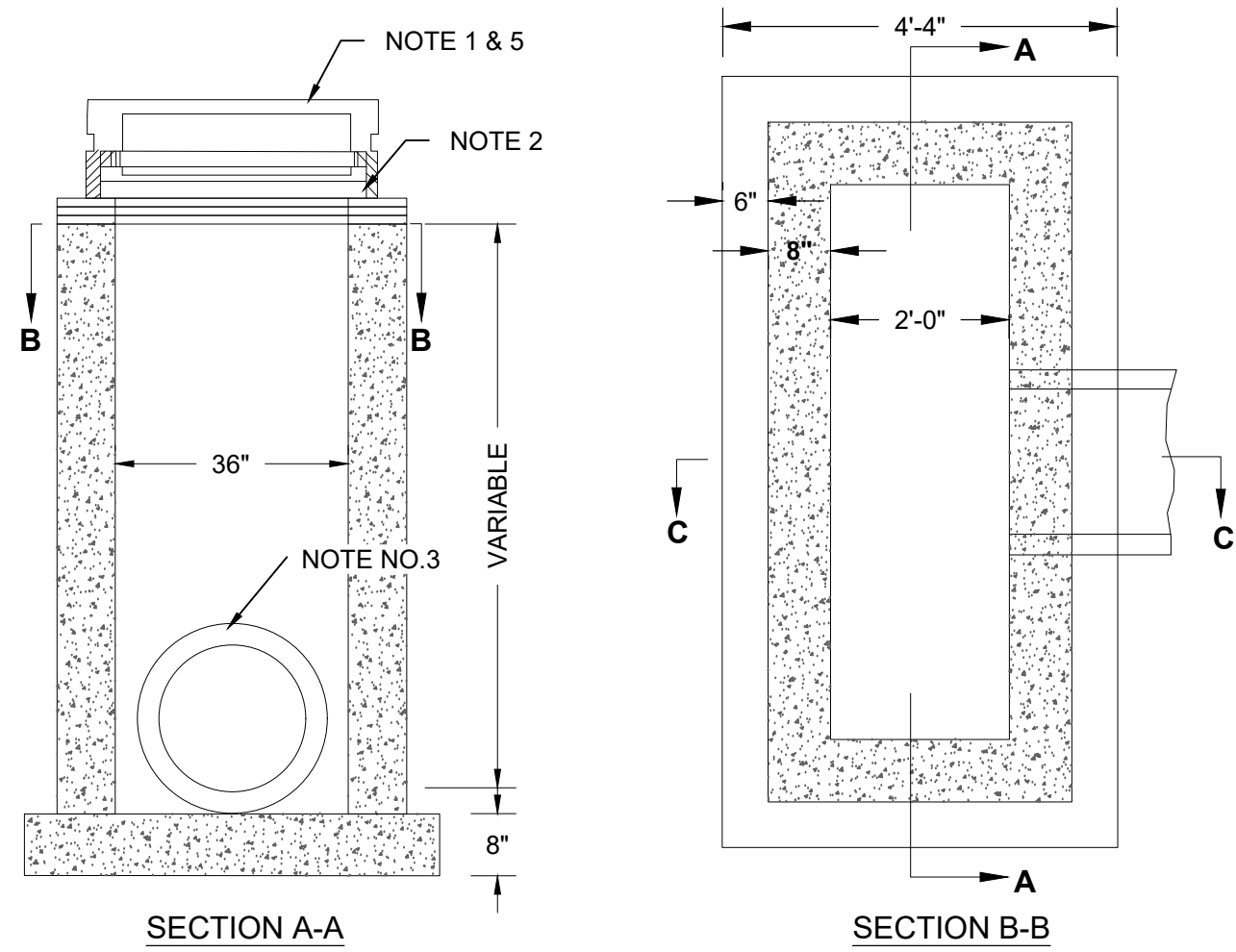
- NOTES:
- CASTING SHALL BE DEFINED IN STRUCTURE TABLE.
 - SINGLE OFFSET GASKETED JOINT FOR 48\"/>



ROOF SLAB DETAIL

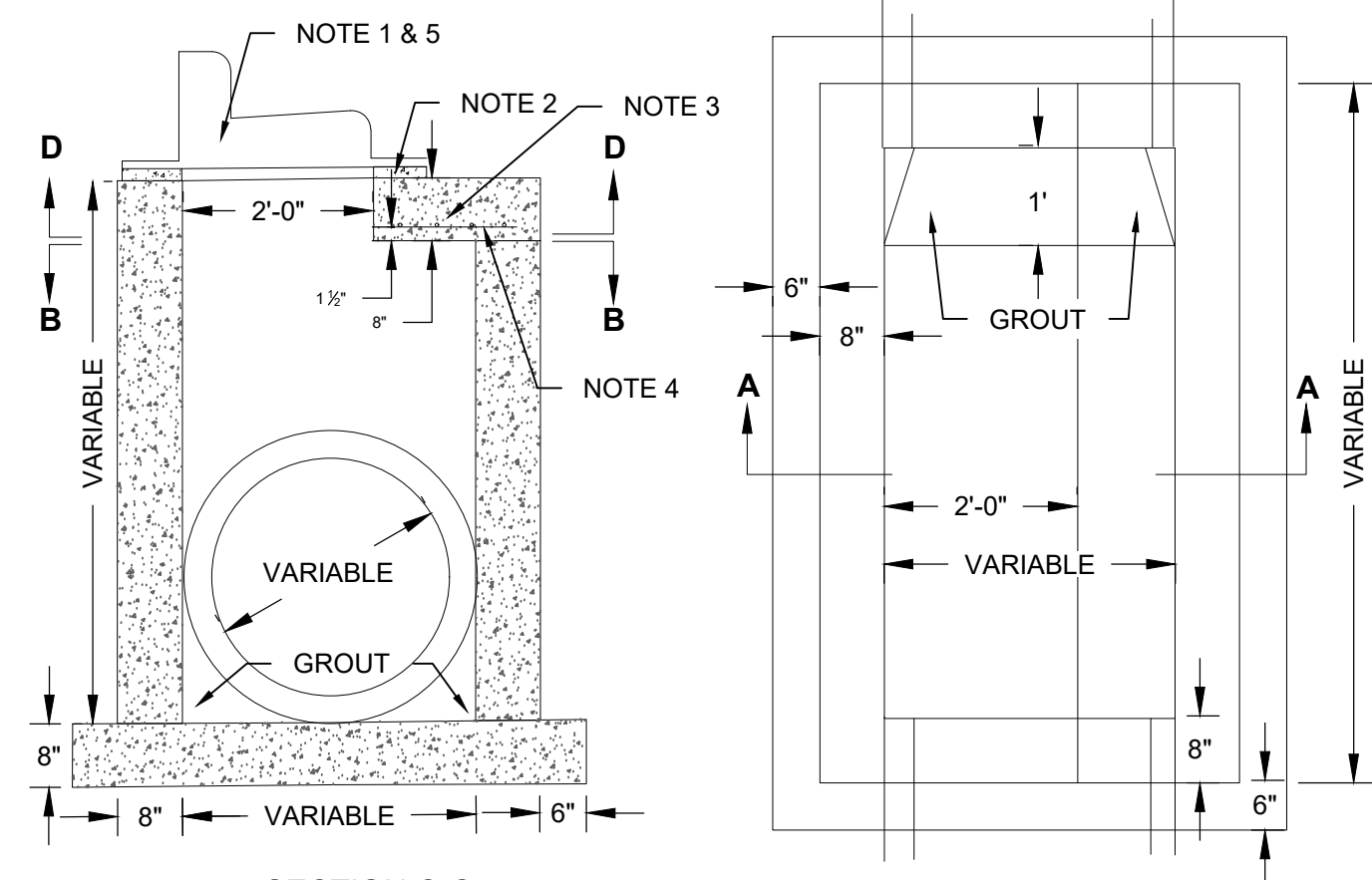
SECTION D-D

- NOTES:
- CASTING SHALL BE DEFINED IN STRUCTURE TABLE.
 - ALLOWANCE FOR ADJUSTMENT SHALL BE 1-1/2\"/>



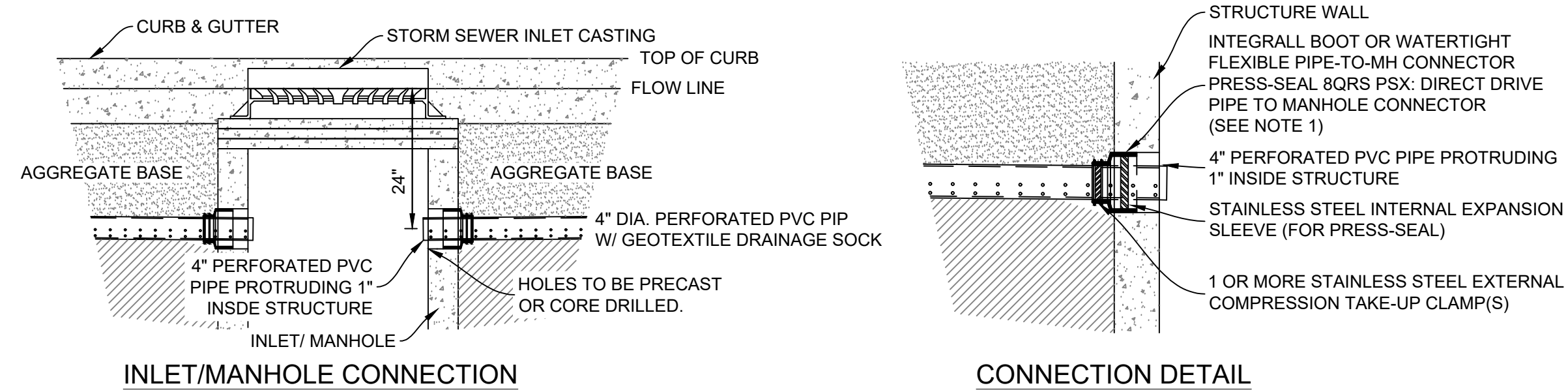
SECTION A-A

SECTION B-B



SECTION C-C

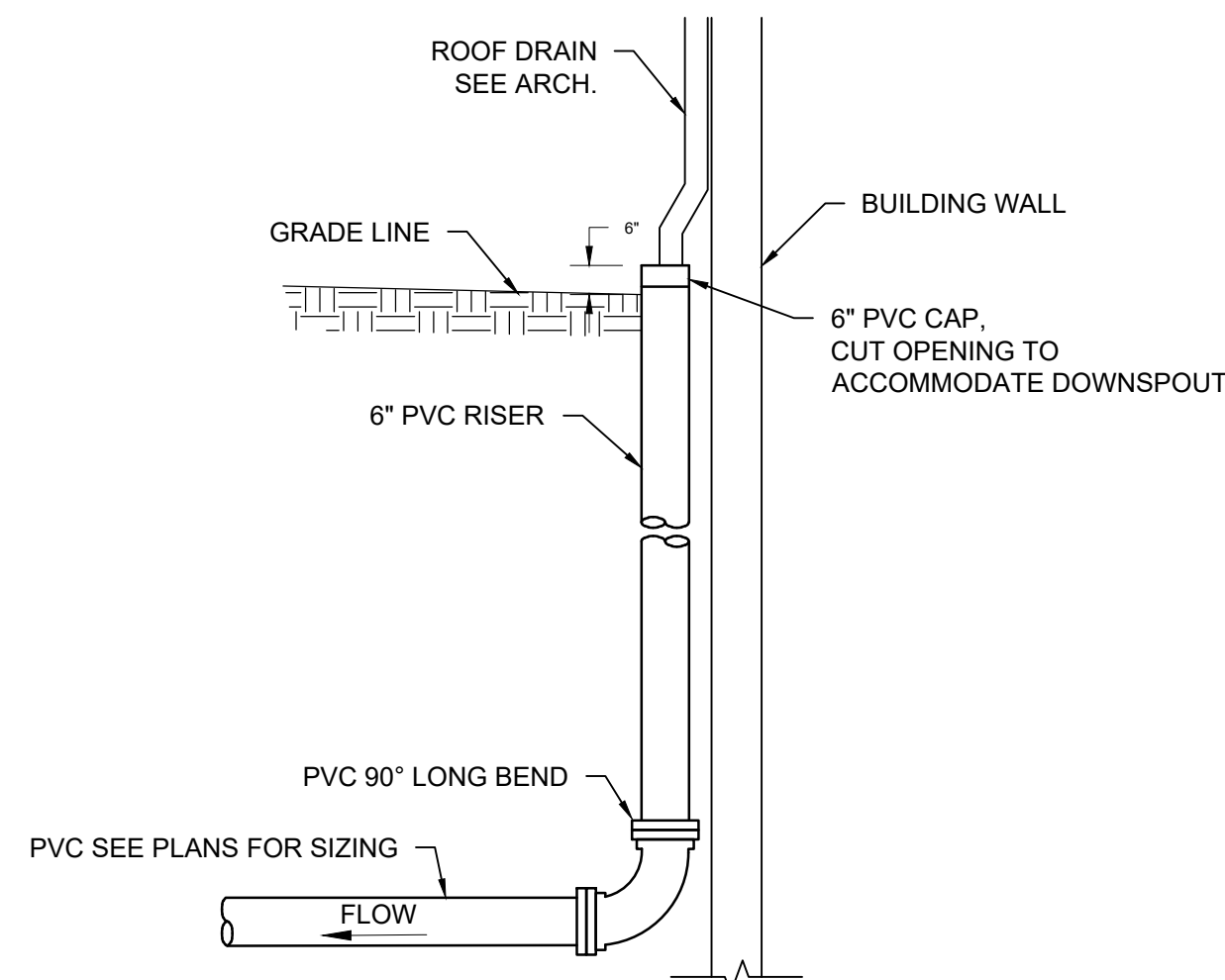
4 TYPE 24\"/>



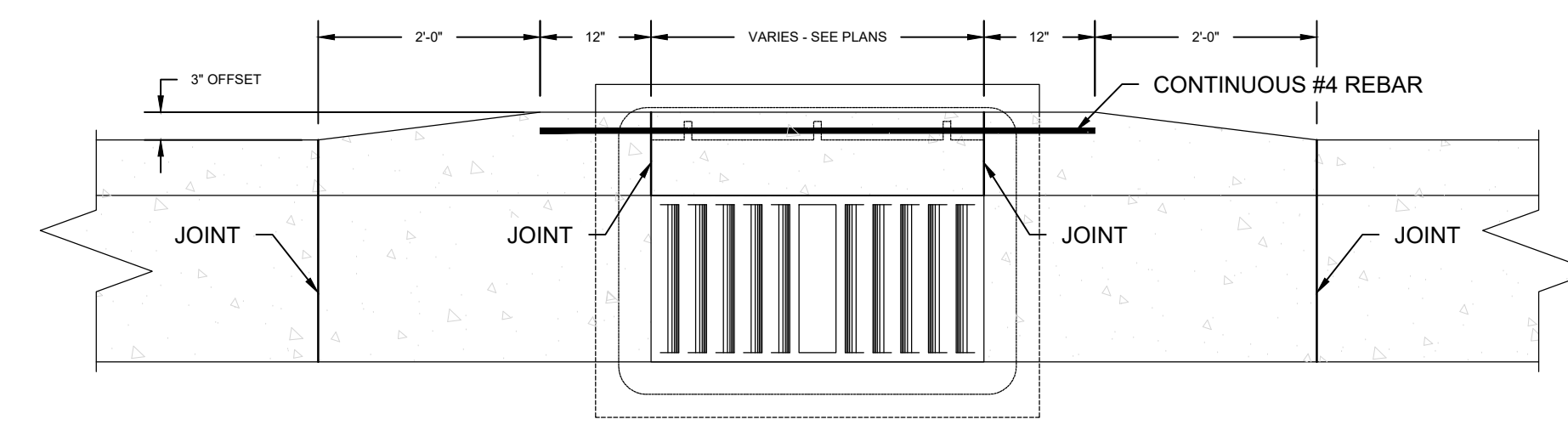
INLET/MANHOLE CONNECTION

CONNECTION DETAIL

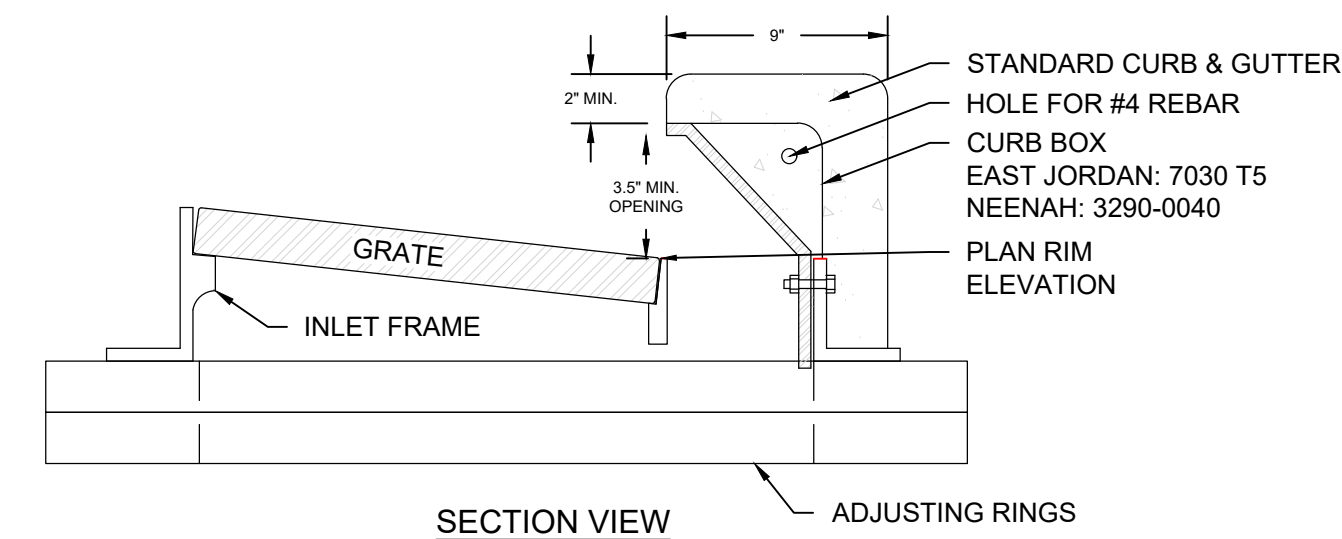
5 STORM INLET/PVC DRAIN PIPE DETAIL
C701 NOT TO SCALE



6 ROOF DRAIN CONNECTION
C701 NOT TO SCALE



PLAN VIEW

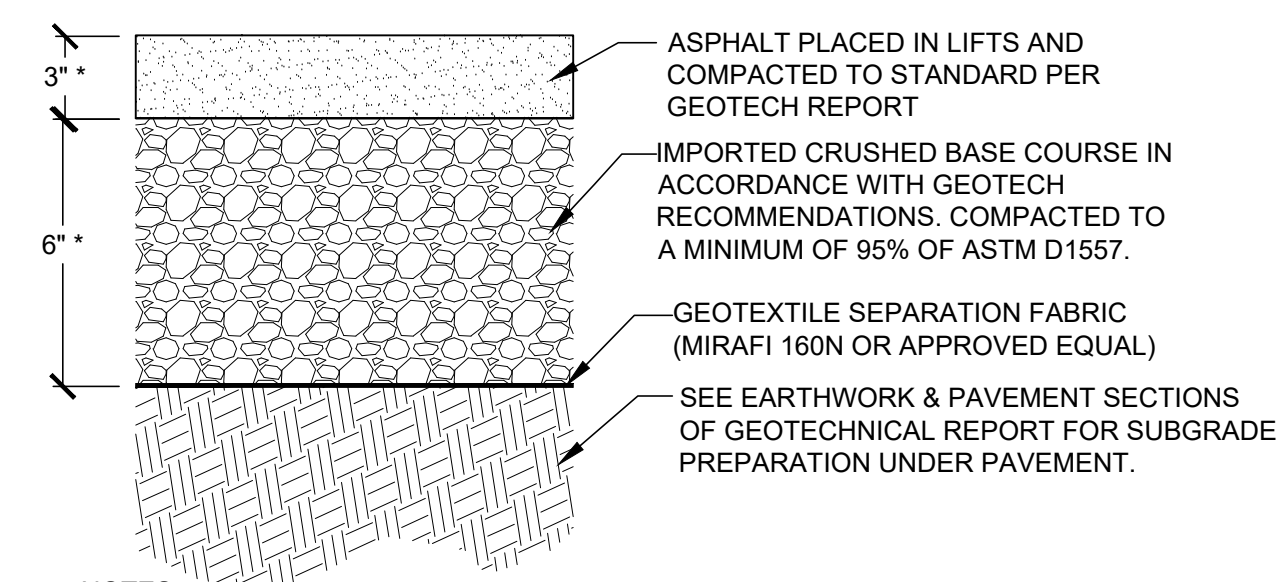


SECTION VIEW

- NOTES:
- VERIFY FRAME, GRATE, & CURB BOX WITH INLET CASTINGS IN STRUCTURE SUMMARY.

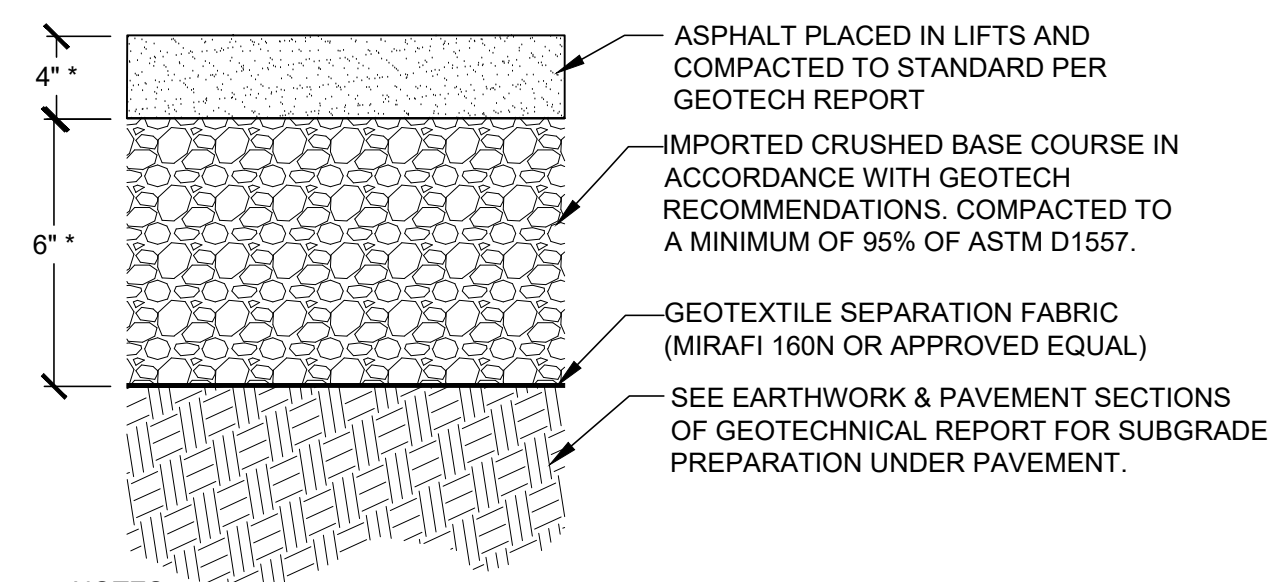
7 INLET CURB DETAIL
C701 NOT TO SCALE

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS FOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: JLLBL



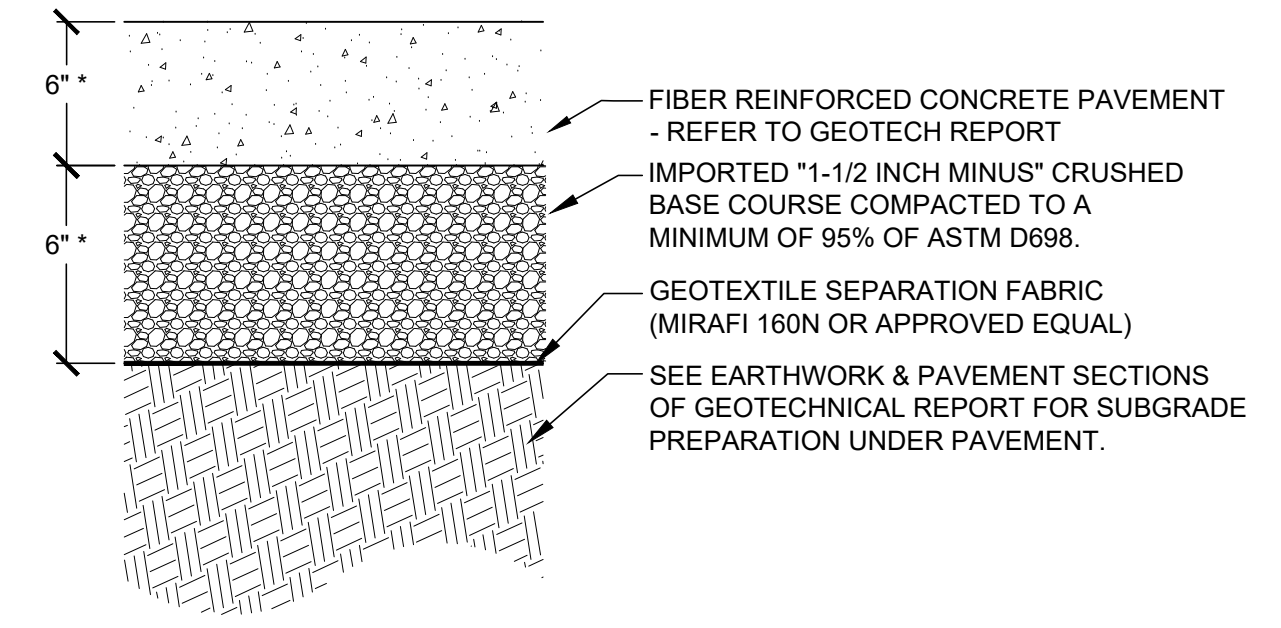
- NOTES:
- PRIOR TO PLACING STRUCTURAL FILL, SUBGRADE SHOULD BE PREPARED ACCORDING TO RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. IF SOFT SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
 - LIFTS OF FILL ARE TO BE COMPACTED IN LAYERS NO GREATER THAN 8" THICK.
 - FILL TO BE WITHIN 2% OF OPTIMUM MOISTURE
- *REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

1 STANDARD ASPHALT PAVEMENT
C702 CROSS SECTION NOT TO SCALE



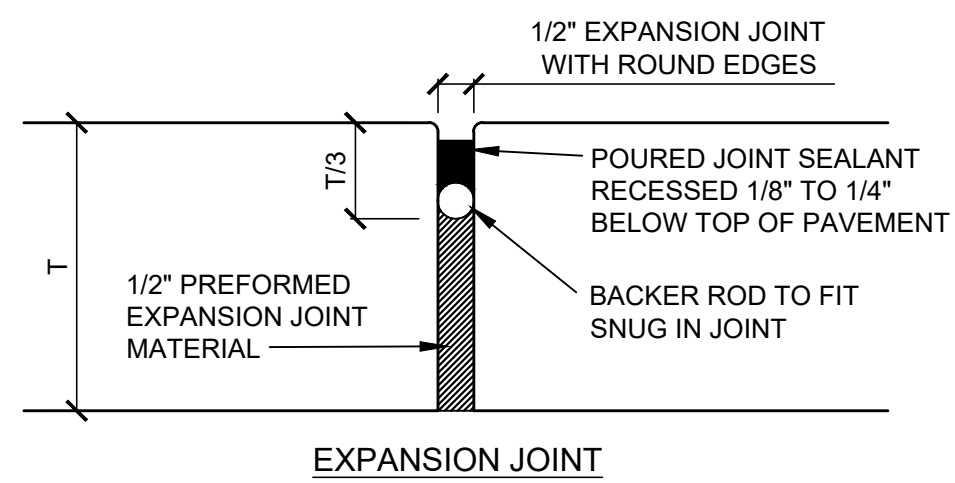
- NOTES:
- PRIOR TO PLACING STRUCTURAL FILL, SUBGRADE SHOULD BE PREPARED ACCORDING TO RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. IF SOFT SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
 - LIFTS OF FILL ARE TO BE COMPACTED IN LAYERS NO GREATER THAN 8" THICK.
 - FILL TO BE WITHIN 2% OF OPTIMUM MOISTURE
- *REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

2 HEAVY DUTY ASPHALT PAVEMENT
C702 CROSS SECTION NOT TO SCALE

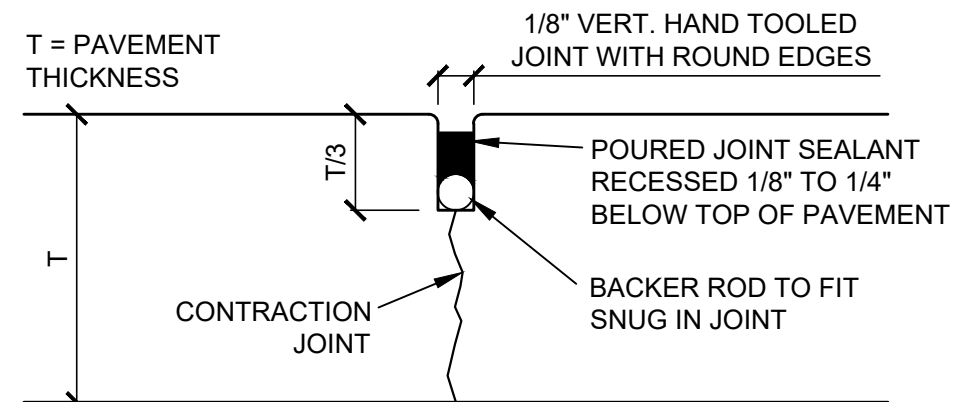


- NOTES:
- SEE JOINTING PLAN FOR JOINTS.
 - CONCRETE SHOULD HAVE MINIMUM ENTRAINED AIR CONTENT OF 5.0% AND UTILIZE TYPE V CEMENT.
 - SUBGRADE SHOULD BE PREPARED ACCORDING TO RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. IF SOFT SOILS ARE ENCOUNTERED, THEY SHOULD BE REMOVED AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- *REFER TO GEOTECHNICAL REPORT FOR ALL MATERIAL THICKNESS UNLESS DIRECTED OTHERWISE BY OWNER.

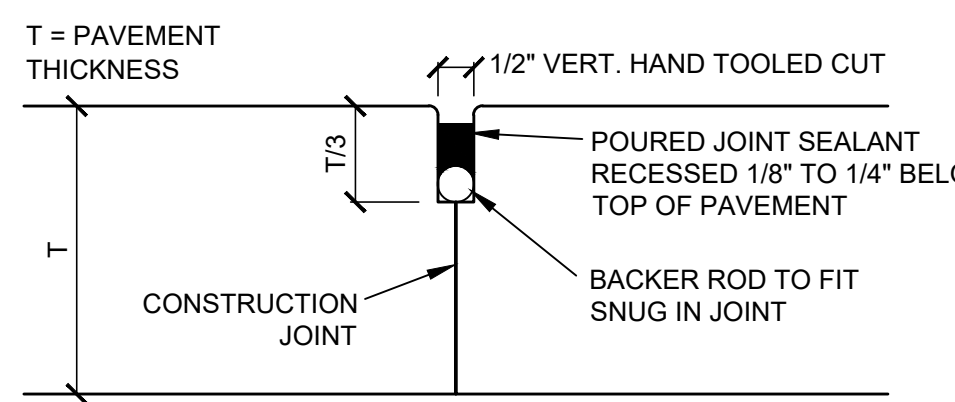
3 HEAVY DUTY CONCRETE PAVEMENT
C702 CROSS SECTION NOT TO SCALE



EXPANSION JOINT



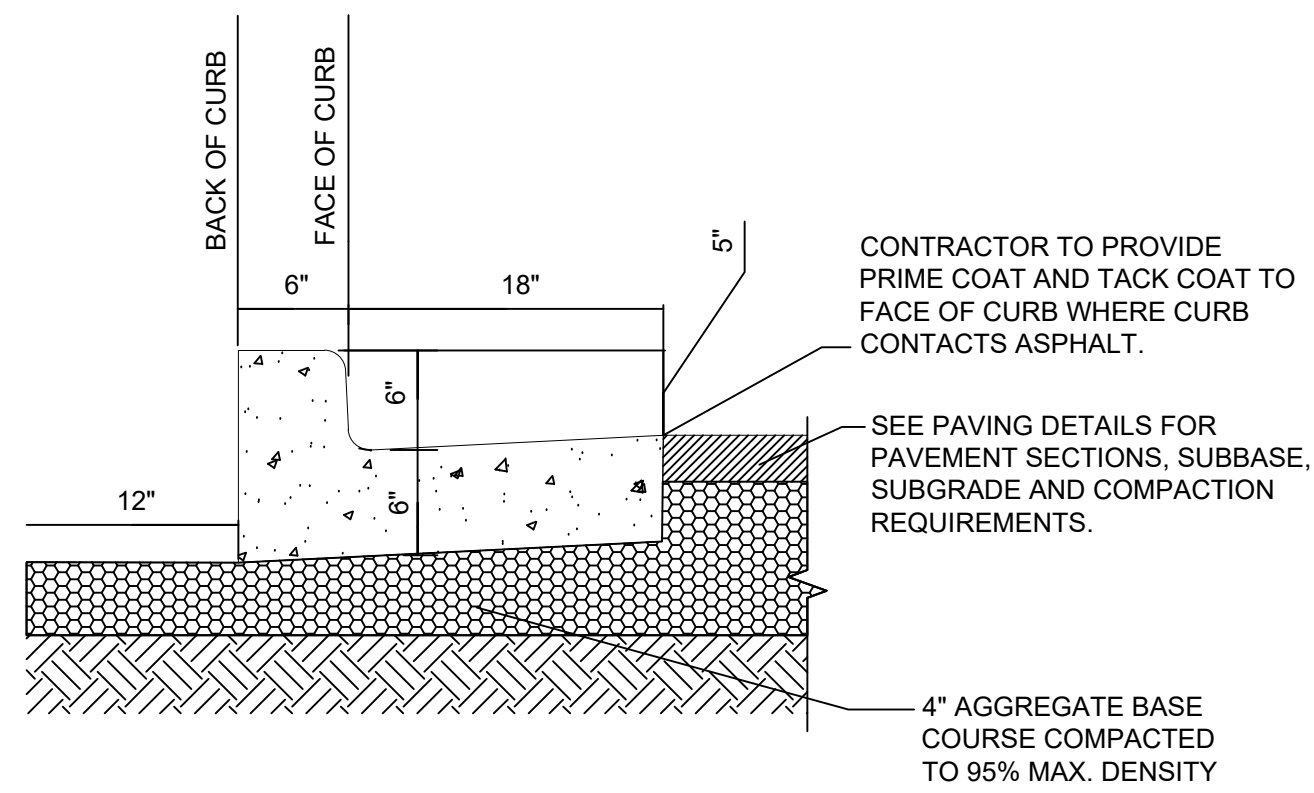
CONTRACTION JOINT



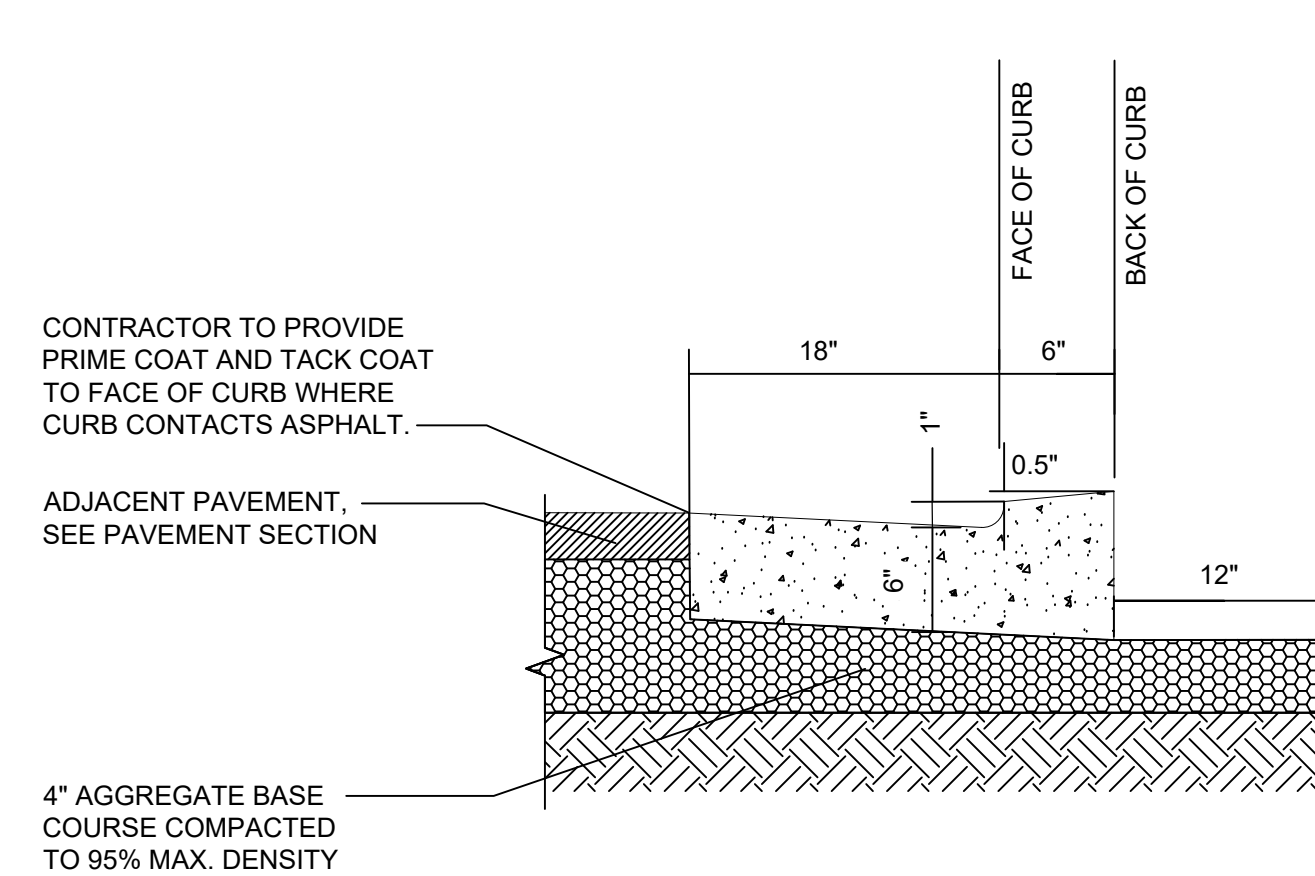
CONSTRUCTION JOINT

- NOTE:
- ALL CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH.

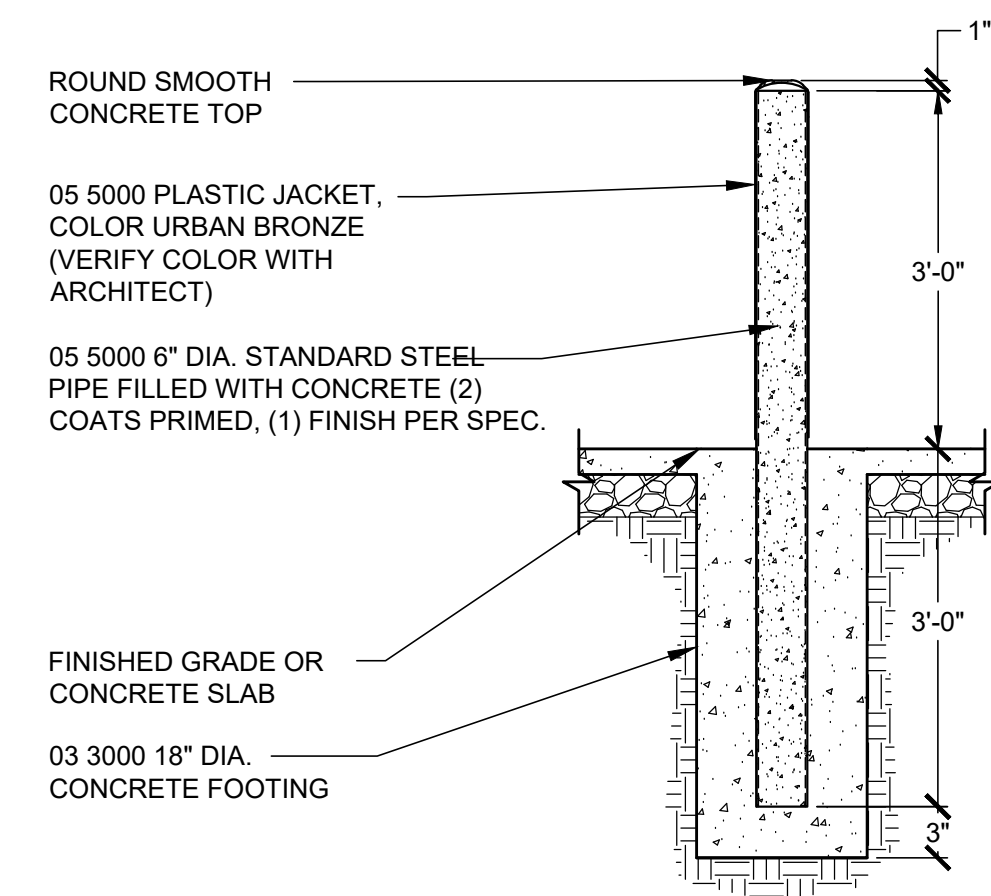
4 CONCRETE EXPANSION AND CONTRACTION JOINTS
C702 SECTION NOT TO SCALE



5 CATCH CURB & GUTTER
C702 NOT TO SCALE

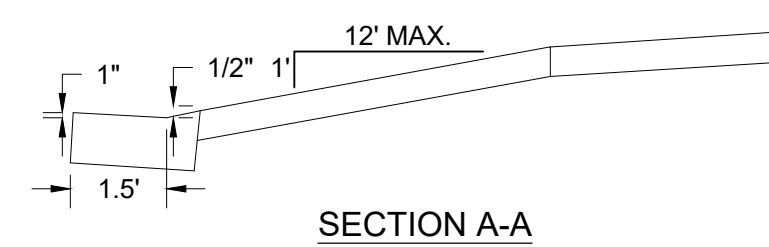


6 DROP CURB & GUTTER
C702 NOT TO SCALE

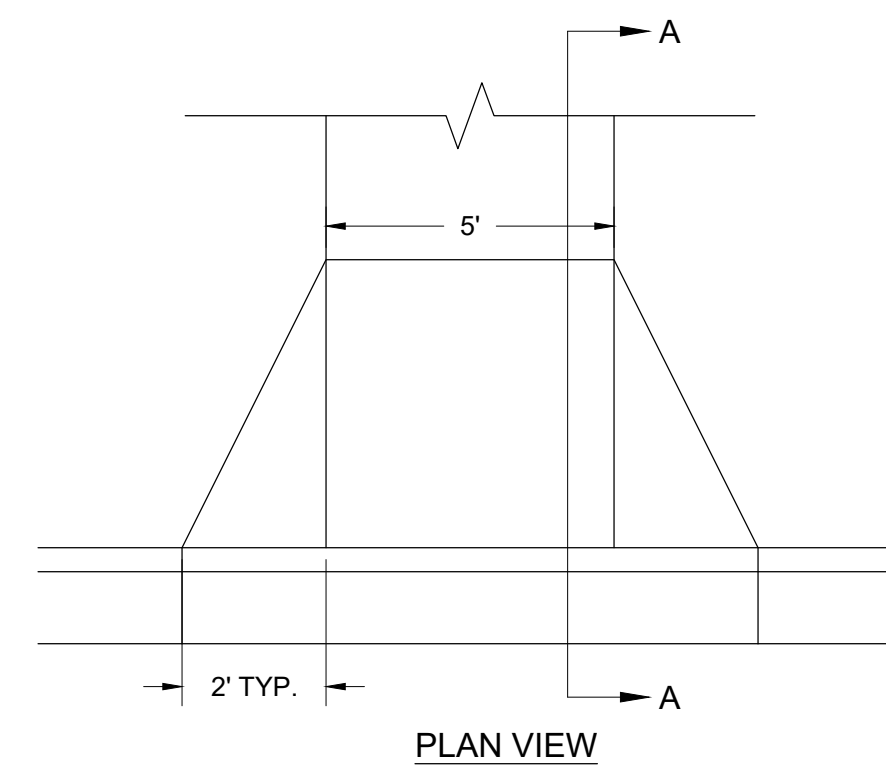


- EXTERIOR BOLLARD NOTES:
- 05 5000 PLASTIC JACKET, COLOR: URBAN BRONZE (VERIFY COLOR WITH ARCHITECT).
 - ROUND SMOOTH CONCRETE TOP
 - 05 5000 6" DIA. STANDARD STEEL PIPE FILLED WITH CONCRETE (2) COATS PRIMED
 - TO EXTEND 3'-0" ABOVE FINISHED GRADE, UNLESS NOTED OTHERWISE ON PLANS.

7 6" DIA. BOLLARD
C702 NOT TO SCALE



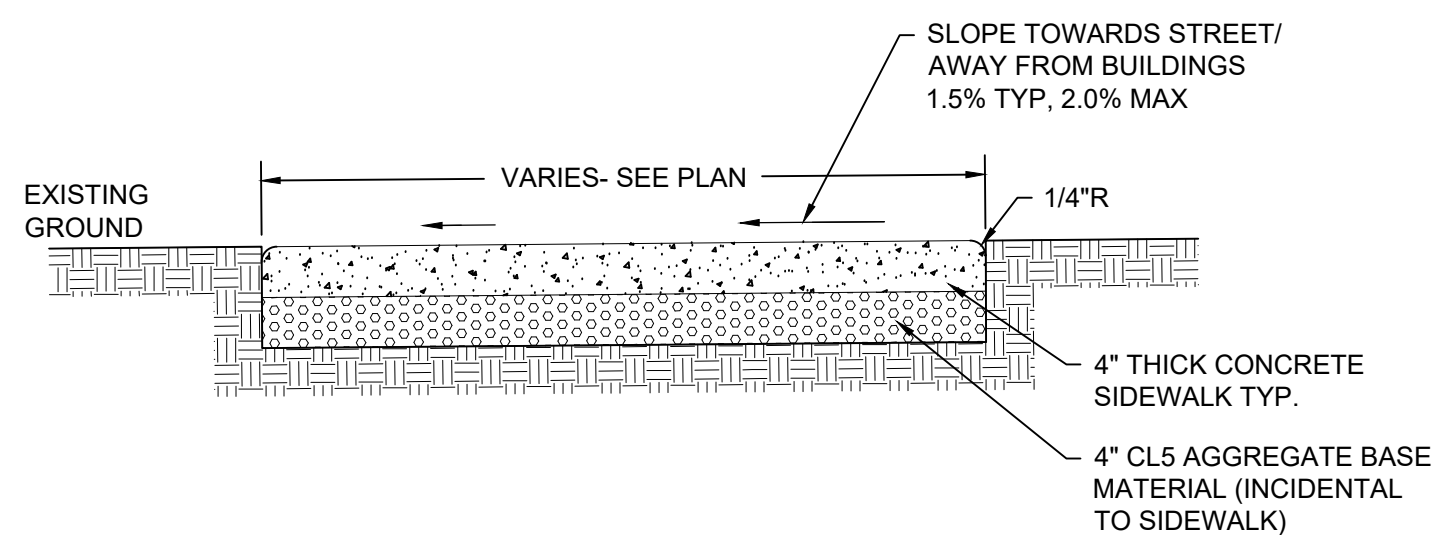
SECTION A-A



PLAN VIEW

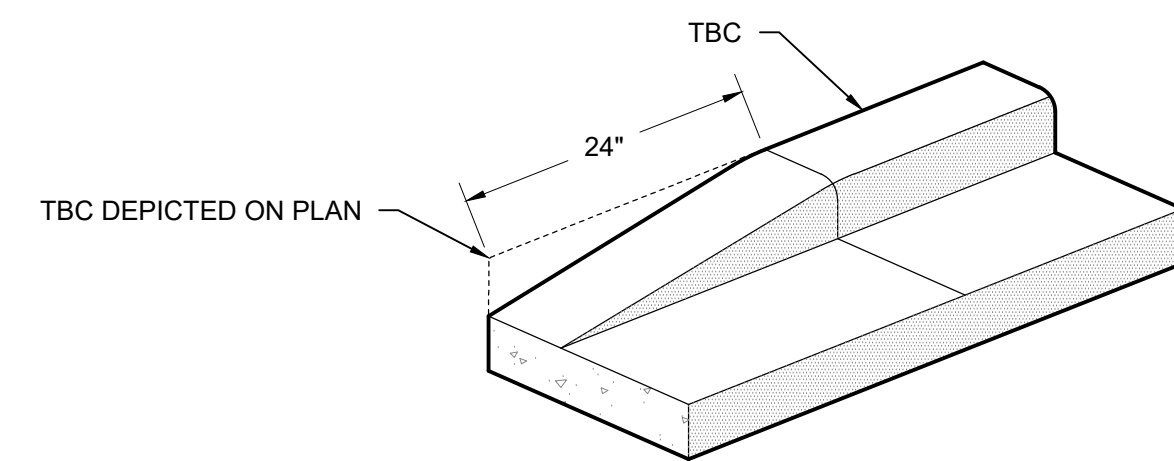
- NOTES:
- 3/4" EXPANSION JOINT W/ 1/2" x 12" DOWELS AND 8" PAPER TUBES, OR #4 REINFORCING STEEL
 - 3/4" EXPANSION JOINTS AND DOWELS FOR FULL SIDEWALK ONLY, AS DIRECTED BY ENGINEER.
 - DETECTABLE WARNING PANEL MIN. 2' x 6'- PLACEMENT OF DETECTION PANELS SHALL BE DETERMINED BY ENGINEER ON ANY RADIUS 16" OR LARGER.

9 ACCESSIBLE RAMP
C702 NOT TO SCALE

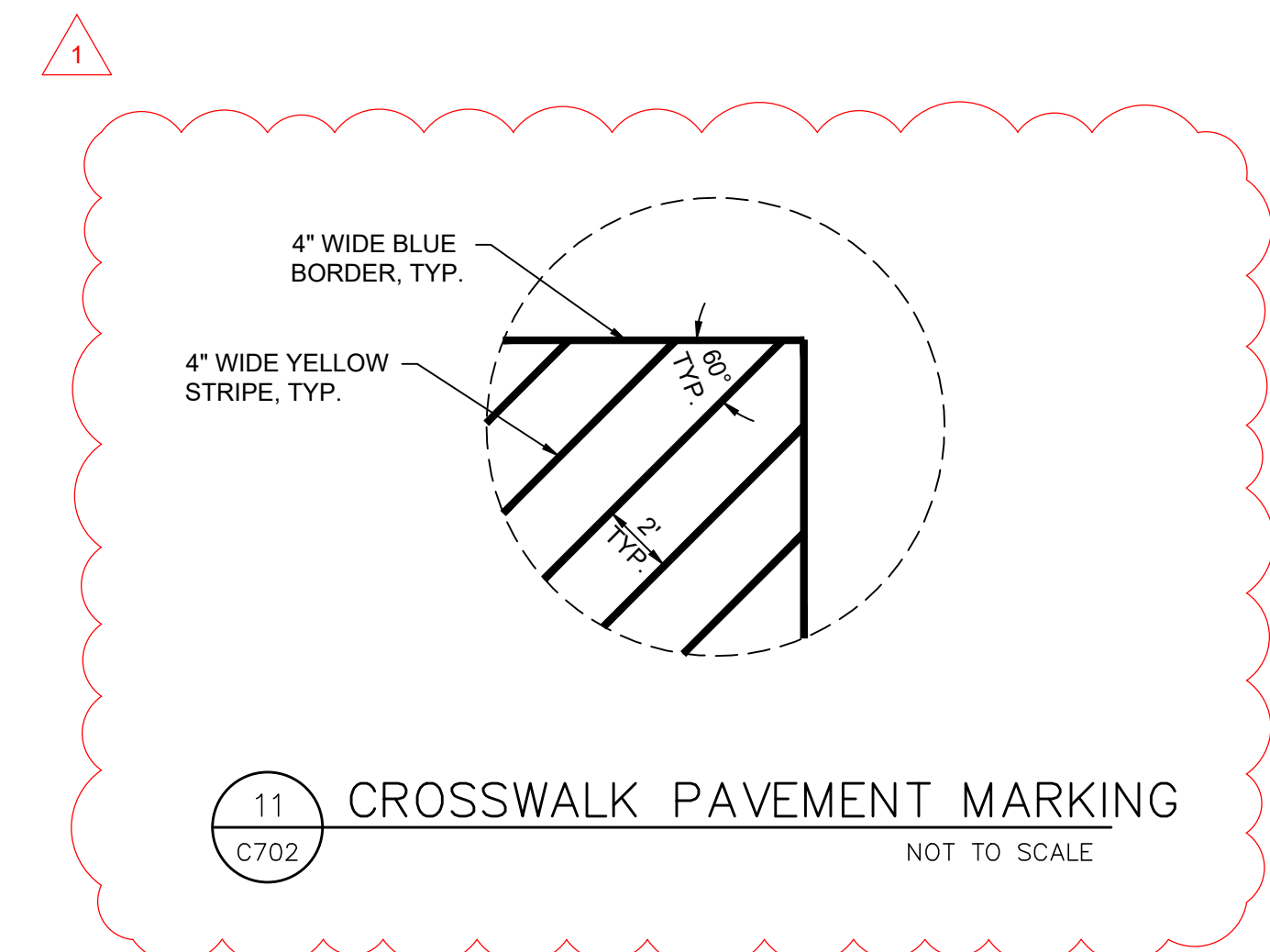


- NOTES:
- PRE-FORMED EXPANSION JOINT FILLER SHALL BE INSTALLED FOR THE FULL THICKNESS OF THE SIDEWALK AND SHALL BE USED AT ALL JOINTS BETWEEN NEW SIDEWALK AND OTHER PAVEMENTS OR STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 100' IN NEW CONSTRUCTION. CONTROL JOINT SPACING SHALL NOT EXCEED 6'.
 - CONTROL JOINT SPACING SHALL BE SAWS OR TOOLED TO 1/3 CONCRETE DEPTH (MIN.)
 - DOWELED EXPANSION JOINT SHALL BE CONSTRUCTED WITH 18" LONG #4 BARS AT 12" O.C. SPACING, CENTERED IN THE JOINT AND SLAB.
 - MIN. CLEAR COVER TO BE PROVIDED:
TOP: 2" SIDE: 3" BOTTOM: 1.5"
 - ALL EXPANSION JOINTS SHALL BE SEALED.

8 CONCRETE SIDEWALK
C702 NOT TO SCALE



10 NOSE DOWN CURB
C702 NOT TO SCALE



11 CROSSWALK PAVEMENT MARKING
C702 NOT TO SCALE

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS FOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: 48386

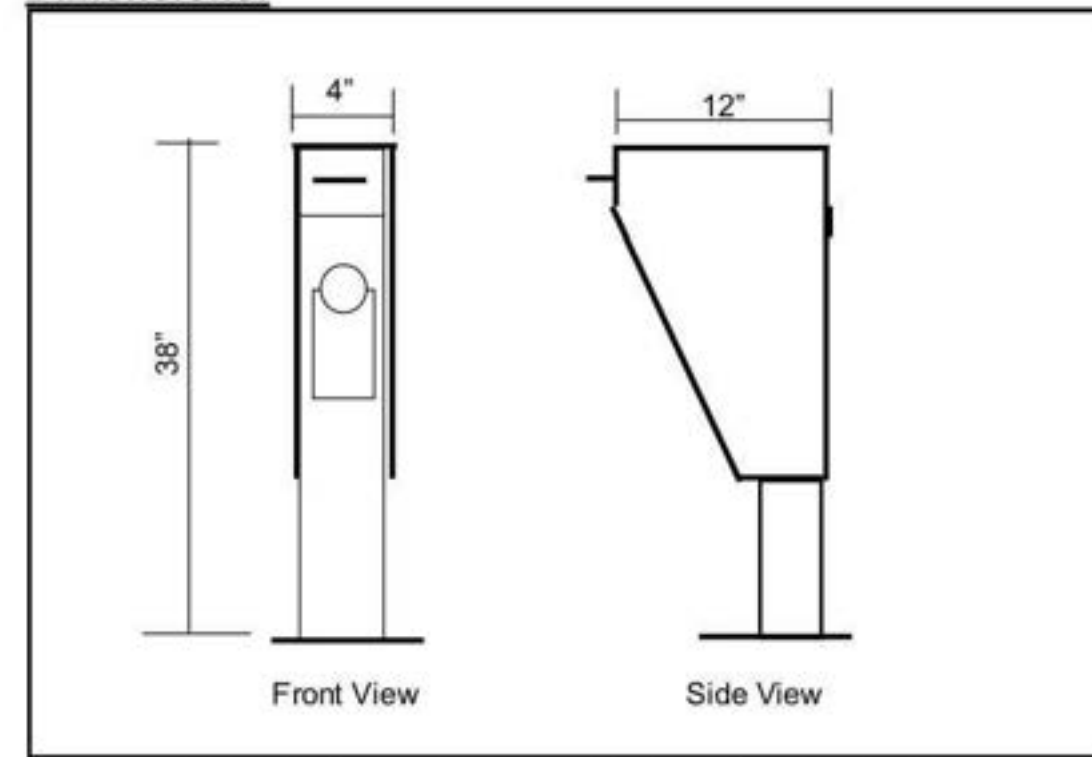
REVISION	
NO.	1
DATE	07/12/2024
CITY COMMENT	RESPONSE

DRAFTED
DEF
REVIEWED
MRR
PROJECT NUMBER
2314-00145.1
ISSUE DATE
04/09/2024

LES SCHWAB TIRE CENTER
LES SCHWAB
BLAINE, MINNESOTA

DETAILS
SHEET
C702

Dimensions:

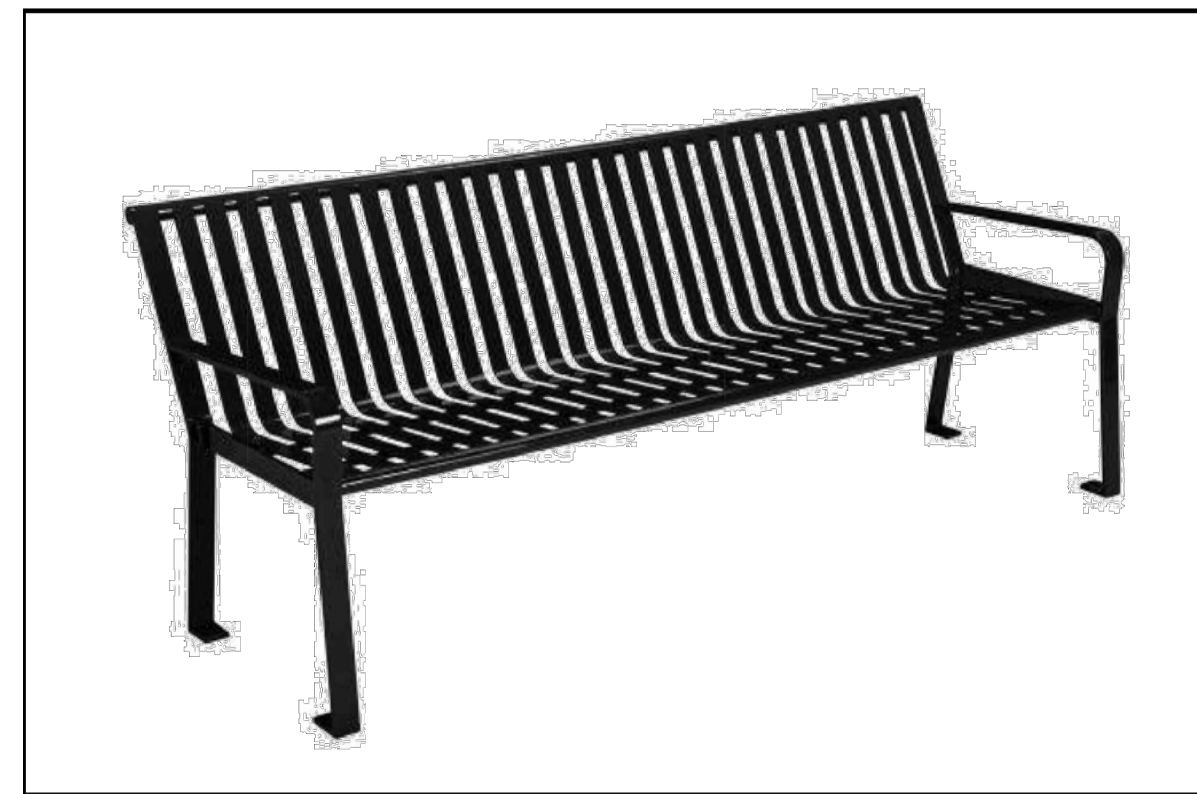


Weight: 87 lbs., Shipping: 1 Carton, ships via UPS
 Installation Time: 1 hour on average
 Compartment Size: Holds approx. 100 sets of keys
 Security: 1/2" plate steel fabrication, Master 6210 High Security padlock
 Mounting: Bolts to concrete using four high tensile Spikes

1-800-666-1283
SECURE INDUSTRIES / KEYKEEPER

- NOTE:**
- SEE SHEET A151 FOR MANUFACTURER, MAKE, AND MODEL INFORMATION.
 - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - SEE SHEET A150 FOR LOCATION(S).

1 KEYKEEPER WITH STAND
 C703 NOT TO SCALE



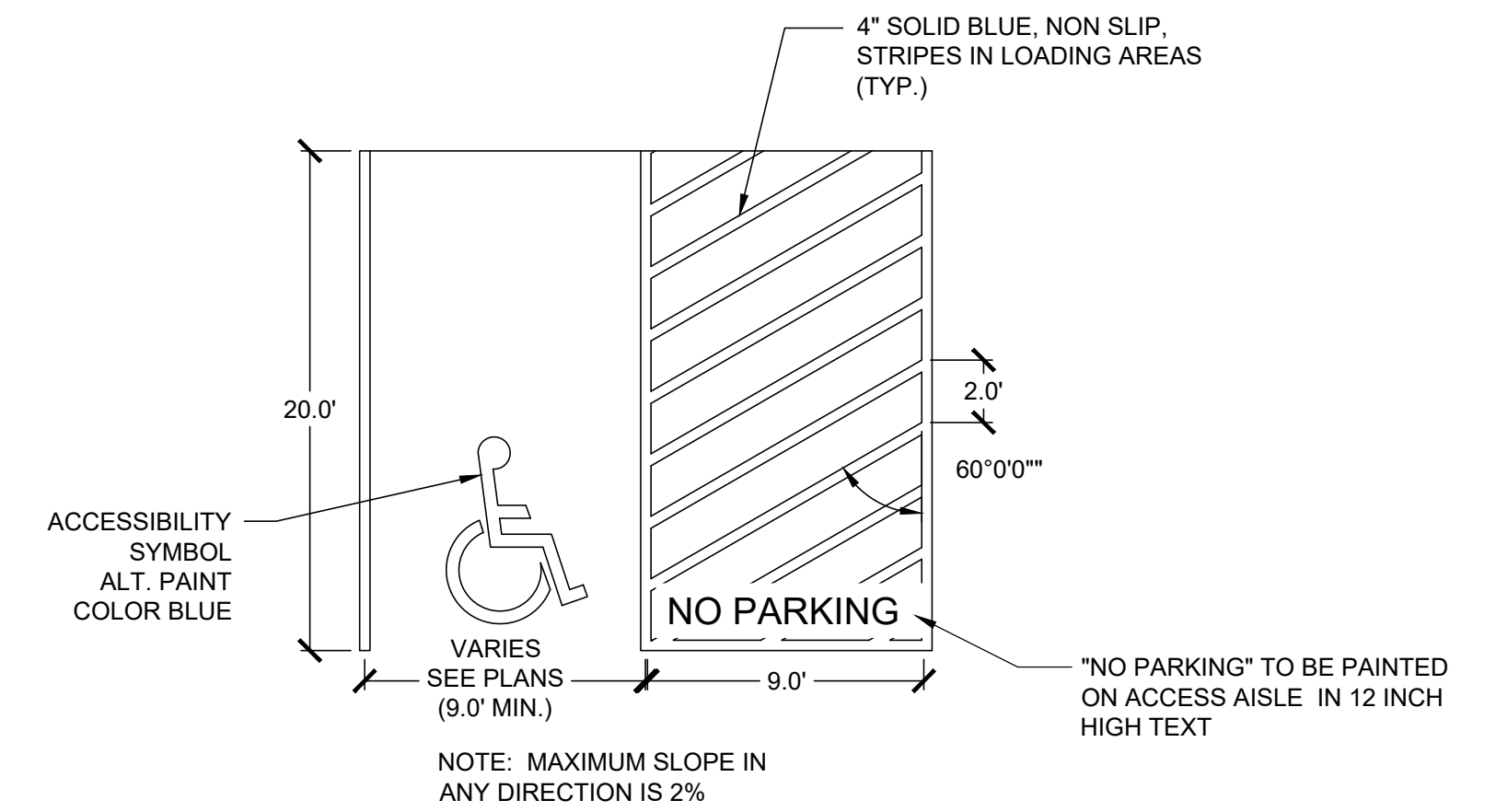
- NOTE:**
- GLOBAL INDUSTRIAL: 6' OUTDOOR PARK BENCH WITH BLACK, STEEL SLAT, BLACK #T9F694854BK.
 - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - SEE SHEET A150 FOR LOCATIONS(S).

2 BENCH
 C703 NOT TO SCALE

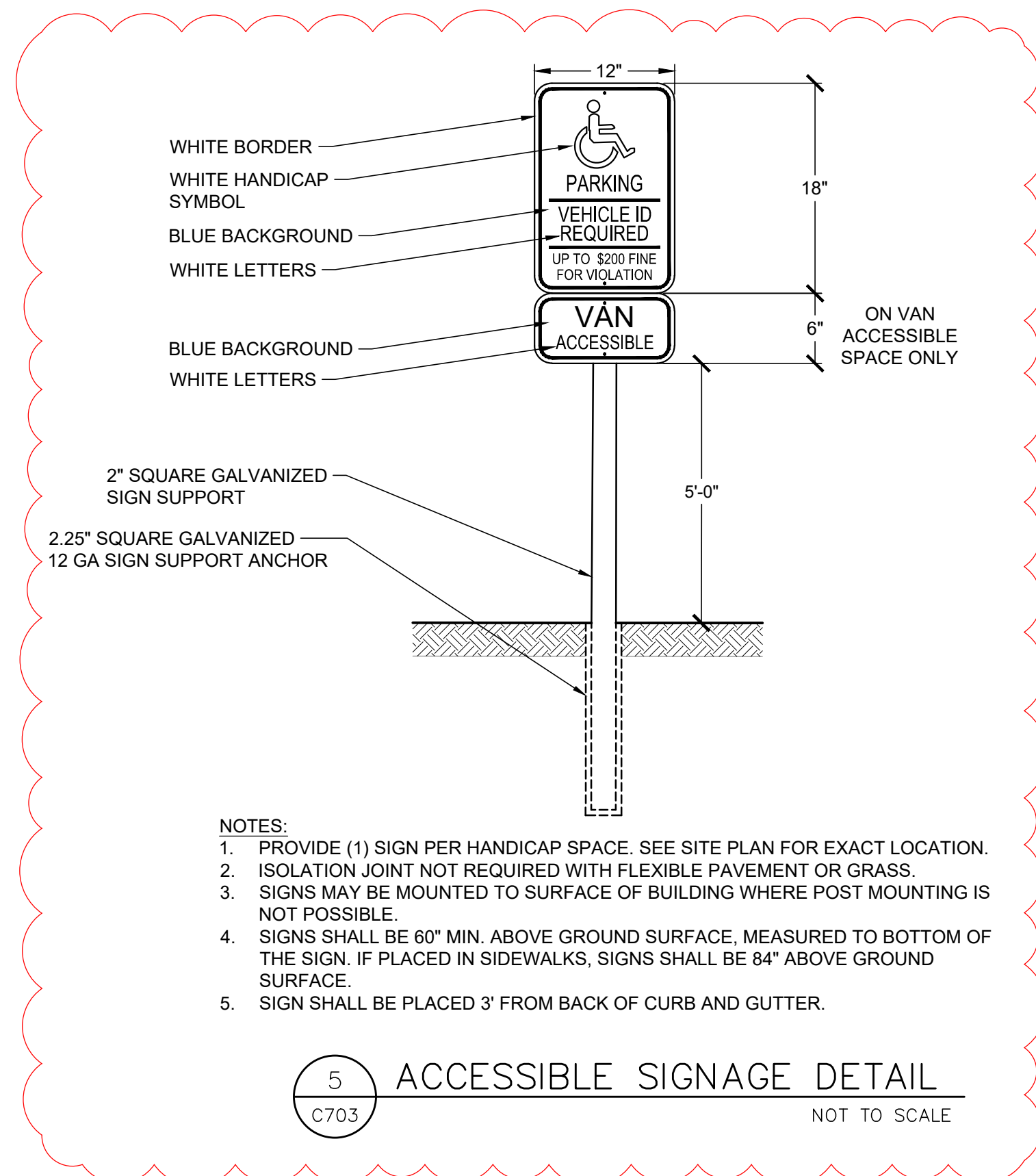


- NOTE:**
- GLOBAL INDUSTRIAL: OUTDOOR SLATTED STEEL TRASH CAN WITH RAIN BONNET LID, 36 GALLON, BLACK #T9F260804BK.
 - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - SEE SHEET A150 FOR LOCATIONS(S).

3 TRASH RECEPTACLE
 C703 NOT TO SCALE

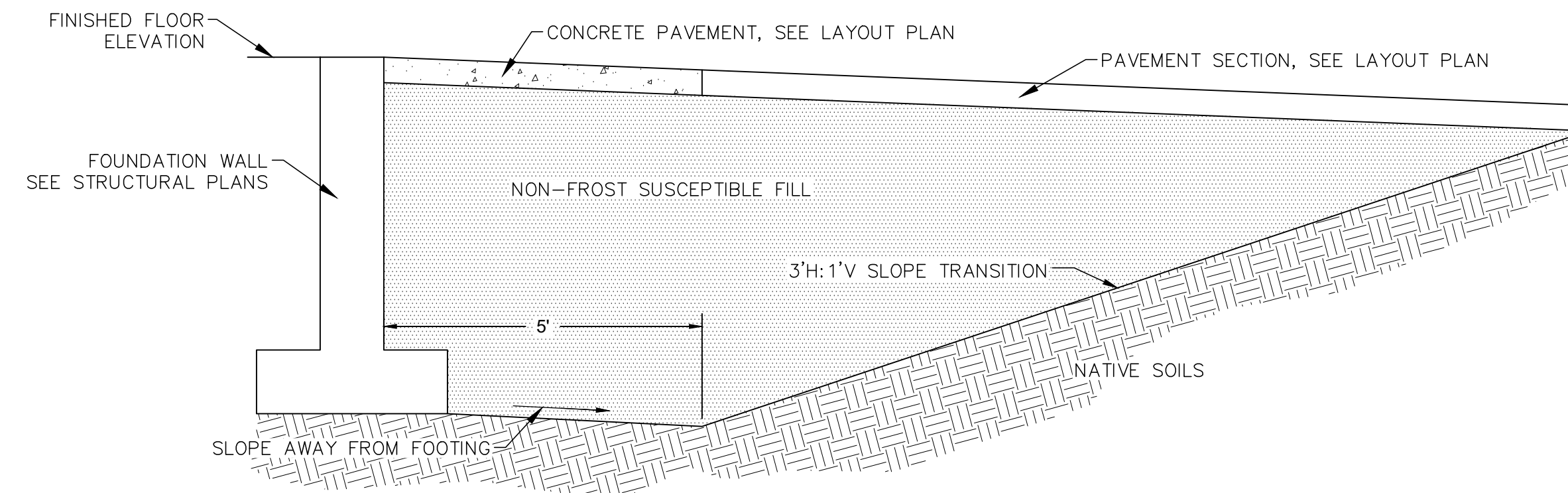


4 ACCESSIBLE PARKING STRIPING
 C703 NOT TO SCALE



- NOTES:**
- PROVIDE (1) SIGN PER HANDICAP SPACE. SEE SITE PLAN FOR EXACT LOCATION.
 - ISOLATION JOINT NOT REQUIRED WITH FLEXIBLE PAVEMENT OR GRASS.
 - SIGNS MAY BE MOUNTED TO SURFACE OF BUILDING WHERE POST MOUNTING IS NOT POSSIBLE.
 - SIGNS SHALL BE 60" MIN. ABOVE GROUND SURFACE, MEASURED TO BOTTOM OF THE SIGN. IF PLACED IN SIDEWALKS, SIGNS SHALL BE 84" ABOVE GROUND SURFACE.
 - SIGN SHALL BE PLACED 3' FROM BACK OF CURB AND GUTTER.

5 ACCESSIBLE SIGNAGE DETAIL
 C703 NOT TO SCALE



- NOTES:**
- IF A STOOP IS WITHIN "BACKFILL ZONE A" THE 5' AREA MAY BE OMITTED TO MAINTAIN A CONSISTENT TRANSITION SLOPE.
 - AREAS NOT IDENTIFIED AS "BACKFILL ZONE A" MAY BE BACKFILLED WITH NATIVE SOILS OR NON-FROST SUSCEPTIBLE FILL.
 - IF TRANSITION SLOPES EXTENDS INTO LANDSCAPED AREAS, CAP THE SURFACE WITH 12" OF CLAY MATERIALS TO PREVENT INFILTRATION.

6 BACKFILL ZONE A SECTION
 C703 NOT TO SCALE

NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED	DEF
REVIEWED	MRR
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
DETAILS

CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: JLLBL

SHEET
C703

SUGGESTED CONSTRUCTION SEQUENCING (note to designer: edit as needed to meet project requirements)

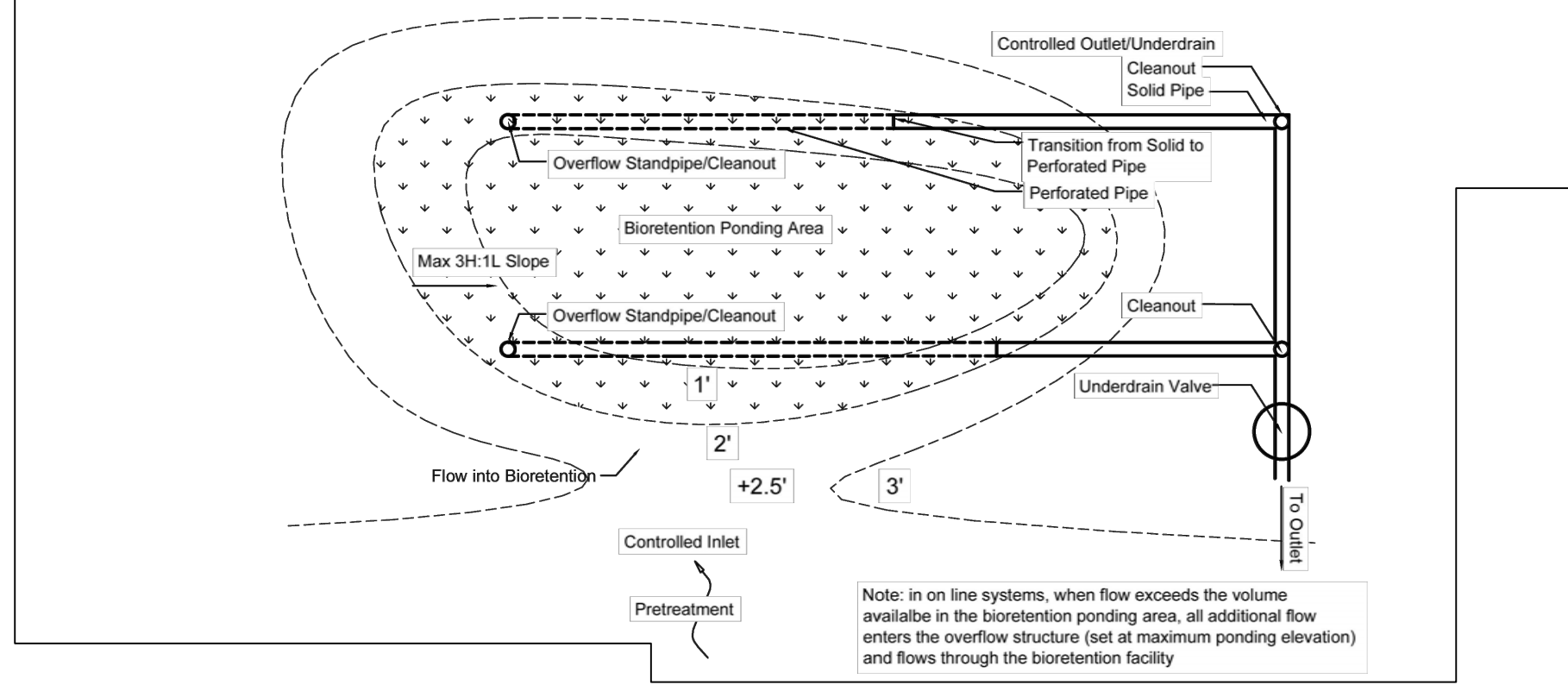
1. Install appropriate temporary erosion control devices to prevent sediment from leaving or entering the practice during construction.
2. All down-gradient perimeter sediment control bmp's must be in place before any up gradient land disturbing activity begins.
3. Perform continuous inspections of erosion control practices, especially after each rainfall event.
4. Install all utilities (water, sanitary sewer, electric, natural gas, phone, fiber optic, etc) prior to setting final grade of bioretention device.
5. Rough grade the site. If bioretention areas are being used as temporary sediment basins during construction, leave a minimum of 1 foot of cover over the practice to protect the underlying soils from clogging.
6. Complete, stabilize, and vegetate all other site improvements.
7. Construct and vegetate bioretention device following stabilization of contributing drainage area. Ensure that critical elevations, such as underdrain invert, top of media, top of mulch, and invert of overflow structure (if present) are correct.
8. Remove temporary erosion control devices after the contributing drainage area is adequately vegetated.

GENERAL NOTES (note to designer: edit as needed to meet project requirements)

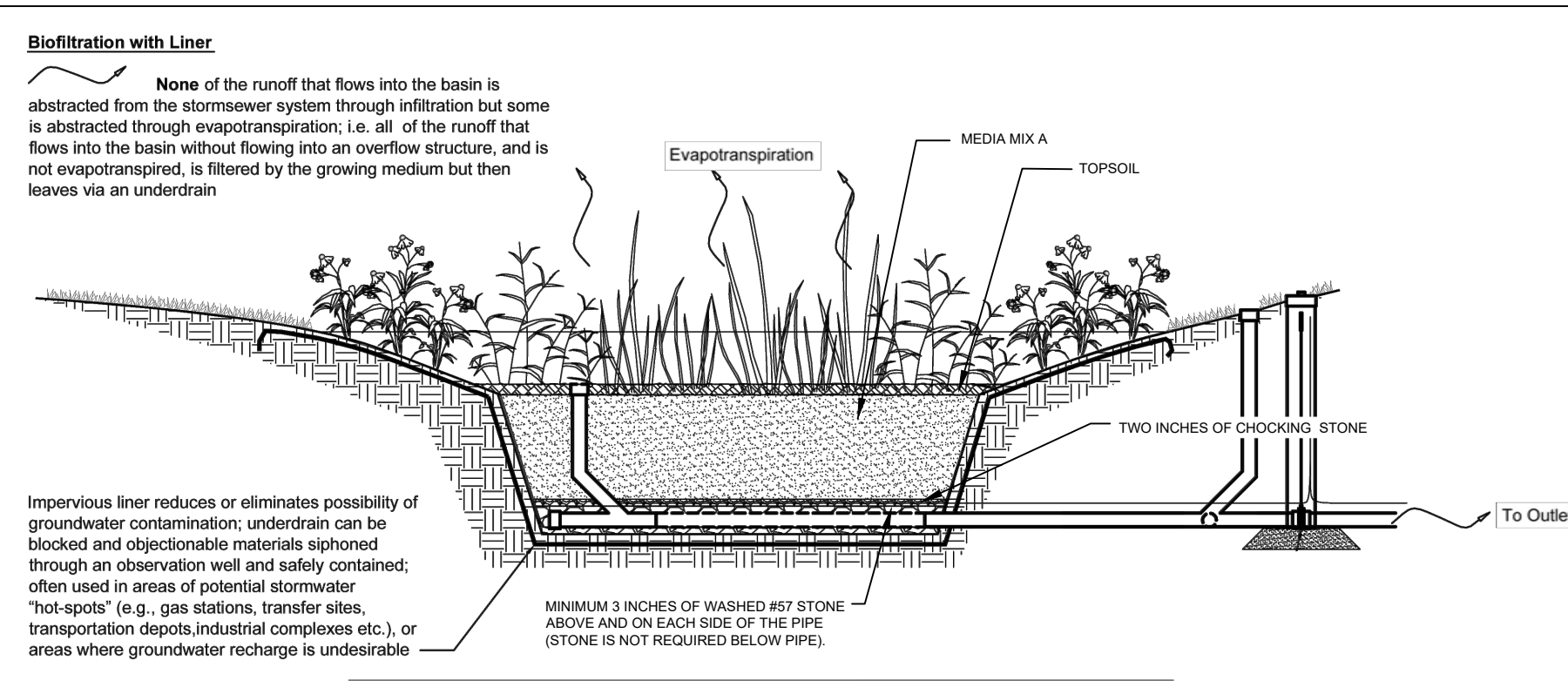
1. In the event that sediment is introduced into the bmp during or immediately following excavation, this material shall be removed from the practice prior to continuing construction.
2. See Minnesota Stormwater Manual for subgrade preparation.

MATERIAL SPECIFICATIONS

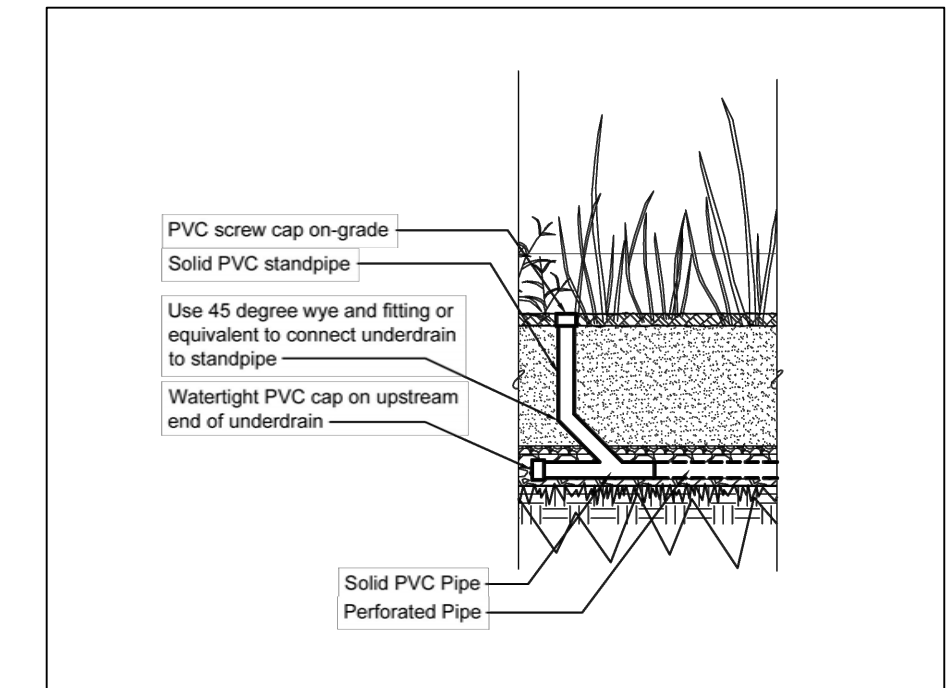
1. See Minnesota Stormwater Manual for material specifications recommendations for bioretention soil, mulch, underdrains, etc.



1 BIORETENTION PLAN — ON LINE
C704 NOT TO SCALE

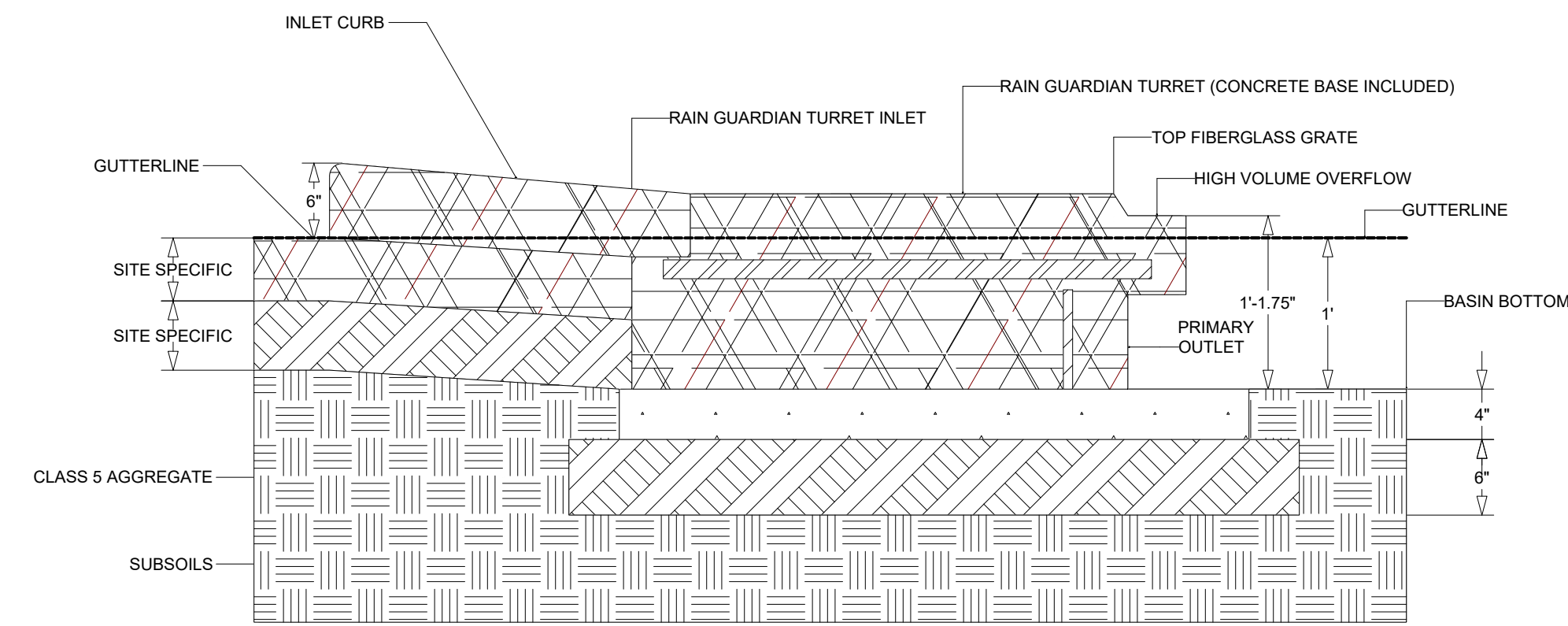


2 BIORETENTION WITH LINER
C704 NOT TO SCALE

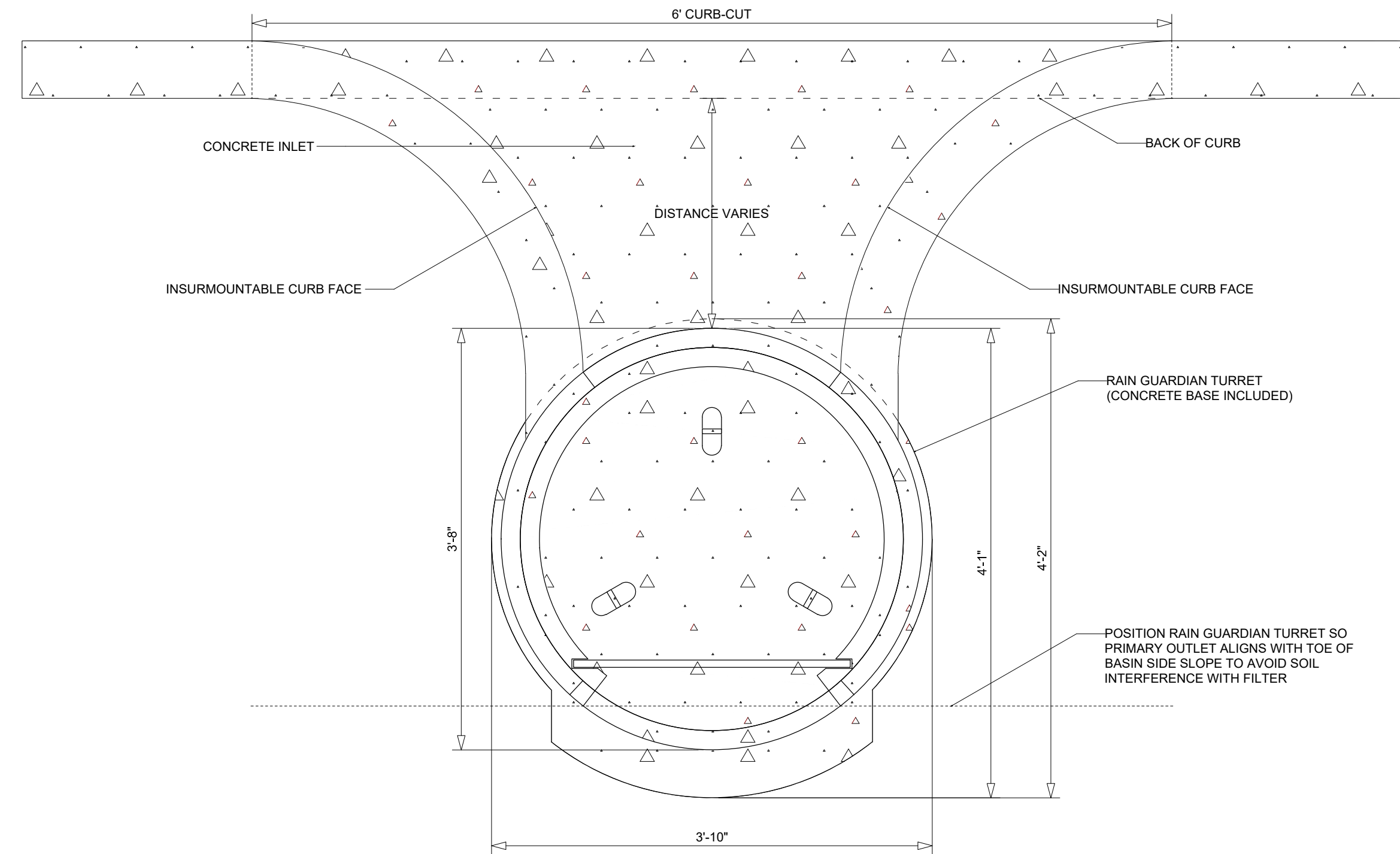


3 CLEANOUT
C704 NOT TO SCALE

RAIN GUARDIAN TURRET 12" CROSS-SECTION VIEW
U.S. PATENT NOS. 8,501,016 AND 8,858,804



RAIN GUARDIAN TURRET 12" PLAN VIEW
U.S. PATENT NOS. 8,501,016 AND 8,858,804



4 RAIN GUARDIAN TURRET
C704 NOT TO SCALE

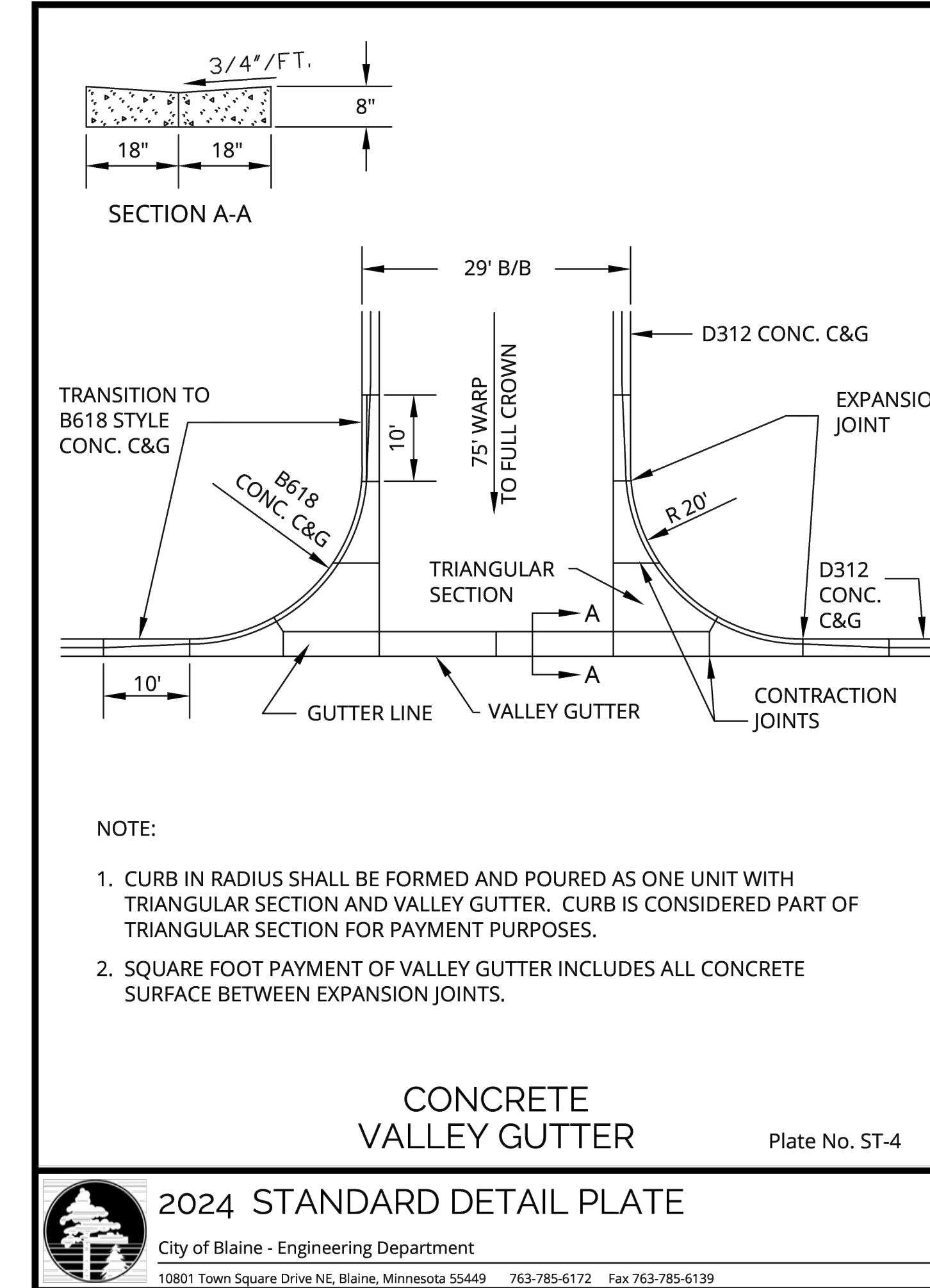
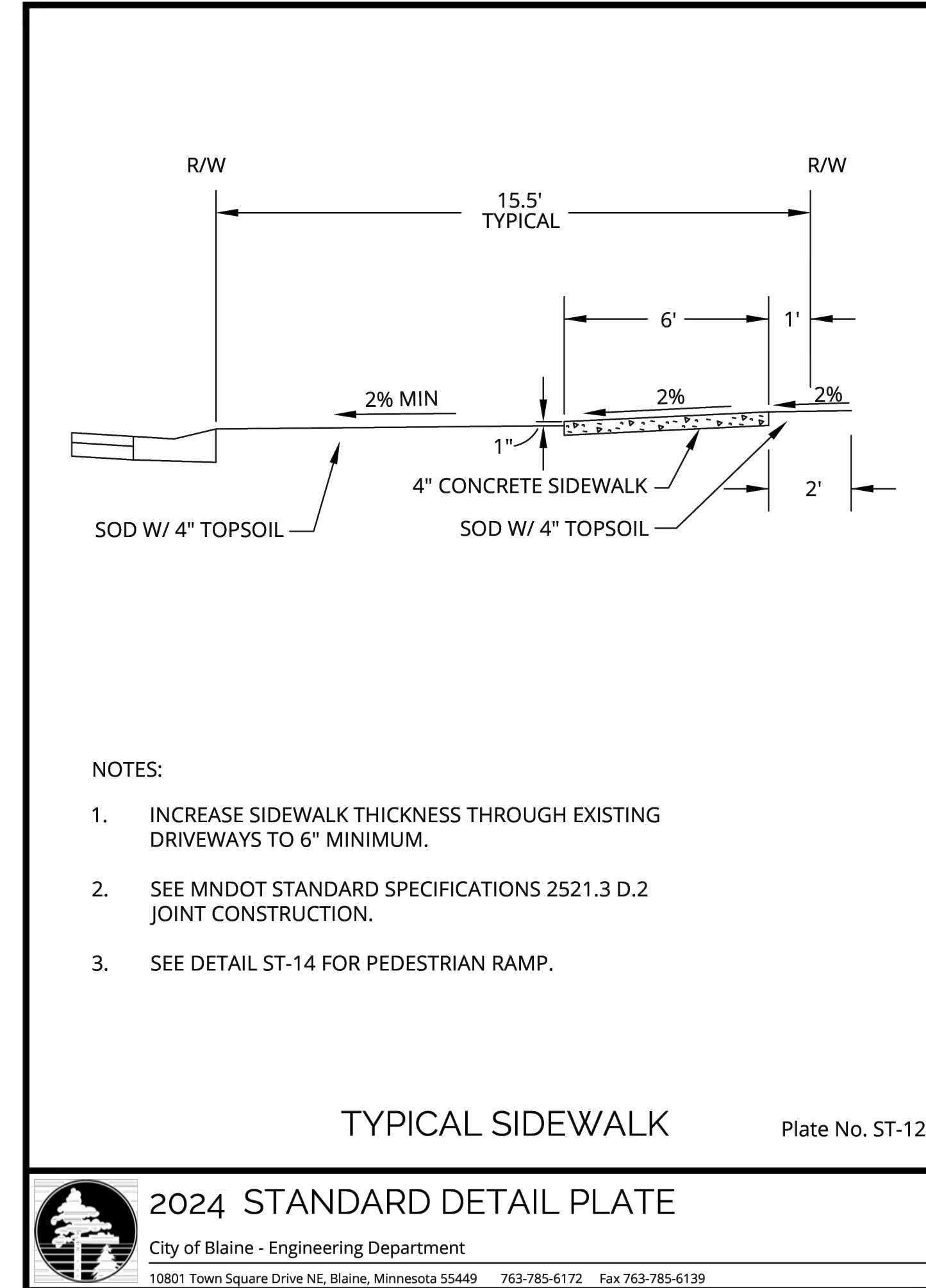
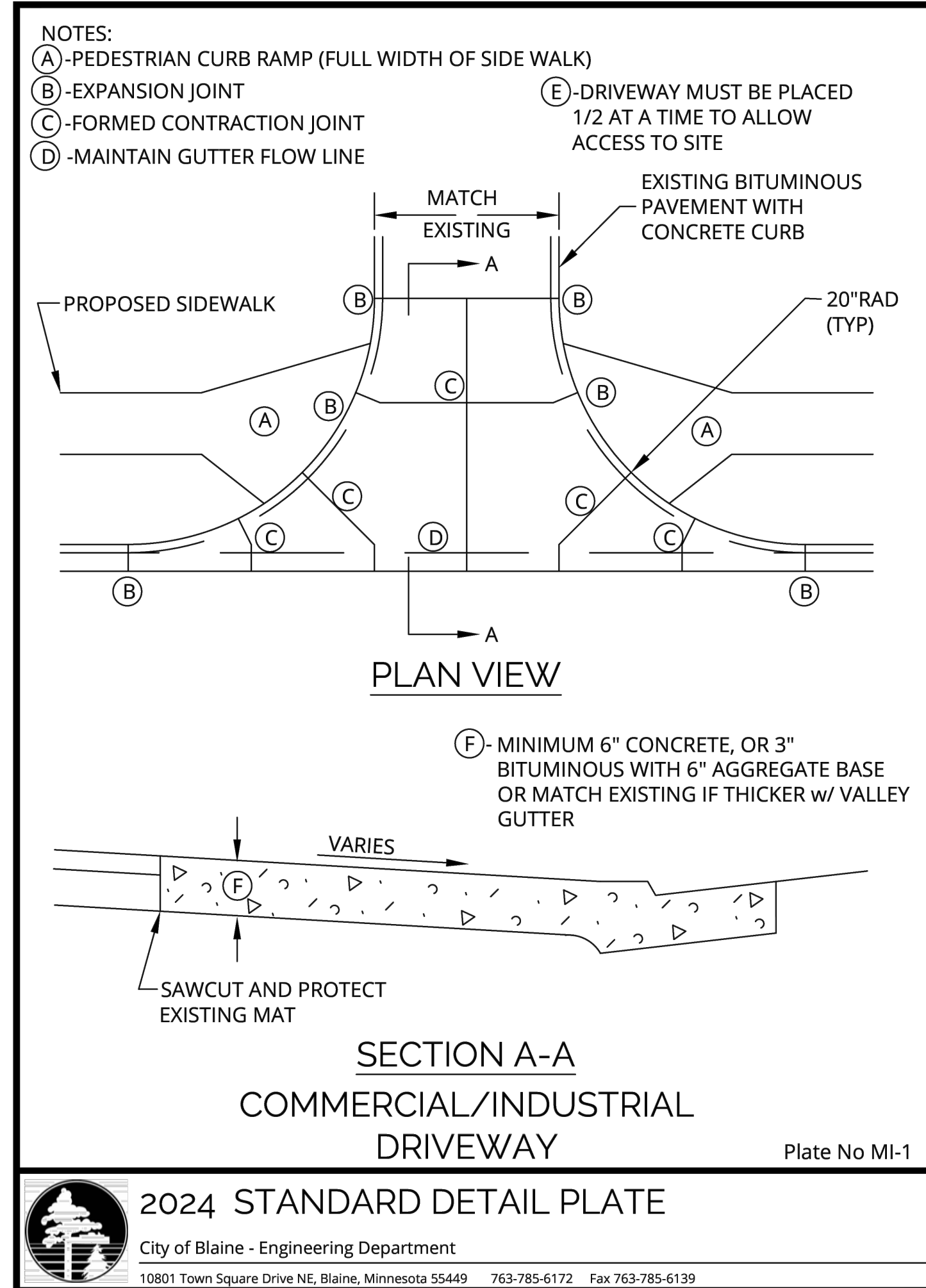
NO.	DATE	REVISION

DRAFTED	DEF
REVIEWED	DEF
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
LES SCHWAB
BLAINE, MINNESOTA
DETAILS

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS FOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: 21181

SHEET
C704



NO.	DATE	REVISION

DRAFTED	DEF
REVIEWED	DEF
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MINNESOTA
 DETAILS

CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 41181

SHEET
 C704

NO.	DATE	REVISION

DRAFTED	FMB
REVIEWED	DEF
PROJECT NUMBER	2314-00145.1
ISSUE DATE	04/09/2024

LES SCHWAB TIRE CENTER
 LES SCHWAB
 BLAINE, MN
LANDSCAPE LAYOUT

LEGEND

- SHRUB
- EVERGREEN TREE
- ORNAMENTAL TREE
- CANOPY TREE
- IRRIGATED TURF AREA
- BROADCAST OR HYDROSEED MIXTURE: RATE NOT LESS THAN 5 LBS PER 1000 SF
100% BUFFALO GRASS
- HYDROSEED MULCH SLURRY: APPLIED AT RATE NOT LESS THAN 2,000 LBS PER ACRE
SEE SPECIFICATION: SECTION 32 9200, PART 2.05 HYDROSEEDING MULCHES
- IRRIGATED TURF AREA
- BROADCAST OR HYDROSEED MIXTURE: RATE NOT LESS THAN 5 LBS PER 1000 SF
20% RHYTHM KENTUCKY BLUE GRASS
20% FIELDER BLUEGRASS
30% NAMED PERENNIAL RYEGRASS, COATED
15% BOREAL CRF, COATED
15% GERONIMO KENTUCKY BLUE GRASS
- HYDROSEED MULCH SLURRY: APPLIED AT RATE NOT LESS THAN 2,000 LBS PER ACRE
SEE SPECIFICATION: SECTION 32 9200, PART 2.05 HYDROSEEDING MULCHES
- IRRIGATION SLEEVE
- IRRIGATION BUBBLER

LANDSCAPE REQUIREMENTS

SECTION 33.07
 10,798 SF BUILDING
 1,000 LF PROPERTY PERIMETER

REQUIRED	MINIMUM SIZE	OVERSIZED	PLANT MATERIAL
10	7	3	OVERSTORY DECIDUOUS TREE - MINIMUM SIZE (2.5" CALIPER MIN.) OVERSIZED (3" CALIPER MIN.)
6	4	2	CONIFER - MINIMUM SIZE (6 FT MIN.) OVERSIZED (8 FT MIN.)
36	36	0	SHRUB - 24" POT MIN.
6	4	2	ORNAMENTAL TREE - MINIMUM SIZE (2" CALIPER MIN.) OVERSIZED (2.5" CALIPER MIN.)

PLANTING SCHEDULE:

QTY	COMMON NAME	SCIENTIFIC NAME
4	MAPLE, NORWAY	ACER PLATANOIDES
6	OAK, PRAIRIE STATURE WHITE	QUERCUS X BIMUNDORUM 'MIDWEST'
6	SPRUCE, BLACK	PICEA MARIANA
6	SERVICEBERRY	AMELANCHIER
18	HONEY SUCKLE	LONICERA
18	CHARMING DAPHNE	DAPHNE ODORA

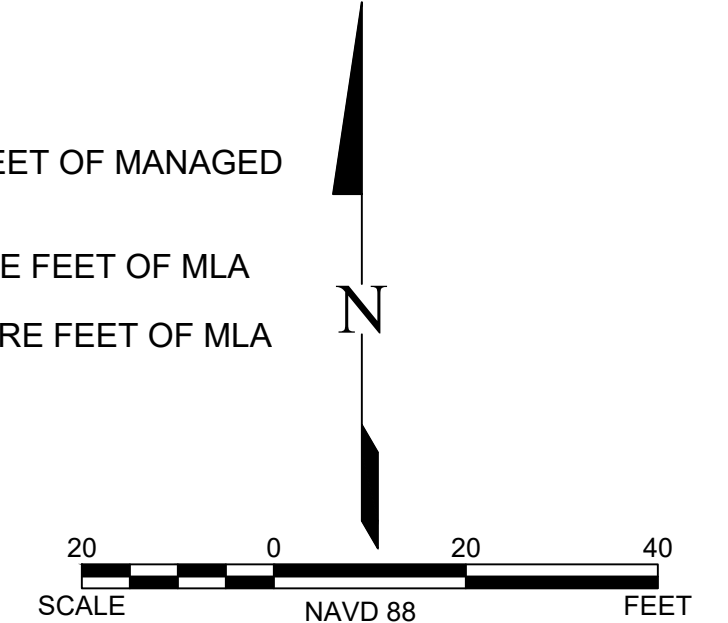
LANDSCAPE AND PLANT UNIT CALCULATIONS:

LOT AREA: 60,812 SF
 MANAGED LANDSCAPED AREA REQUIRED: 17,237 SF (20% OF LOT AREA)
 MANAGED LANDSCAPED AREA PROVIDED: 19,256 SF (31.7% OF LOT AREA)

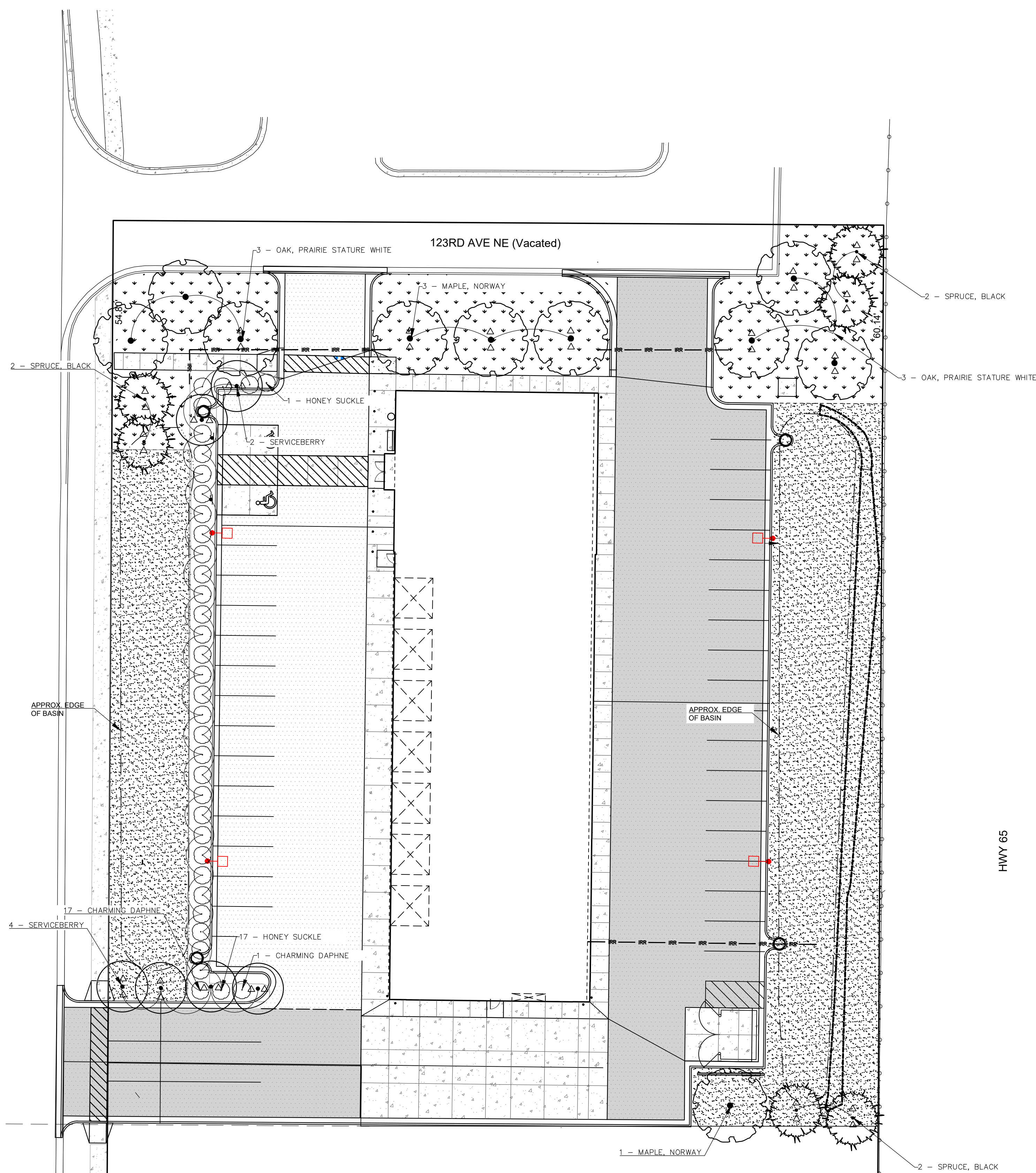
PLANT UNITS REQUIRED: ONE (1) SHADE TREE FOR EACH 1,500 SQUARE FEET OF MANAGED LANDSCAPED AREA (MLA) AND/OR
 ONE (1) EVERGREEN TREE FOR EACH 700 SQUARE FEET OF MLA AND/OR
 ONE (1) ORNAMENTAL TREE FOR EACH 450 SQUARE FEET OF MLA

THEREFORE
 SIXTEEN (16) SHADE TREES AND/OR
 THIRTY FOUR (34) EVERGREEN TREES AND/OR
 FIFTY THREE (53) ORNAMENTAL TREES

PLANT UNITS PROVIDED: SIXTEEN (16) SHADE TREES



CERTIFICATION
 I HEREBY CERTIFY THAT THE FINAL SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINTED NAME: DOUGLAS FOSTER
 SIGNATURE: _____
 DATE: _____ LICENSE NUMBER: 44188



PLANTING NOTES:

- GENERAL NOTES APPLY.
- SEE SPECIFICATIONS 32 9113 SOIL PREPARATION AND 32 9300 PLANTS.
- EVALUATE EXISTING SITE CONDITIONS AND REMEDY AS REQUIRED TO PROVIDE FOR HEALTHY PLANT GROWTH AND MITIGATE UNSIGHTLY CONDITIONS.
- RE-GRADE, PREPARE SOIL AND PLANT ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY. PLANT PER PLANTING PLAN. FOR DISTURBANCES BEYOND PLAN, MATCH EXISTING PLANTS AND ACCESSORIES. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. PROVIDE SMOOTH AND CLEAN TRANSITION BETWEEN EXISTING AND DISTURBANCES. IRRIGATION DISTURBANCE AREAS ARE CONCEPTUAL, COORDINATE ACTUAL.
- PERFORM SOIL SAMPLING AND TESTING AS SPECIFIED.
- PREPARE SUBGRADE AND PLACE SOIL PER SPECIFICATION 329113 'SOIL PREPARATION' FOR PLANTING SOIL. COORDINATE TOPSOIL INSTALLATION WITH OTHER TRADES. IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND MITIGATE AS REQUIRED.
- AMEND PLANTING SOIL AS SPECIFIED. SEE SPEC 329113 SOIL PREPARATION. FOR COMPACTED AREAS (PREVIOUSLY PAVED/HARDPAN AREAS), SCARIFY SOILS AS SPECIFIED AND MODIFY PLANTING PIT AS SPECIFIED & DETAILED.
- ALL PLANT MATERIAL SHALL RECEIVE AN ADEQUATE AMOUNT OF WATER TO MEET ITS WATERING REQUIREMENTS AND SHALL BE SUPPLIED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE SPEC 328400 PLANTING IRRIGATION AND IRRIGATION PLAN.
- PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE HAVE APPROPRIATE MOISTURE FOR INSTALLING PLANTS.
- INSTALL PLANTINGS AND ACCESSORIES AS DETAILED AND PER PROJECT MANUAL SPECIFICATIONS.
- CONTRACTOR SHALL SELECT PLANT SPECIES APPROPRIATE TO THE AREA, LOCALLY AVAILABLE AND COMPLIANT WITH CITY REQUIREMENTS. SUBMIT SPECIES LAYOUT TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

TREE, SHRUB, AND PERENNIAL NOTES:

- PRIOR TO PLANTING INSTALLATION, CONTRACTOR TO CONFIRM CONTACT LANDSCAPE ARCHITECT FOR REVIEW OF PLANT LAYOUT PRIOR TO DIGGING PLANTING HOLES.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS DETAILED AND SPECIFIED AND CONFORM TO THE CURRENT AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARD FOR NURSERY STOCK.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. THE ILLUSTRATED LOCATION SHALL DICTATE COUNT.
- NO PLANT SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- WARRANTY PLANT MATERIAL AS SPECIFIED.

MULCH NOTES:

- ALL LANDSCAPE BEDS WITH CONTAINER PLANTS ARE TO RECEIVE MULCH AS SPECIFIED. MODIFY FINISH GRADE ADJACENT TO WALKING SURFACES TO PREVENT MULCH FROM MIGRATING OR WASHING ONTO SUCH SURFACES DURING RAIN EVENTS.
- SUBMIT SAMPLE OF MULCH TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- EDGING LOCATION AS NOTED ON DRAWINGS AND DETAILS.

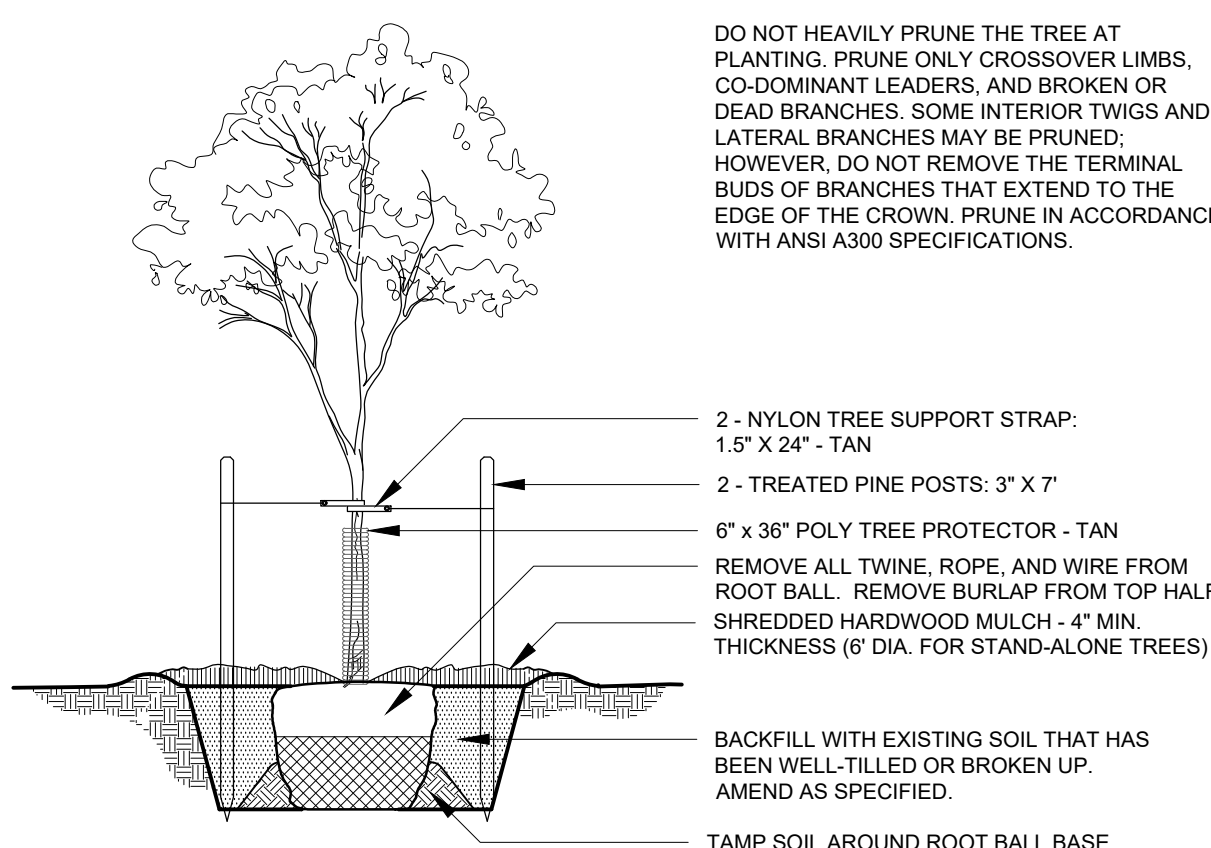
GENERAL NOTES:

- VERIFY EXISTING CONDITIONS AND LOCATE ALL EXISTING UTILITIES INCLUDING ANY THAT MAY NOT BE INDICATED ON THIS PLAN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- PROTECT ALL EXISTING IMPROVEMENTS TO REMAIN AND REPAIR BACK TO ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE IF DAMAGE OCCURS RESULTANT FROM CONTRACTOR'S OPERATIONS OR NEGLIGENCE.
- PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
- DO NOT SCALE DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK. START OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.

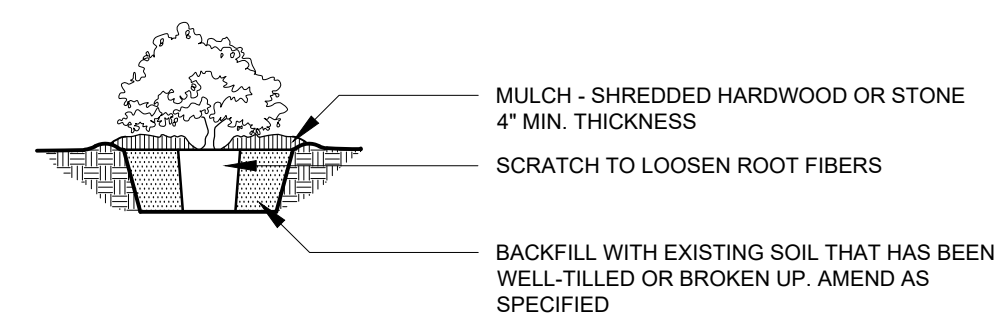
- CHANGES OR DEVIATIONS FROM THE DRAWINGS MADE WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT AND/OR AN APPROVED CHANGE ORDER WILL BE CONSIDERED UNAUTHORIZED. COORDINATE NECESSARY MODIFICATIONS WITH ARCHITECT PRIOR TO EXECUTING CONSTRUCTION. SEE SPECIFICATIONS FOR CONTRACT MODIFICATION PROCEDURES AND AS-BUILT REQUIREMENTS.
 - REVIEW ALL DISCIPLINE DRAWINGS AND COORDINATE WITH GENERAL CONTRACTOR AND ALL TRADE CONTRACTORS FOR WORK SHOWN ON LANDSCAPE DRAWINGS AND SPECIFICATIONS.
 - NOTIFY LANDSCAPE ARCHITECT AND OWNER IN WRITING OF ANY EXPECTED DISRUPTIONS IN SERVICE OR CHANGES IN CONSTRUCTION SCHEDULE AND OBTAIN WRITTEN PERMISSION AS SPECIFIED.
 - IN THE EVENT OF ANY DISCREPANCIES, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
 - PROVIDE ALL COMPONENTS AND ACCESSORIES FOR A COMPLETE AND FINISHED INSTALLATION FOR PRODUCTS SHOWN ON THE DRAWING SHEETS.
 - THE PROJECT MANUAL SPECIFICATIONS ARE AN INTEGRAL PART OF THESE DOCUMENTS. REVIEW ALL PROJECT INFORMATION.
 - ELECTRONIC FILES FOR LAYOUT AVAILABLE UPON WRITTEN REQUEST.
 - DURING ALL INSTALLATION, KEEP ADJACENT PAVING, CONSTRUCTION AREAS, AND WORK AREAS CLEAN AND IN ORDERLY CONDITION. PROTECT ALL STRUCTURES, UTILITIES, AND SITE IMPROVEMENTS, INCLUDING PLANT AND IRRIGATION MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OR ACTIVITIES BY OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE ANY DAMAGED IMPROVEMENTS, INCLUDING PLANTINGS OR IRRIGATION EQUIPMENT.
- GENERAL DEMOLITION NOTES**
- SEE CIVIL FOR ALL SITE DEMOLITION, INCLUDING TREE REMOVAL AND TOPSOIL STOCKPILE.
 - REMOVE EXISTING GROUND COVER AND PLANTINGS IN UNDISTURBED AREAS PROPOSED FOR NEW GROUND COVER AND PLANTINGS. SEE SPECIFICATIONS FOR SOIL AMENDMENTS.
 - SEE PLANTING PLANS, PLANTING DETAILS AND PLANT PROTECTION SPECIFICATION FOR PLANTINGS TO REMAIN.

GENERAL IRRIGATION NOTES:

- ALL PLUMBING AND ELECTRICAL WORK SHALL BE COMPLETED AS PER ALL LOCAL CODES.
- ALL MATERIALS SHALL BE NEW, WITHOUT FLAWS AND CONSIDERED THE BEST AVAILABLE IN STOCK. THE COMPLETE SYSTEM SHALL HAVE A ONE-YEAR WARRANTY AFTER FINAL PROJECT ACCEPTANCE ON ALL PARTS AND LABOR.
- PRIOR TO FINAL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL INSTRUCT THE OWNER, OR HIS REPRESENTATIVE, IN THE PROPER OPERATION, MAINTENANCE, AND WINTERIZATION OF THE ENTIRE IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM SHALL BE ZONED AS TO PROVIDE THE APPROPRIATE AMOUNT OF WATER SUPPLY TO EACH TYPE OF LANDSCAPE PLANT AS REQUIRED BY SIZE, SPECIES, SOIL CONDITIONS, AND EXPOSURE TO SUN AND WIND.
- WHEN THE SYSTEM IS COMPLETE, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL LAWN & LANDSCAPE PLANTING AREAS.
- THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED FOR WINTERIZATION BY THE CONTRACTOR.
- ALL IRRIGATION VALVES SHALL BE LOCATED IN PROFESSIONAL GRADE VALVE BOXES. SIZE OF VALVE BOXES SHALL VARY WITH NUMBER OF VALVES LOCATED IN BOX. ALL VALVE BOX LID ELEVATIONS SHALL BE SET FLUSH WITH FINISHED GRADE. PROVIDE BOX SIZE THAT WILL ALLOW 6" CLEARANCE AROUND ALL SIDES OF VALVES. PROVIDE BOLTS PER MANUFACTURER'S RECOMMENDATIONS AND SECURE EACH VALVE BOX.
- WIRE CONNECTORS SHALL BE USED ON ALL FIELD WIRE SPLICES AND CONNECTIONS.
- ALL CONTROL WIRE SHALL BEAR A U/L APPROVED LABEL FOR DIRECT UNDERGROUND BURIAL IN NATIONAL ELECTRIC CODE CLASS IT CIRCUITS. AWG SIZES, ALL CONTROL WIRE RUNS LESS THAN 1000' SHALL HAVE NO SPLICES. IF A SPLICE OCCURS ON A FIELD CONTROL WIRE, THE CONTRACTOR SHALL INSTALL THE SPLICE IN A 6" ROUND VALVE BOX USING APPROVED WATERTIGHT CONNECTORS. IF APPROVED BY THE LANDSCAPE ARCHITECT OR DESIGN PROFESSIONAL.
- IRRIGATION VALVE BOXES ARE TO BE INSTALLED IN LANDSCAPE PLANTING AREAS OR OTHER PROTECTED SPACES WHEN POSSIBLE. VALVE BOXES SHALL NOT BE INSTALLED IN LAWN AREAS IF IT CAN BE AVOIDED.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. THE ACQUISITION OF ALL NECESSARY PERMITS ASSOCIATED WITH CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO 3/4" PIPE SHALL BE USED ANYWHERE ON THE SPRAY IRRIGATION SYSTEM. (EXCEPT FOR 3/4" SWING JOINT ASSEMBLIES FOR ROTOR OR POP-UP SPRAY HEADS).
- THE CONTRACTOR SHALL EXPOSE ENDS OF ALL IRRIGATION SLEEVES. ANY BROKEN OR SHATTERED ENDS OF THE IRRIGATION SLEEVES SHALL BE CUT TO A CLEAN END BEFORE INSTALLATION OF EITHER MAINLINE PIPE, LATERAL LINES OR DRIP IRRIGATION TUBING.
- FINAL CONNECTION OF THE VALVE WIRES TO THE CONTROLLER SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND UTILITIES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE SAME.
- THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER AND/OR TELEPHONE, WATER, GAS AND SEWER FACILITIES SO AS TO SAFELY PROTECT ALL UTILITIES, PERSONNEL, AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS, WHICH ARE TO REMAIN IN PLACE FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL MAINLINES SHALL BE PRESSURE TESTED AT 1.5 TIMES THE STATIC PRESSURE FOR A MINIMUM 2 HOUR PERIOD PRIOR TO BACKFILLING OF TRENCHES. TEST WILL BE CONSIDERED SUCCESSFUL IF NO PRESSURE LOSS OCCURS DURING THE TWO HOURS. IF ANY LEAKS ARE PRESENT, THEY SHALL BE CORRECTED AND LINES SHALL BE RE-TESTED PRIOR TO BACKFILLING TRENCHES.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- THE CONTRACTOR SHALL FLUSH ALL LATERALS AND EMITTER LINES PRIOR TO INSTALLING EMITTERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER SIDEWALKS AND PAVING.
- SHOULD DISCREPANCIES ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH REQUIRE FIELD MODIFICATIONS OR PLAN REVISIONS, THE LANDSCAPE ARCHITECT, DESIGN PROFESSIONAL, OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED PRIOR TO CONSTRUCTION FOR RESOLUTION OR PLAN REVISION.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, DESIGN PROFESSIONAL OR THE OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE IRRIGATION CONTROLLER SHALL BE WIRED DIRECTLY TO A 110 VOLT POWER SOURCE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE IRRIGATION CONTROLLER WIRING TO THE POWER SOURCE. CONNECTING THE CONTROLLER TO THE POWER SOURCE SHALL BE THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR. THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES OR ORDINANCES THAT APPLY. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE POWER SOURCE AND EXACT LOCATION OF THE CONTROLLER WITH OWNER'S REPRESENTATIVE.



1 BALLED IN BURLAP TREE PLANTING
L200 NOT TO SCALE



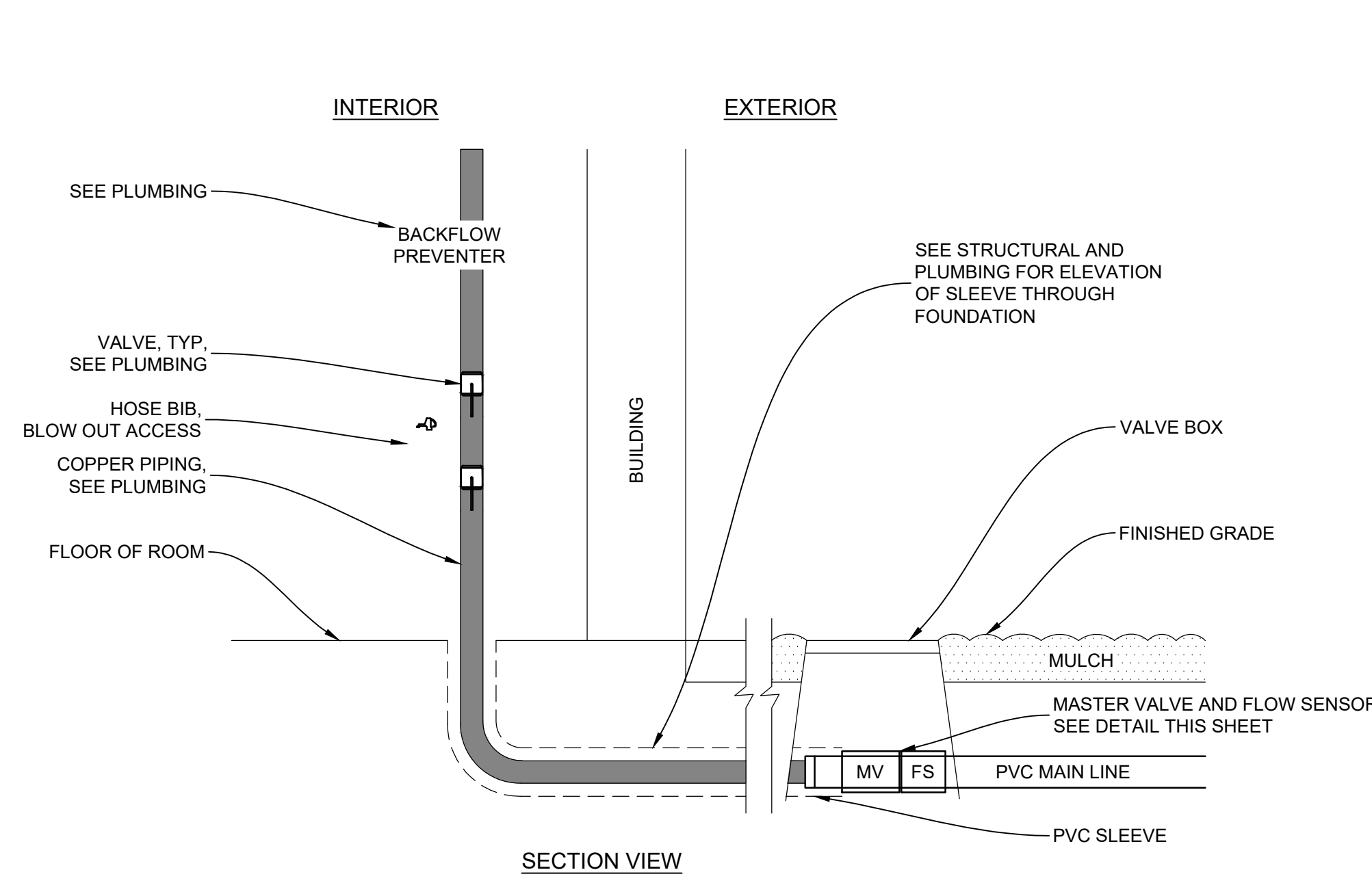
2 SHRUB PLANTING
L200 NOT TO SCALE

CERTIFICATION
I HEREBY CERTIFY THAT THE PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS FOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: 4155

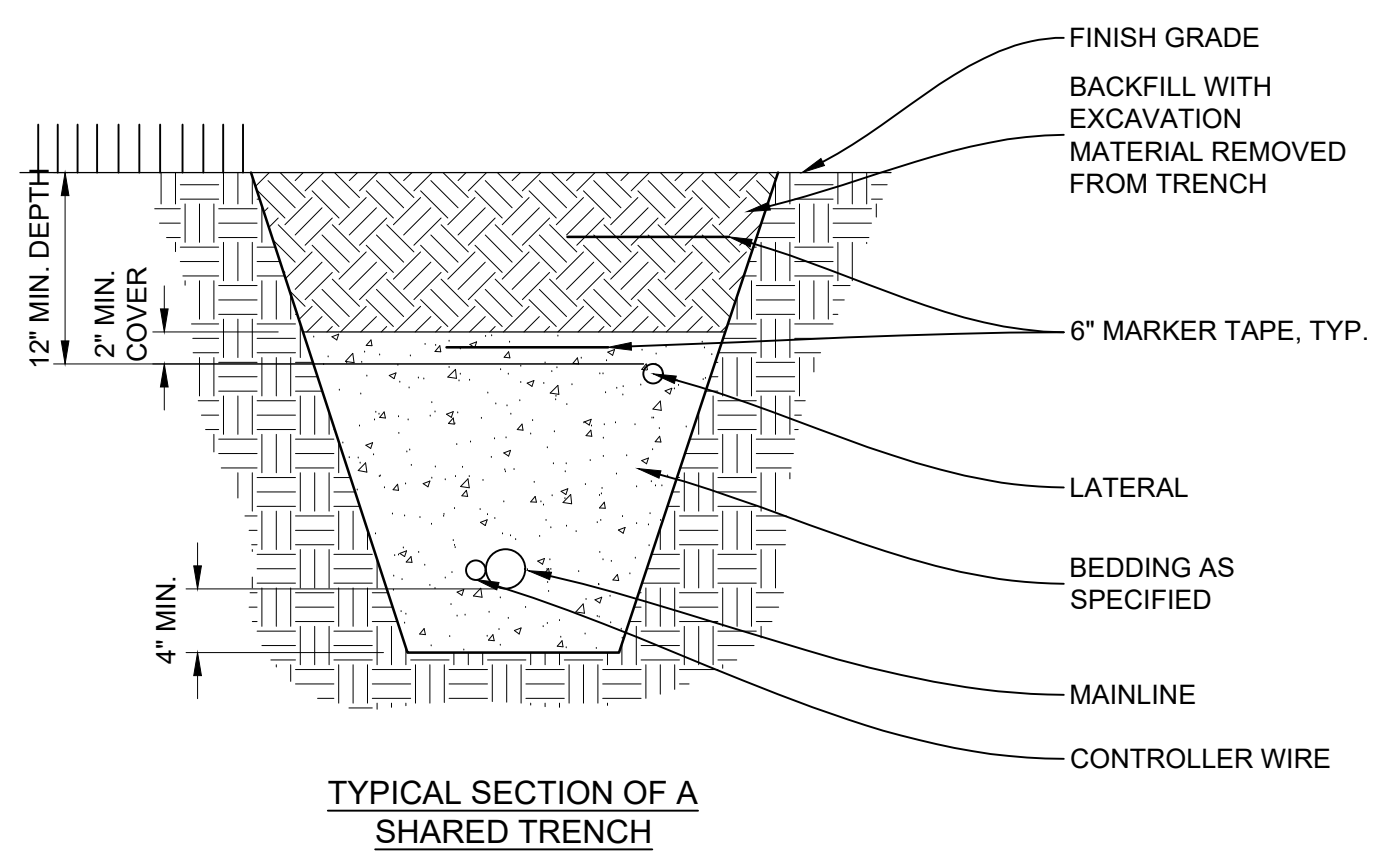
REVISION	DATE	NO.

DRAFTED PMB
REVIEWED DEF
PROJECT NUMBER 2314-00145.1
ISSUE DATE 04/09/2024

LES SCHWAB TIRE CENTER
LES SCHWAB
BLAINE, MN
LANDSCAPE LAYOUT

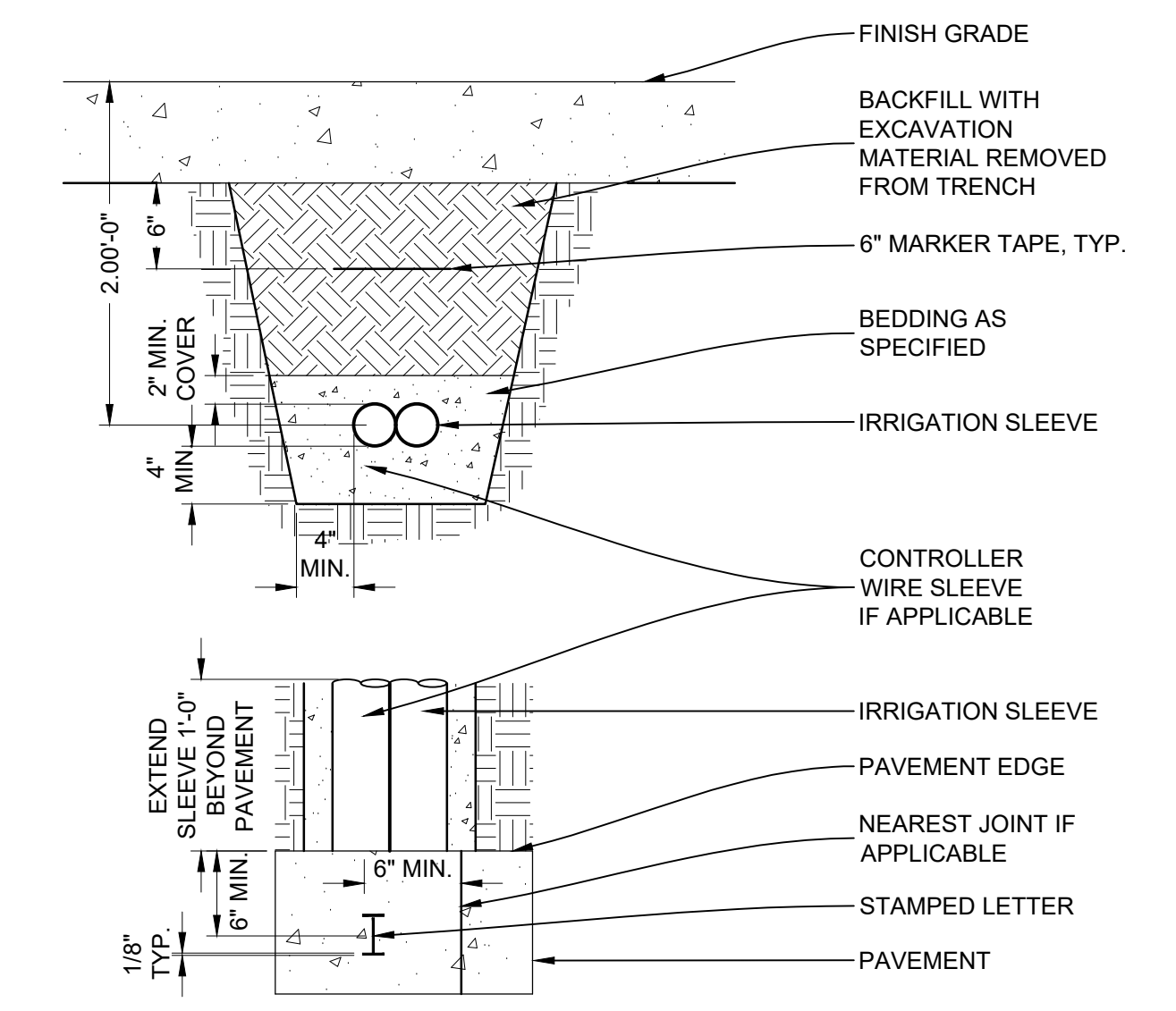


1 POINT OF CONNECTION
L300 NOT TO SCALE



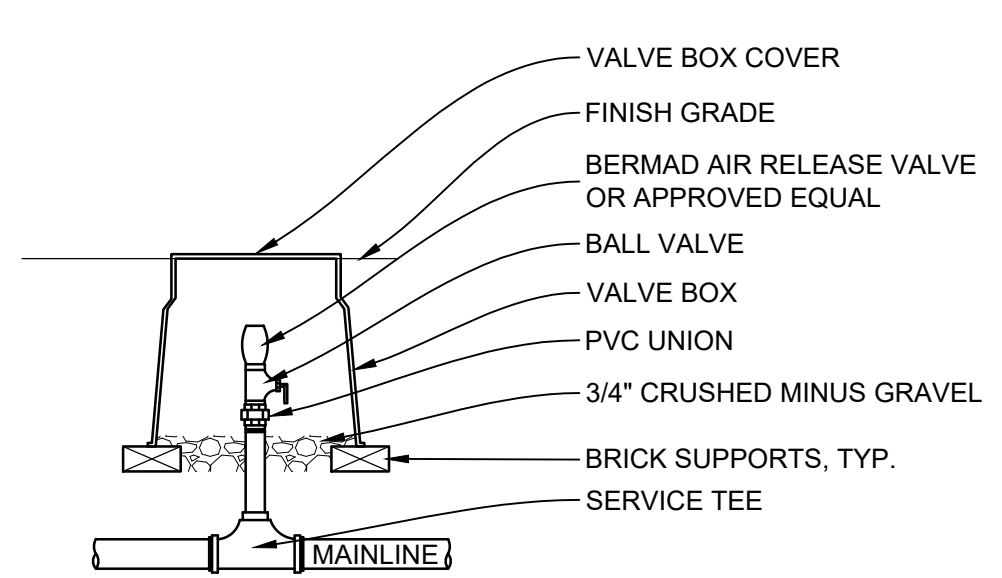
- NOTES:
1. TAPE & BUNDLE ALL WIRING AT 10'-0" INTERVALS.
 2. TIE A LOOSE 20" LOOP IN WIRING AT ALL CHANGES IN DIRECTION GREATER THAN 30 UNTIE ALL LOOPS AFTER MAKING CONNECTIONS.
 3. BURY MARKING TAPE 6" ABOVE ALL DIRECT BURIAL WIRING, LATERAL LINES, AND MAINLINE.
 4. ALL WIRING UNDER PAVEMENT SHALL BE THROUGH SLEEVES - SEE DETAIL.
 5. ALL SPLICES SHALL BE MADE IN VALVE BOXES AND LOCATED ON AS-BUILT PLANS.

2 IRRIGATION TRENCH
L300 NOT TO SCALE



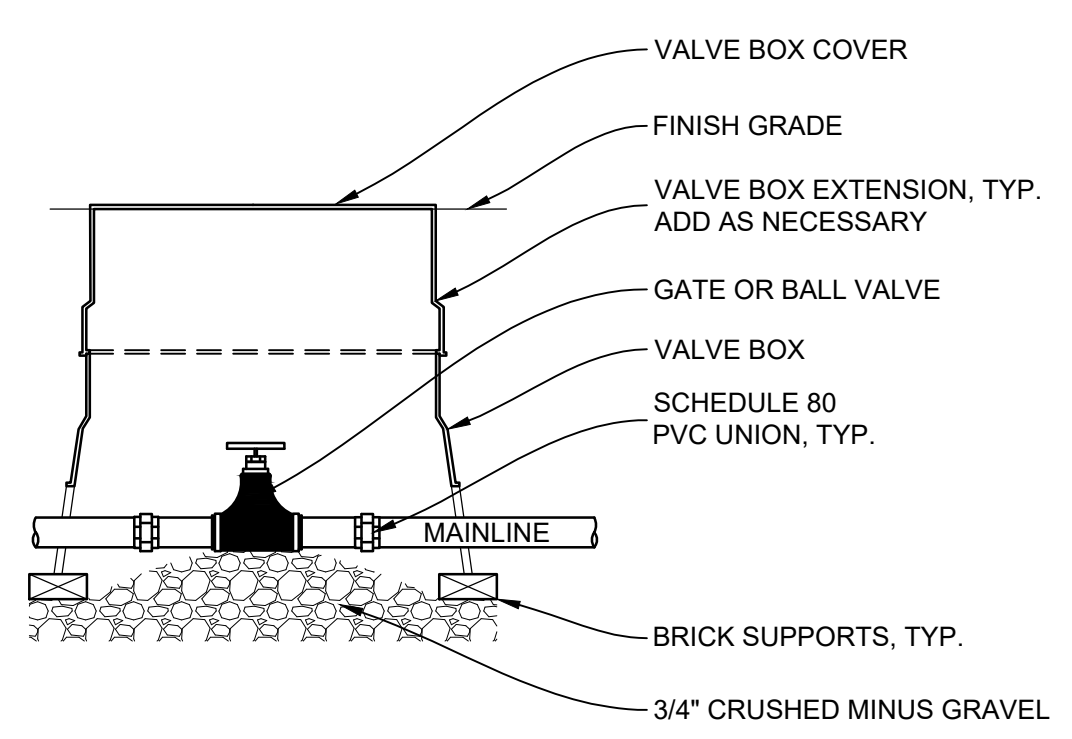
- NOTES:
1. ALL IRRIGATION SLEEVING SHALL BE (2) SIZES LARGER THAN PIPE OR COMBINATION OF PIPES THEREIN ENCLOSED, WITH MINIMUM SIZE TO BE 4" SCHEDULE 40 PVC.
 2. SUPPLY (1) EXTRA SLEEVE WITH EACH IRRIGATION SLEEVE FOR CONTROL WIRES. BORE UNDER EXISTING PAVING WHERE REQUIRED. BORE SEPARATELY FOR CONTROL WIRES.
 3. BURY MARKING TAPE ABOVE ALL SLEEVES 6" BELOW PAVEMENT.
 4. INSTALL 3" HT IRRIGATION "1" STAMP IN PAVEMENT WHERE SLEEVES ARE LOCATED UNDER NEW PAVEMENT.
 5. WHEN TRENCHING PROVIDE A 4" CLEARANCE AROUND SIDES OF SLEEVES. SLOPE SIDES OF TRENCH PER OSHA SPECIFICATION.

3 IRRIGATION SLEEVE
L300 NOT TO SCALE



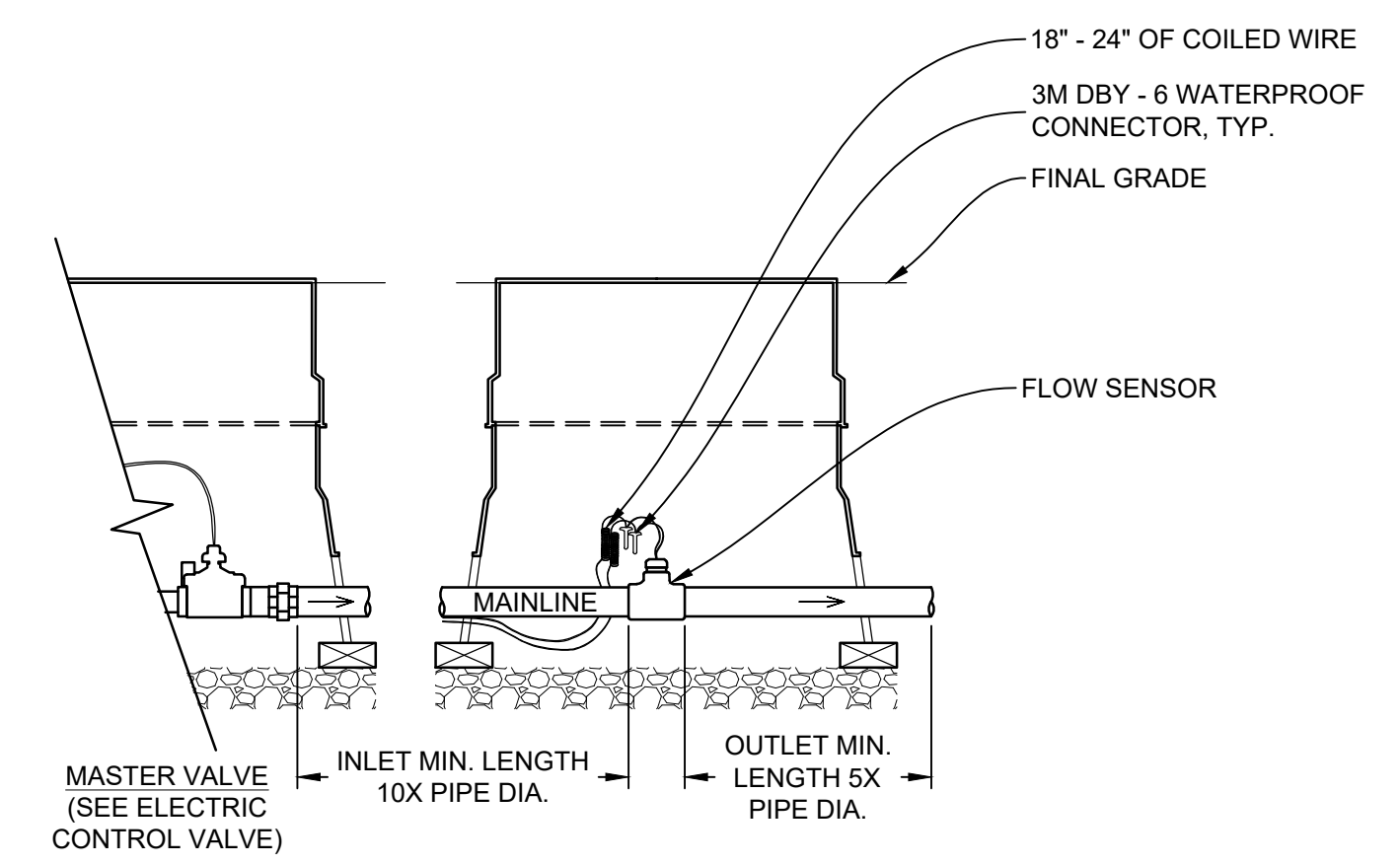
- NOTES:
1. INSTALL VALVE AT HIGHEST POINT ON MAINLINE.
 2. VALVE TO BE BRACED BY GRAVEL, PROVIDE REBAR STAKING AS REQUIRED.
 3. SIZE VALVE AND PIPING AS SPECIFIED.
 4. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

4 AIR RELIEF VALVE
L300 NOT TO SCALE



- NOTES:
1. VALVE TO BE SUPPORTED BY GRAVEL, PROVIDE BLOCK SHIM AS REQUIRED.
 2. SIZE VALVE AND PIPING AS SPECIFIED.
 3. WHEREVER POSSIBLE INSTALL VALVE BOXES IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

5 ISOLATION VALVE
L300 NOT TO SCALE



- NOTES:
1. INSTALL FLOW SENSOR ALONG MAINLINE AFTER MASTER VALVE AND ACCORDING TO MANUF. WRITTEN SPECIFICATIONS.
 2. SIZE FLOW SENSOR BASED UPON REQUIRED GPM NEEDED FOR PROJECT. SIZE VALVE AND PIPING AS SPECIFIED.
 3. INLET PIPE LENGTH OF SENSOR MUST BE MIN. 10X PIPE DIA. STRAIGHT, CLEAN RUN OF PIPE. NO FITTINGS OR TURNS.
 4. DIRECT BURIAL WIRE MIN. 18/4 WIRE TO INTERFACE PANEL. MIN. RUN OF 1,000 LF.
 5. WHEREVER POSSIBLE INSTALL VALVE BOXED IN PLANTING BEDS. SEE IRRIGATION PLAN FOR MORE INFORMATION.

6 MASTER VALVE AND FLOW SENSOR
L300 NOT TO SCALE

CERTIFICATION
I HEREBY CERTIFY THAT THE DESIGN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINTED NAME: DOUGLAS EOSTER
SIGNATURE: _____
DATE: _____ LICENSE NUMBER: 81558

NO.	DATE	REVISION
1	07/12/2024	CITY COMMENT RESPONSE

DRAFTED: PMB
REVIEWED: DEF
PROJECT NUMBER: 2314-00145.1
ISSUE DATE: 04/09/2024

LES SCHWAB TIRE CENTER
LES SCHWAB
BLAINE, MN
LANDSCAPE DETAILS

SHEET
L300

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 15

Applicant/Landowner:
National Sports Center
Attn: Neil Ladd
1700 105th Ave NE
Blaine, MN 55449

Project Name: Turf Field and Campus Improvements

Project PAN: P-24-004

Project Purpose: Conversion of natural turf fields to artificial turf and a 30-foot-wide roadway

Project Location: Numerous locations across National Sports Center Campus, 1700 105th Ave NE, Blaine

Site Size: size of parcel - 300 acres; size of disturbed area – 34.29 acres; size of regulated impervious surface - 0.67

Applicable District Rule(s): Rule 2, Rule 3, Rule 4, Rule 6

Recommendation: Approve with 2 Conditions and 4 Stipulations

Description: The National Sports Center is proposing several improvements to the campus including widening of an existing roadway, regrading of multiple soccer fields, roadway and sidewalk reconfiguring, and reconstruction of an existing pond. An interim grading permit was approved (3/11/24) and issued on March 13, 2024, which encompassed the proposed soccer field grading. This approval is for the remainder of the proposed work. The total disturbance is 34.29 acres. The project will create 0.67 acres of regulated impervious. The project area drains to County Ditch 41. The relevant water resource concerns are stormwater management, erosion and sediment control, and floodplain. These correlate to District Rules 3, 4, and 6. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$6,485.00 for increase in area of disturbance from previously approved application.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
3. Submittal of grading as-builts for the project to confirm adequate floodplain compensatory storage has been provided.
4. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
MIDS	Bolton & Menk		06/03/2024
Construction Plans	Bolton & Menk	06/03/2024	06/03/2024
HydroCAD Models (Existing&Proposed)	Bolton & Menk		07/17/2024
Project Narrative & Stormwater Management Plan	Bolton & Menk	07/17/2024	07/17/2024
Construction Plans	Bolton & Menk	05/31/2024	07/17/2024

Findings

Fees and Escrows (Rule 2.7): The applicant has submitted a \$4,800.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 300 acres (\$4,500.00), and addition to base fee (\$300.00). The applicant will be required to submit a performance escrow in the amount of \$6,485.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (8.97 acres of land disturbance proposed). The applicant has already paid escrow fees of \$14,660.00 for previously approved disturbance of 25.32 acres.

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG A.

Rate Control: Peak stormwater flow rate at each point of site discharge increases from the pre-development condition for the several precipitation events as shown in Table 1. The rate increase for the existing NSC pond discharge point results in a static bounce of less than 0.1 feet in the pond, which is entirely contained within the applicant's property. No surrounding structures would be impacted. The rate increase for the Super Rink pond was modeled in XPSWMMM and showed no adverse impacts and no increase in downstream high water levels. The project will not impact Drainage Sensitive Use areas. The rate control standard is considered met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
Super Rink Pond	0.87	0.07	1.39	1.53	2.53	2.64
CD 41	0.38	0.24	0.58	0.36	1.32	1.22

Existing NSC Pond	0	0.18	0.02	0.27	0.65	1.26
-------------------	---	------	------	------	------	------

Table 1.

Volume Control:

The application proposes redevelopment which does not disturb more than 50% of the site or reconstruct more than 50% of the existing impervious surface, therefore the volume reduction requirement is equal to 1.1 inches over the area of new and fully reconstructed impervious surface. The amount of proposed impervious required to be treated is 29,338 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
Access Rd Basin 1 (1S)	11,984	Infiltration basin 1	1	1,098	2,618
Access Rd Basin 2 (2S)	6,357	Infiltration Basin 2	1	582	1,623
Access Rd - Existing NSC Pond	2,253	NSC Pond	0.5	413	413
NSC Entrance Basin 3 (5S)	4,342	Biofiltration Basin 3	0.65	612	1,483
NSC Entrance-Super Rink Pnd	4,402	Super Rink Pond	0.5	807	807
Totals:	29,338			3,514	6,944

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
Biofiltration Basin 3	Vegetated Filter Strip	80
Infiltration Basin 2	Vegetated Filter Strip	80
Infiltration Basin 1	Vegetated Filter Strip	80

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

The volume control standard has been met as shown in Table 2.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
Super Rink Pond	93
CD 41	100
Existing NSC Pond	100

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is not considered new development with buildings and habitable structures; therefore, this section does not apply.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to Ditch 41. The soils affected by the project include Rifle and Lino and have a soil erodibility factor of 0.15 or greater. Disturbed areas are proposed to be stabilized within 24 hours, as required. The proposed erosion and sediment control plan includes perimeter control, rock construction entrance, inlet protection. The erosion control plan meets District Requirements. See attached Figure 3: Erosion and Sediment Control Plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

Rule 6.0 applies to the proposed project because it includes land disturbing activities within or adjacent to the boundary of the 100-year flood elevation as mapped and modeled by the District.

The regulatory floodplain elevation ranges from 895.5 to 898.4 ft MSL. The application proposes the placement of fill within the floodplain. Compensatory storage is required. The proposed project is providing compensatory storage that exceeds the required 1:1 ratio and is within the relevant reach.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

P24-004



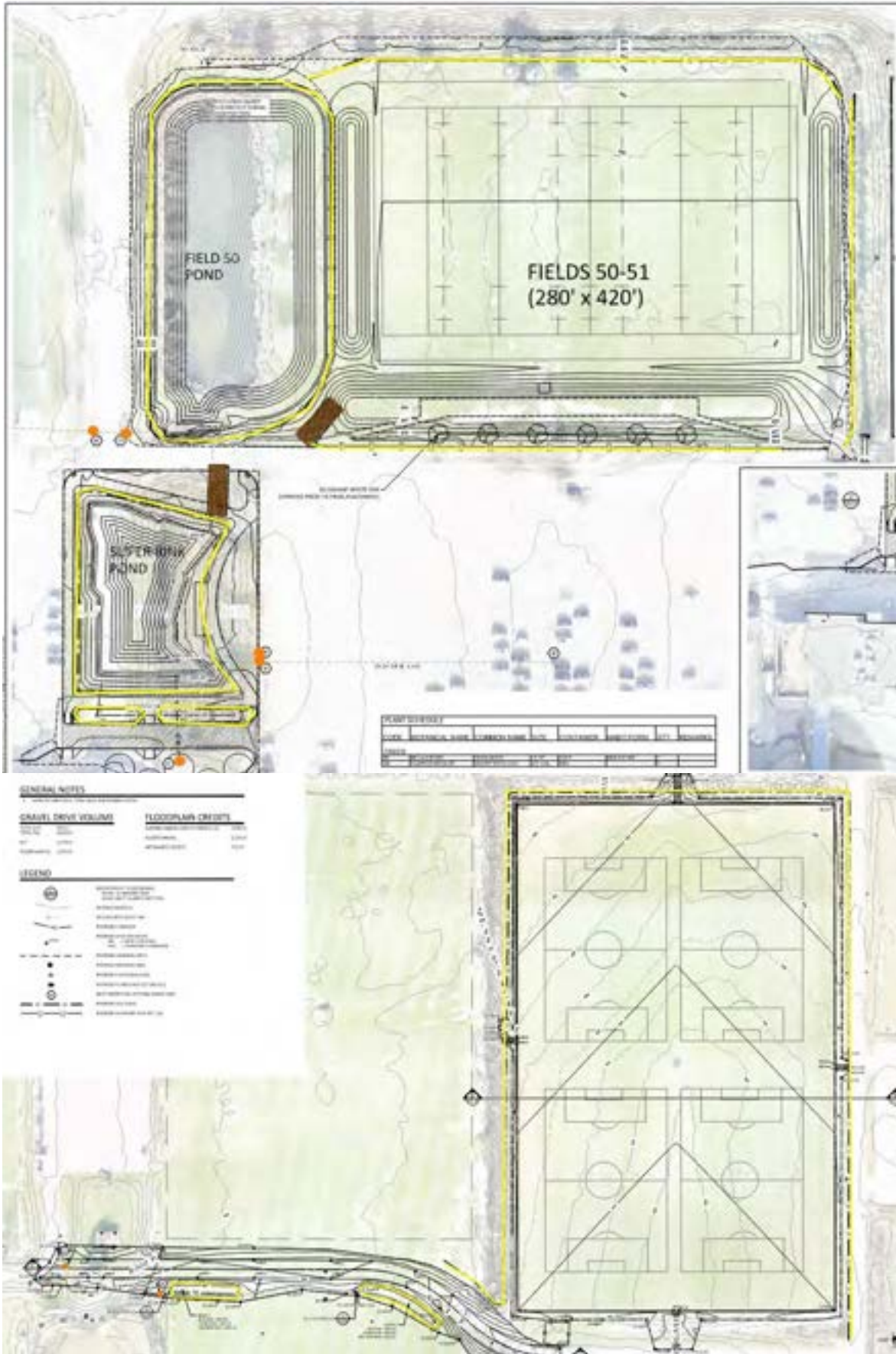
7/30/2024

The proposed project is not requesting a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

Figure 1: Project Location



Figure 2: Site Plan



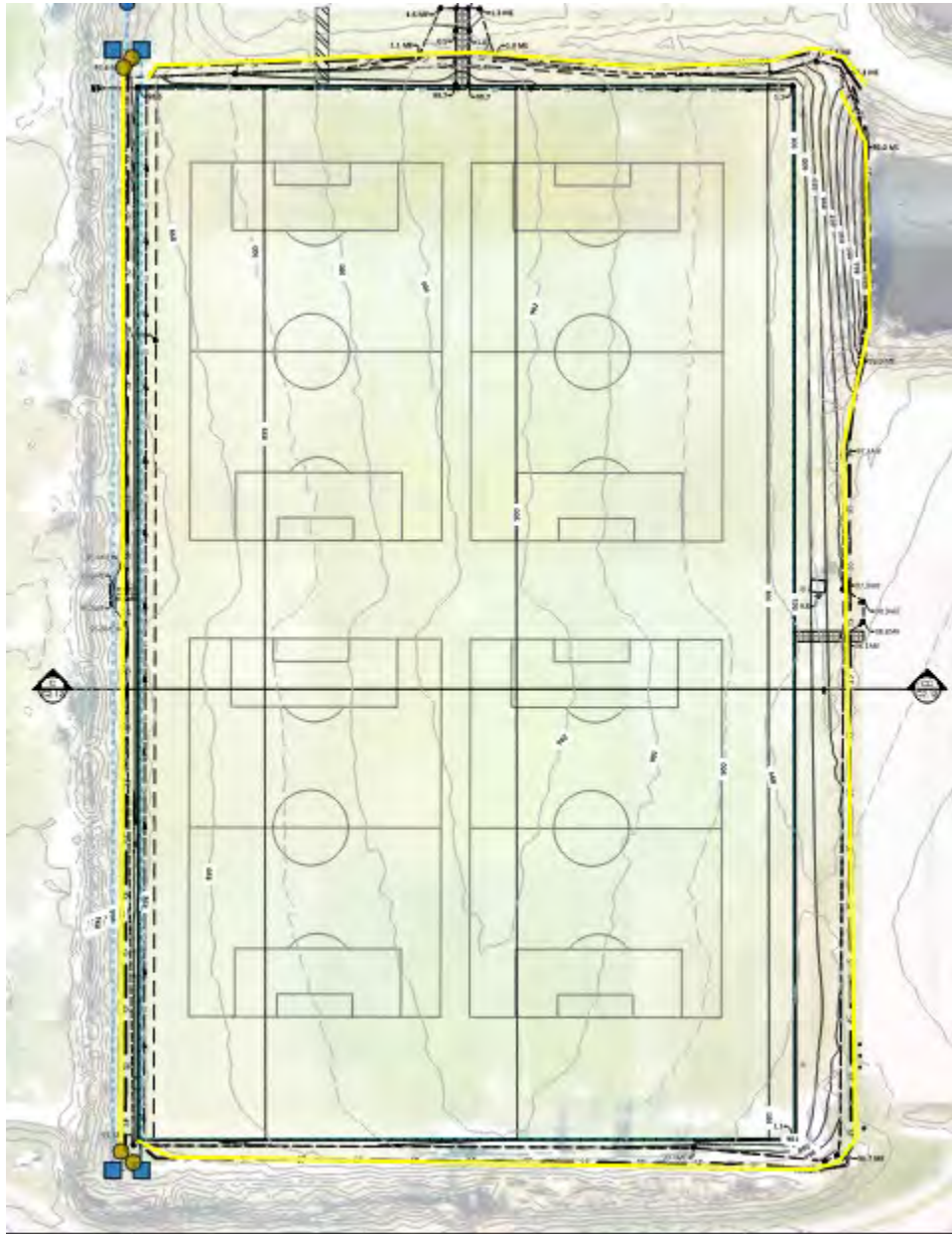
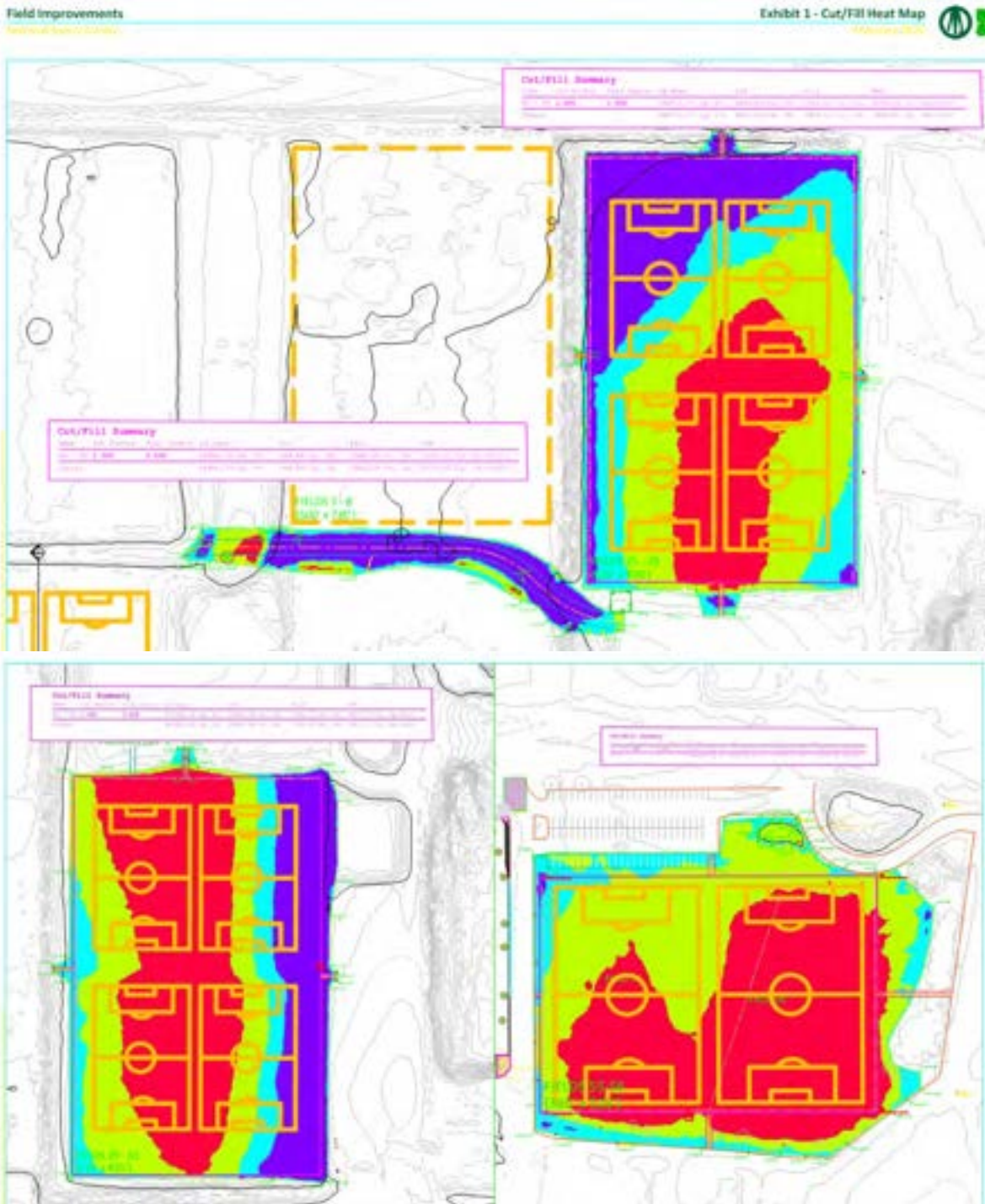




Figure 3: Erosion and Sediment Control Plan



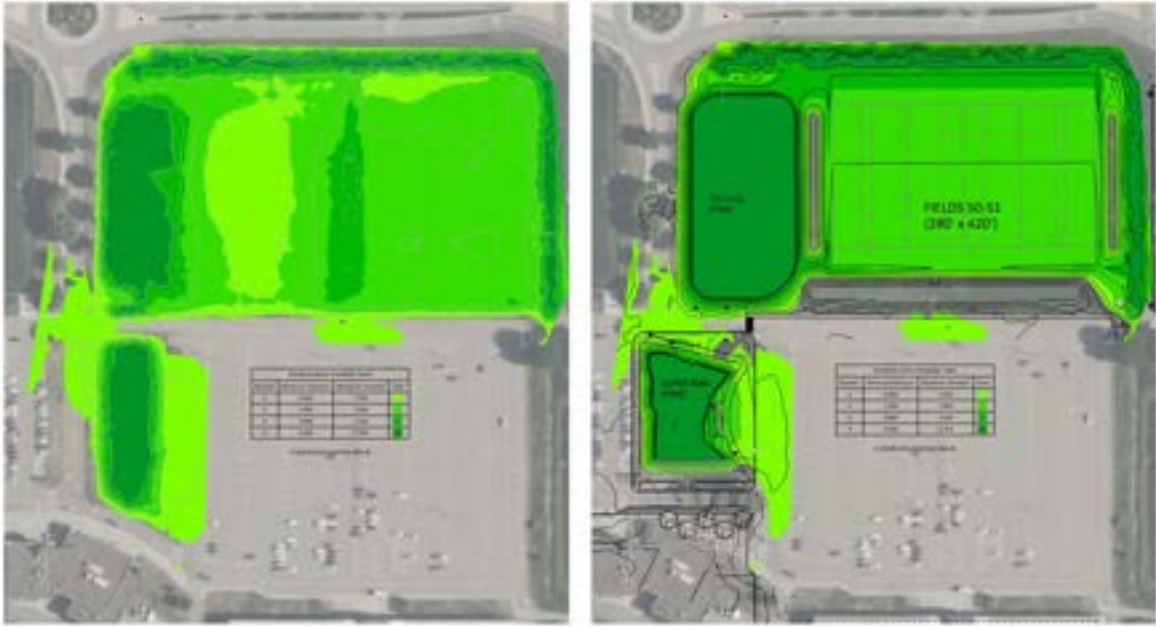


Figure 4: Floodplain Impact

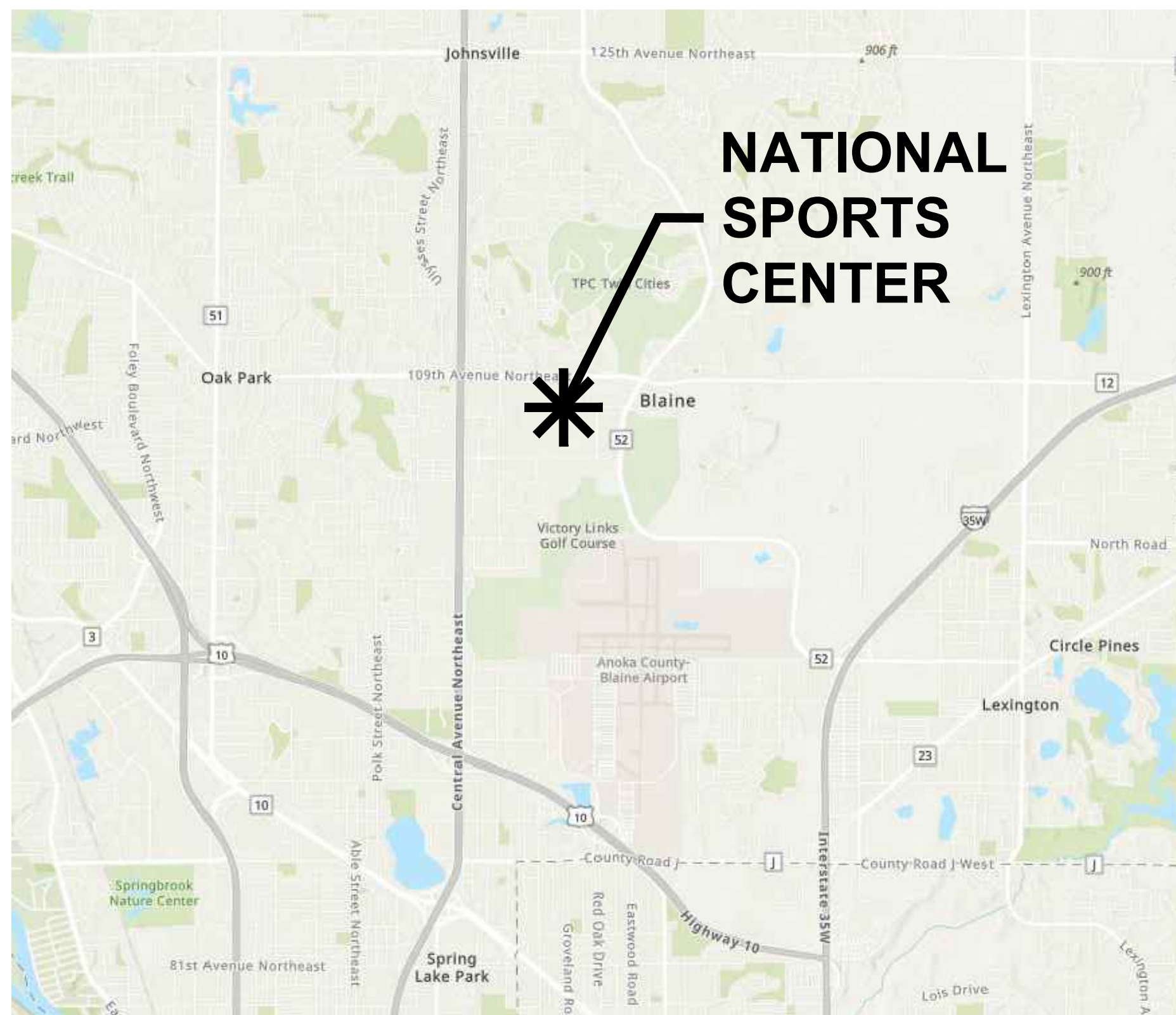
NATIONAL SPORTS CENTER

MASC - COB FIELDS

BLAINE, MN
1700 105TH AVE, BLAINE, MN, 55449



VICINITY MAP



GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
- OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY AND WATERSHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
- INSPECT SITE TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
- REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, SHEET C3.12, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
- MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS SHOWN TYPICALLY AS 99.1 OR 99 SHALL BE UNDERSTOOD TO MEAN 899.1 OR 899.
- SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- NO FINISHED SLOPES SHALL EXCEED 3' HORIZONTAL TO 1' VERTICAL (3:1), UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE TURF, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED. REFER TO FINISHING PLANS FOR SEED LOCATIONS. ALL AREAS NOT DESIGNATED FOR SOD OR A SPECIFIC SEED MIX, WHICH ARE DISTURBED BY CONSTRUCTION, SHALL BE SEEDED WITH SEED MIX #1.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.
- ALL DISTURBED AREAS INCLUDING SOIL STOCKPILE SHALL BE STABILIZED WITH VEGETATION WITHIN SEVEN (7) DAYS OF ROUGH GRADING OR 24 HOURS OF INACTIVITY.

DRAWING INDEX

NATIONAL SPORTS CENTER	
C0.01	TITLE SHEET
C0.02	SITE REFERENCE PLAN
FIELDS 25 - 28 AND GRAVEL DRIVE	
C1.11	EXISTING CONDITIONS AND REMOVALS PLAN
C1.12	SITE LAYOUT AND FINISHING PLAN
C1.13	GRADING AND EROSION CONTROL PLAN
C1.14	DRAIN TILE AND STORM SEWER PLAN
FIELDS 29 - 32	
C1.21	EXISTING CONDITIONS AND REMOVALS PLAN
C1.22	SITE LAYOUT AND FINISHING PLAN
C1.23	GRADING AND EROSION CONTROL PLAN
C1.24	DRAIN TILE AND STORM SEWER PLAN
FIELDS 55 & 56	
C1.31	EXISTING CONDITIONS AND REMOVALS PLAN
C1.32	SITE LAYOUT AND FINISHING PLAN
C1.33	GRADING AND EROSION CONTROL PLAN
C1.34	DRAIN TILE AND STORM SEWER PLAN
SITE DETAILS	
C2.11	SITE DETAILS
C2.12	SITE DETAILS
STORMWATER POLLUTION PREVENTION PLAN	
C3.11	SWPPP - PROJECT DESCRIPTION
C3.12	SWPPP - SOILS MAP
C3.13	SWPPP - NARRATIVE

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\DC_P\01131223\CAD\312235_CO_1_TITLESET.dwg 05/20/24 3:45:59 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

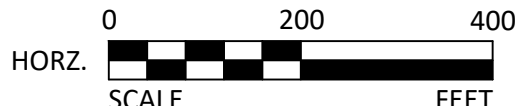
NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
TITLE SHEET

SHEET
C0.01



NOTES:

1. REFER TO SHEET C0.01 - TITLE SHEET, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
4. ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE SYNTHETIC TURF SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
5. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. A:\DIMKE\DC_P\01131223\CAD\C0.02\TITLESET.dwg 05/03/2024 3:46:06 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24






7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 MASC - COB FIELDS
 SITE REFERENCE PLAN

SHEET
C0.02












LEGEND

-  TREE REMOVALS
-  REMOVALS KEY NOTE
-  PROTECTION KEY NOTE
- XXXXXXXXXXXXXXXXXXXXXXXXXXXX· SAWCUT

NOTES

1. REFER TO SHEET C1.0, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

-  REMOVE TREE, INCLUDING STUMP
-  REMOVE AND SALVAGE IRRIGATION
-  SAWCUT
-  PROTECT TREE & LANDSCAPING
-  PROTECT EXISTING PAVEMENT
-  PROTECT STORM SEWER STRUCTURE
-  PROTECT STRUCTURE (MOVE IF NECESSARY)
-  PROTECT SIGN
-  PROTECT IRRIGATION CONTROLS ON POST
-  PROTECT FENCE
-  PROTECT EXISTING CULVERTS



© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CAD\01132235_C1_1_FLD25-28.dwg 6/3/2024 3:46:42 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 FIELDS 25-28 AND GRAVEL DRIVE
 EXISTING CONDITIONS AND REMOVALS PLAN

SHEET

C1.11

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

NOTES:

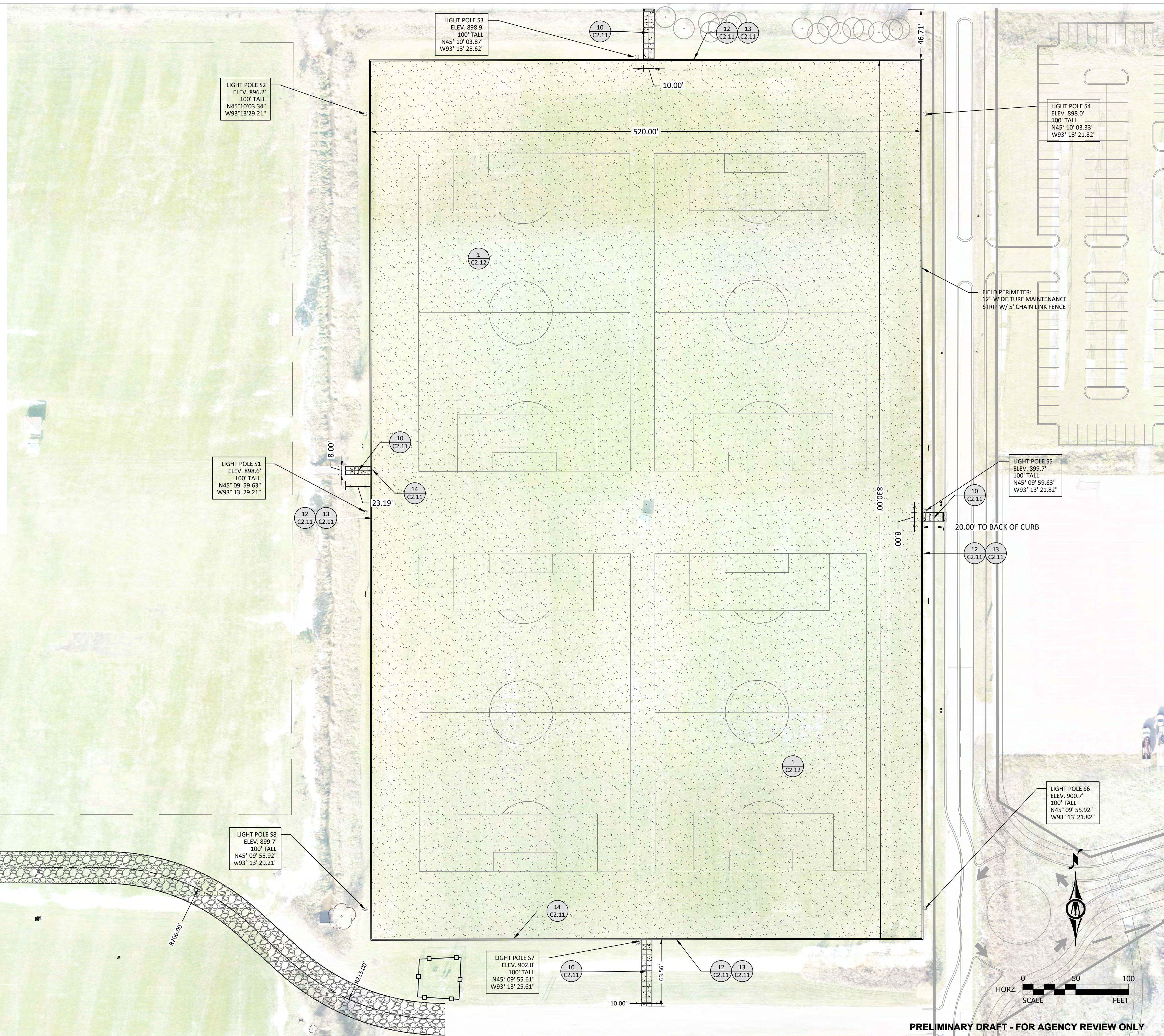
- REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDDED.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- SYNTHETIC TURF FIELD
- PROPOSED GRAVEL SURFACE
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- PROPOSED CHAIN LINK FENCING
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\DC_P\01131223\CAD\C1.12\0225-28.dwg 6/3/2024 3:46:51 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 25-28 AND GRAVEL DRIVE
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.12

GENERAL NOTES

- 1. REFER TO SHEET CO.01, TITLE SHEET, FOR GENERAL NOTES.

GRAVEL DRIVE VOLUME

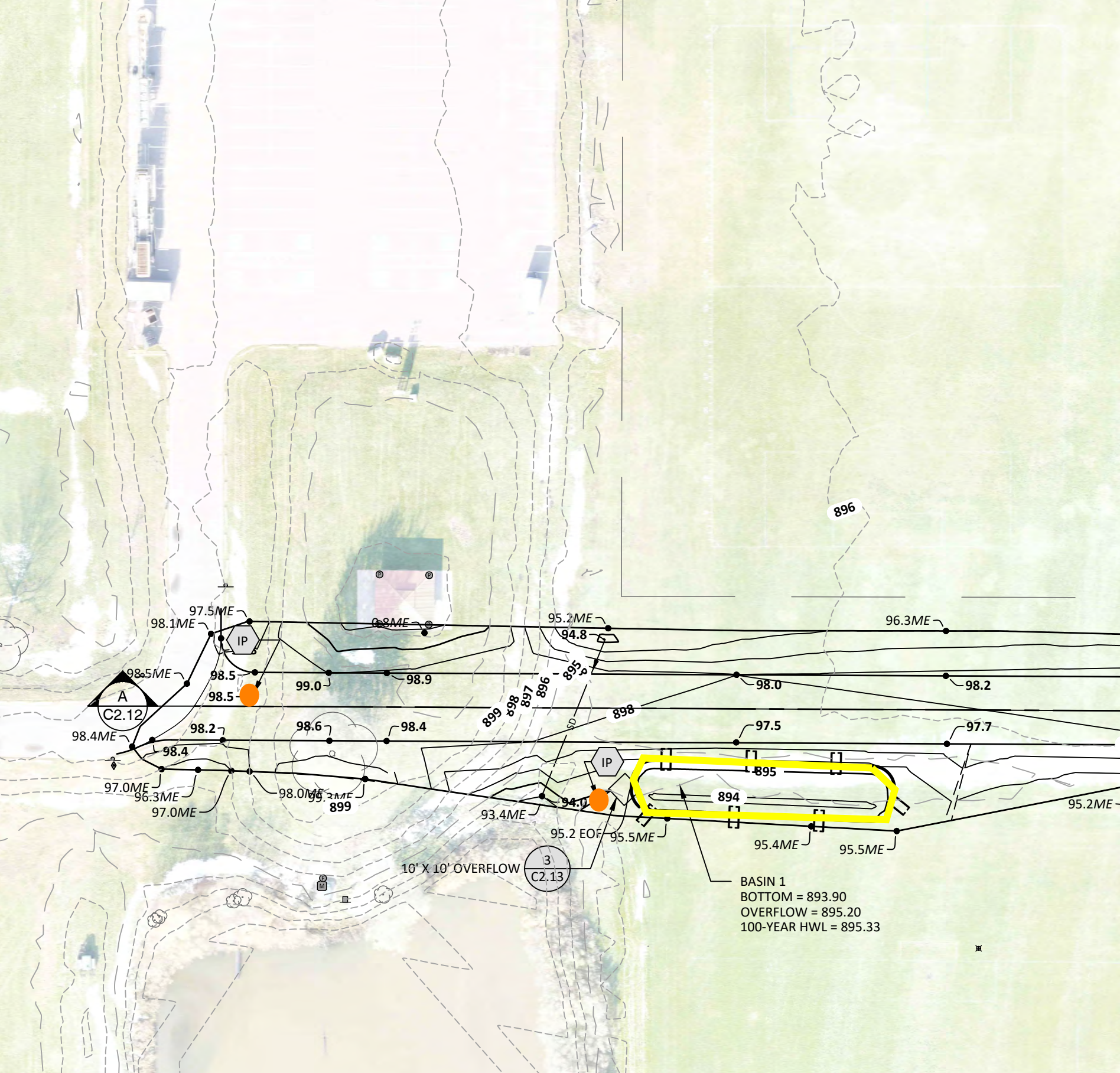
TOTAL CUT: 359 CY
TOTAL FILL: 2,838 CY
NET: 2,479 CY
FLOODPLAIN FILL: 2,279 CY

FLOODPLAIN CREDITS

EXISTING BANKED CREDITS (FIELDS 9-12): 2,550 CY
FLOODPLAIN FILL: 2,279 CY
NET BANKED CREDITS: 271 CY

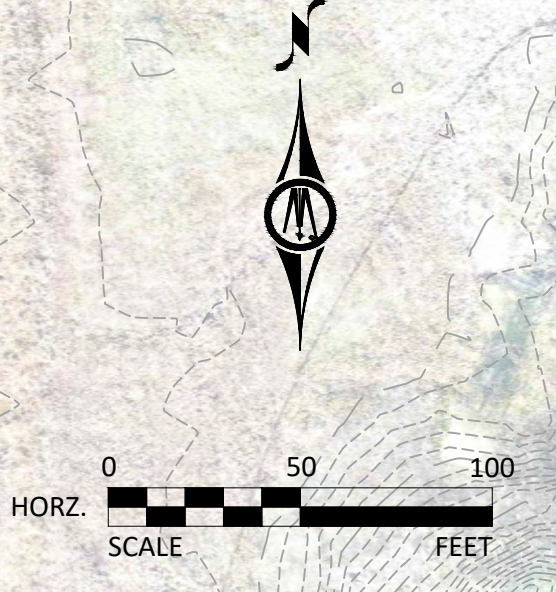
LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- INLET PROTECTION AT STORM SEWER INLET
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG



BASIN 1
BOTTOM = 893.90
OVERFLOW = 895.20
100-YEAR HWL = 895.33

BASIN 2
BOTTOM = 894.50
OVERFLOW = 895.50
100-YEAR HWL = 895.63



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved
P:\DIMKE\CD\01132235_C1.1_FLD25-28.dwg 6/3/2024 3:47:01 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POM...
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 25-28 AND GRAVEL DRIVE
GRADING AND EROSION CONTROL PLAN

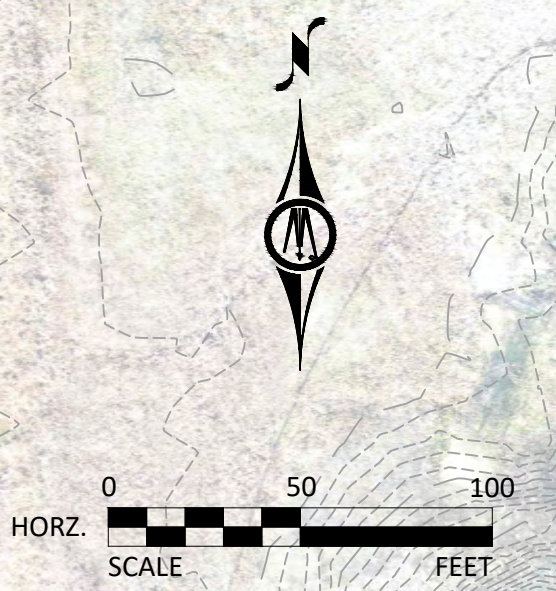
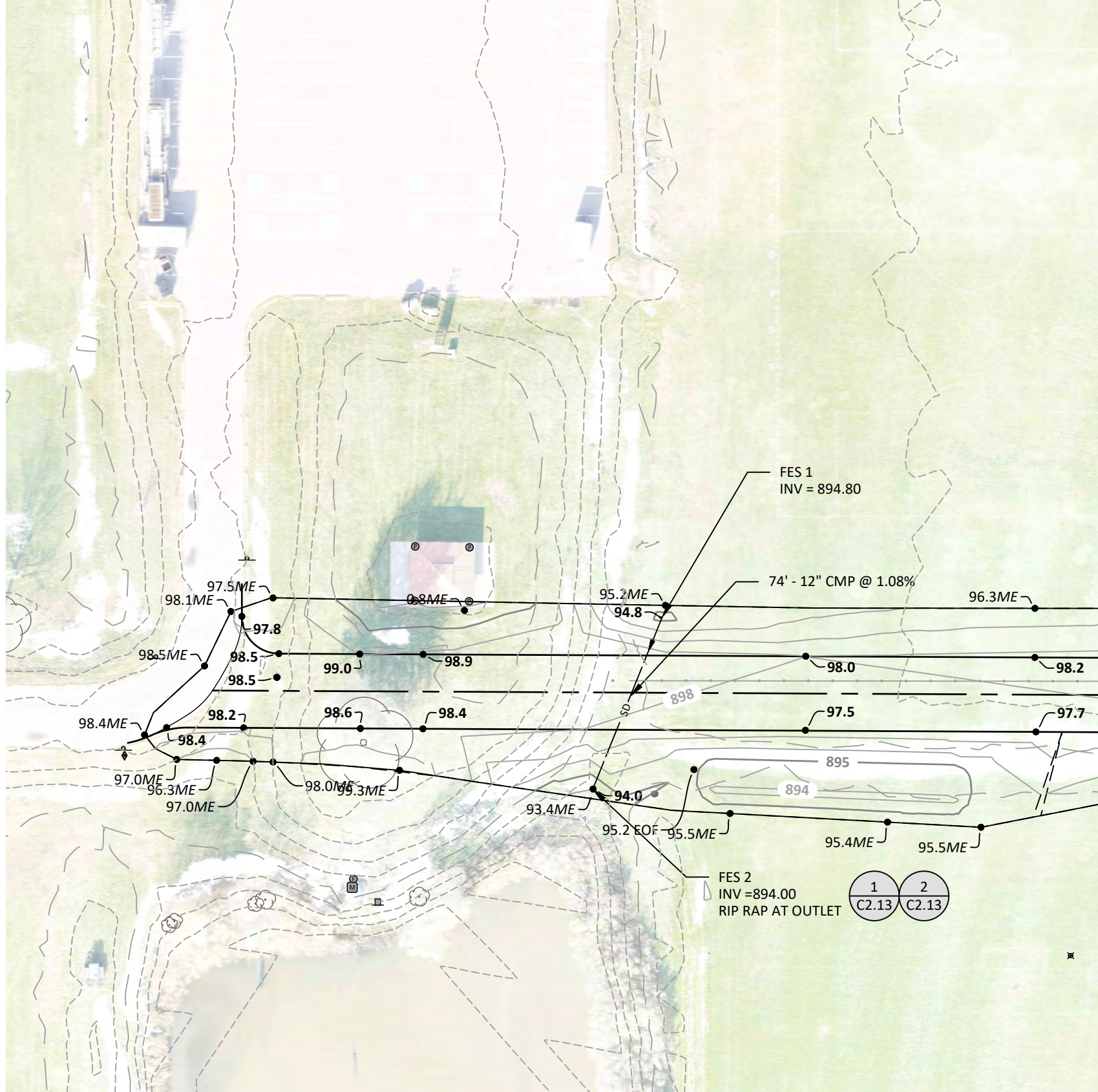
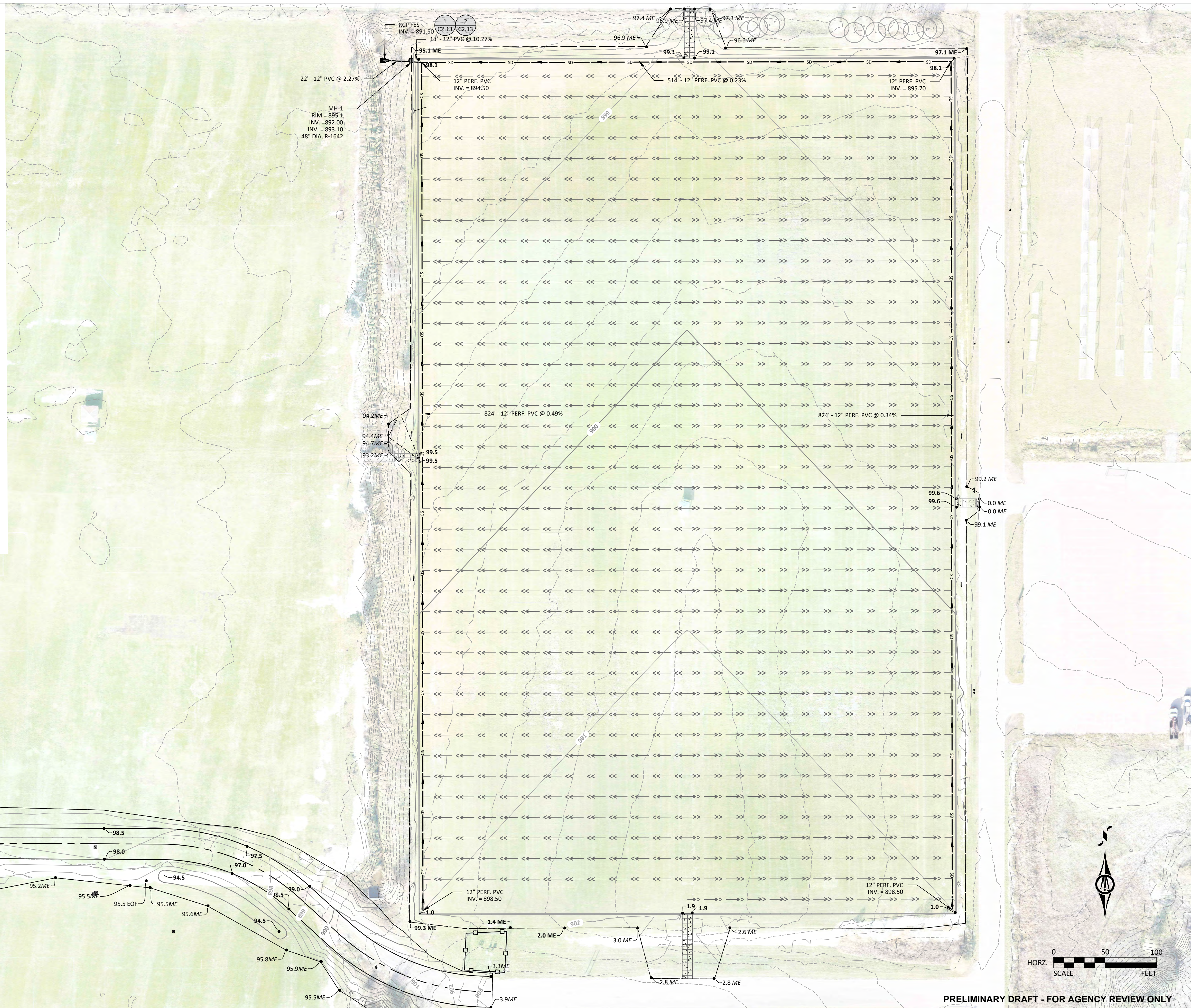
SHEET
C1.13

NOTES

- REFER TO SHEET CO.01, TITLE SHEET, FOR GENERAL NOTES.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1_1_FLD25-28.dwg 6/29/2024 3:47:13 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POM
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 25-28 AND GRAVEL DRIVE
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.14



LEGEND

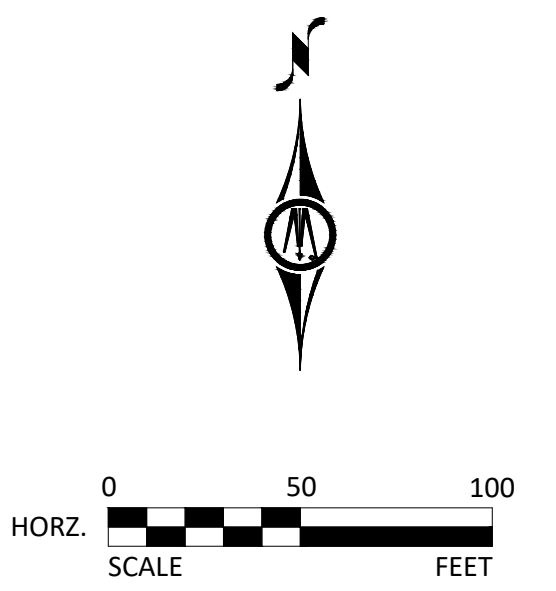
- TREE REMOVALS
- REMOVALS KEY NOTE
- PROTECTION KEY NOTE

NOTES

1. REFER TO SHEET C1.0, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

- REMOVE TREE, INCLUDING STUMP
- REMOVE AND SALVAGE IRRIGATION
- PROTECT TREE & LANDSCAPING
- PROTECT EXISTING PAVEMENT
- PROTECT STORM SEWER STRUCTURE
- PROTECT STRUCTURE (MOVE IF NECESSARY)
- PROTECT SIGN
- PROTECT IRRIGATION CONTROLS ON POST



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1.2_110229-32.dwg 6/3/2024 3:47:48 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24

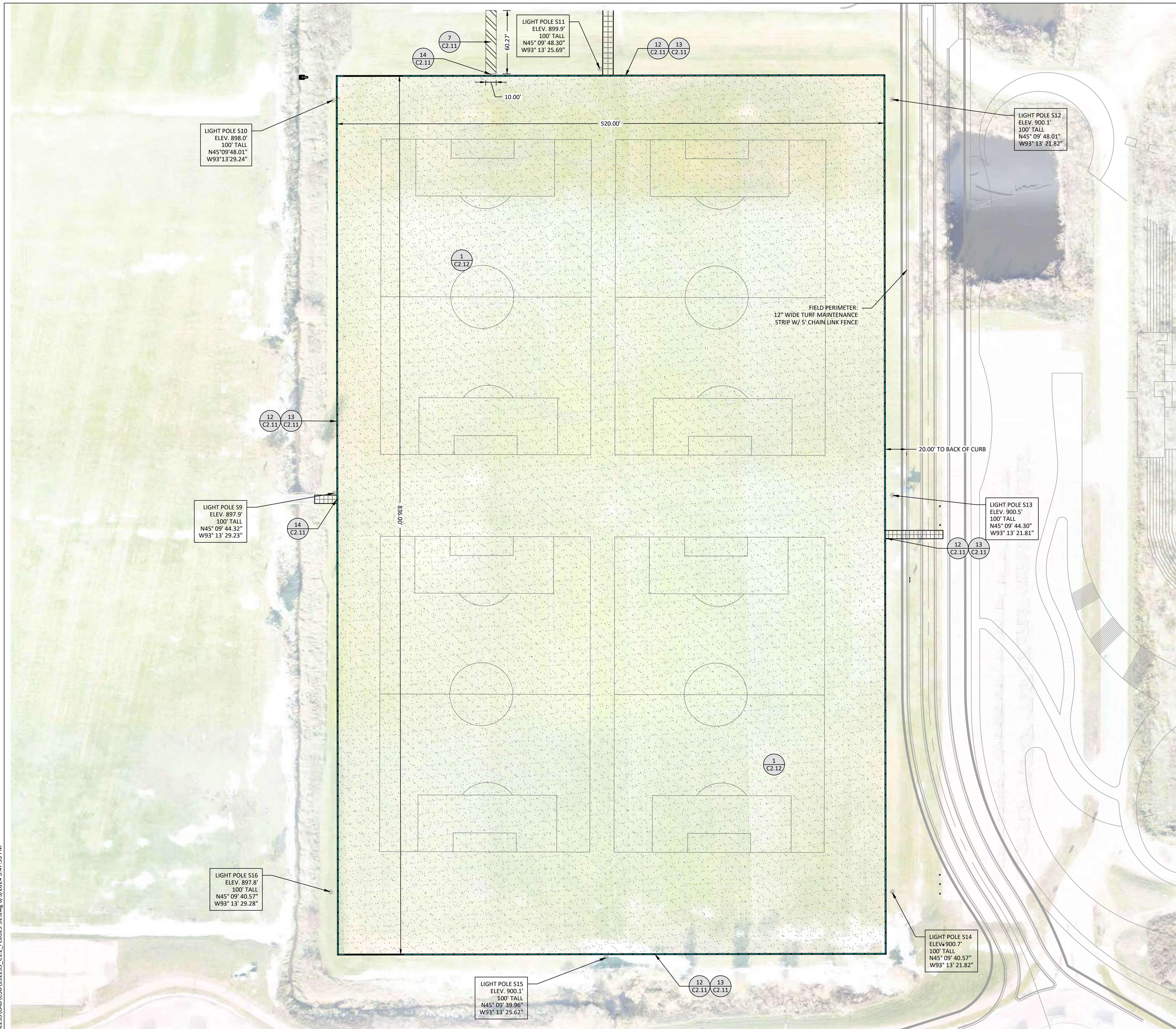


7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 FIELDS 29-32
 EXISTING CONDITIONS AND REMOVALS PLAN

SHEET
C1.21



NOTES:

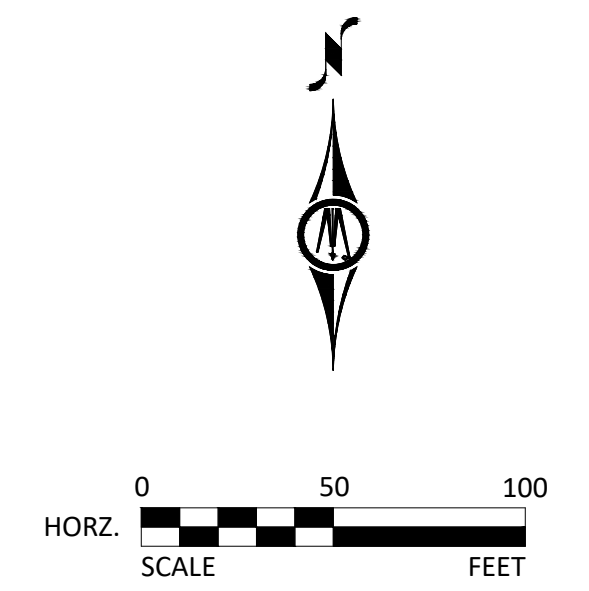
1. REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
4. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- MEDIUM DUTY PAVEMENT
- SYNTHETIC TURF FIELD
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\132235_C1.2_FLD29-32.dwg 6/3/2024 3:47:55 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

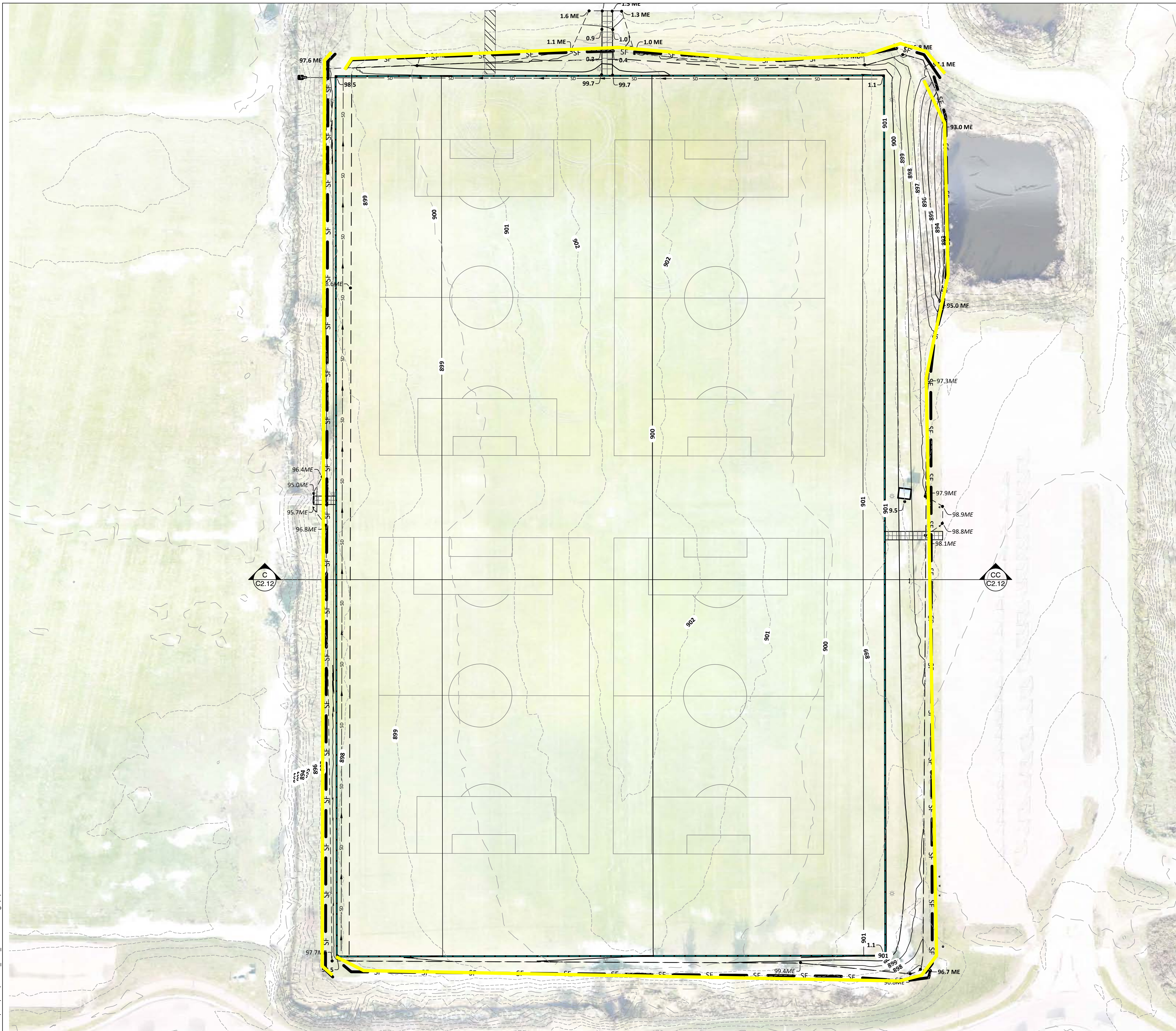
NATIONAL SPORTS CENTER, MINNESOTA

FIELDS 29-32

SITE LAYOUT AND FINISHING PLAN

SHEET

C1.22

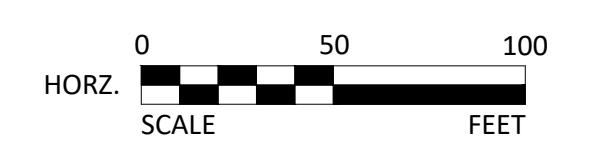
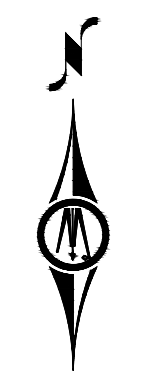


GENERAL NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- 955 EXISTING CONTOUR
- + 56.4 EXISTING SPOT ELEVATION
- 955 PROPOSED CONTOUR
- 54.6 PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERTFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- SF PROPOSED SILT FENCE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1.2_FLD29-32.dwg 6/3/2024 3:48:04 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POM
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA

FIELDS 29-32

GRADING AND EROSION CONTROL PLAN

SHEET

C1.23

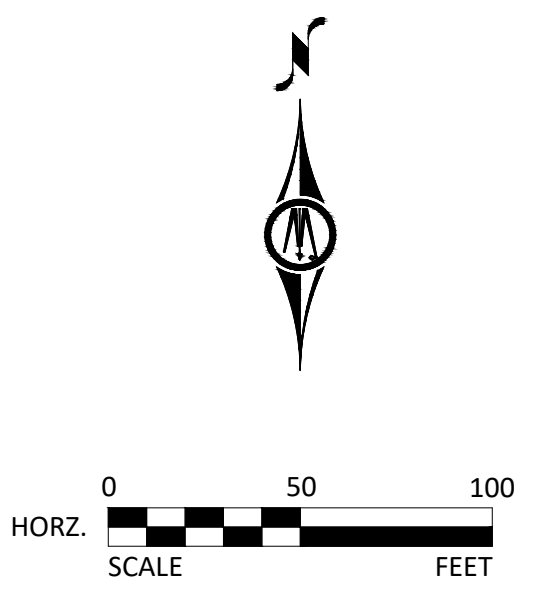


NOTES

- REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION**
 - ME = MATCH EXISTING
 - EOF = EMERGENCY OVERFLOW
 - TC = TOP OF CURB
 - TW = FINISH GRADE AT HIGH SIDE OF WALL
 - BW = FINISH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\132235_C1_2_FLD29-32.dwg 6/3/2024 3:48:12 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 29-32
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.24



LEGEND

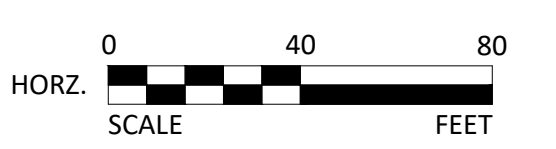
- TREE REMOVALS
- REMOVALS KEY NOTE
- PROTECTION KEY NOTE
- XXXXXXXXXXXXXXXXXXXXXXXXXX· SAWCUT

NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

- REMOVE TREE, INCLUDING STUMP
- REMOVE AND SALVAGE IRRIGATION
- PROTECT TREE & LANDSCAPING
- PROTECT EXISTING PAVEMENT
- PROTECT STORM SEWER STRUCTURE
- PROTECT STRUCTURE (MOVE IF NECESSARY)
- PROTECT SIGN
- PROTECT IRRIGATION CONTROLS ON POST



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\PROJ131223\CAD\C1.31\0555-56.dwg 6/3/2024 3:48:45 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

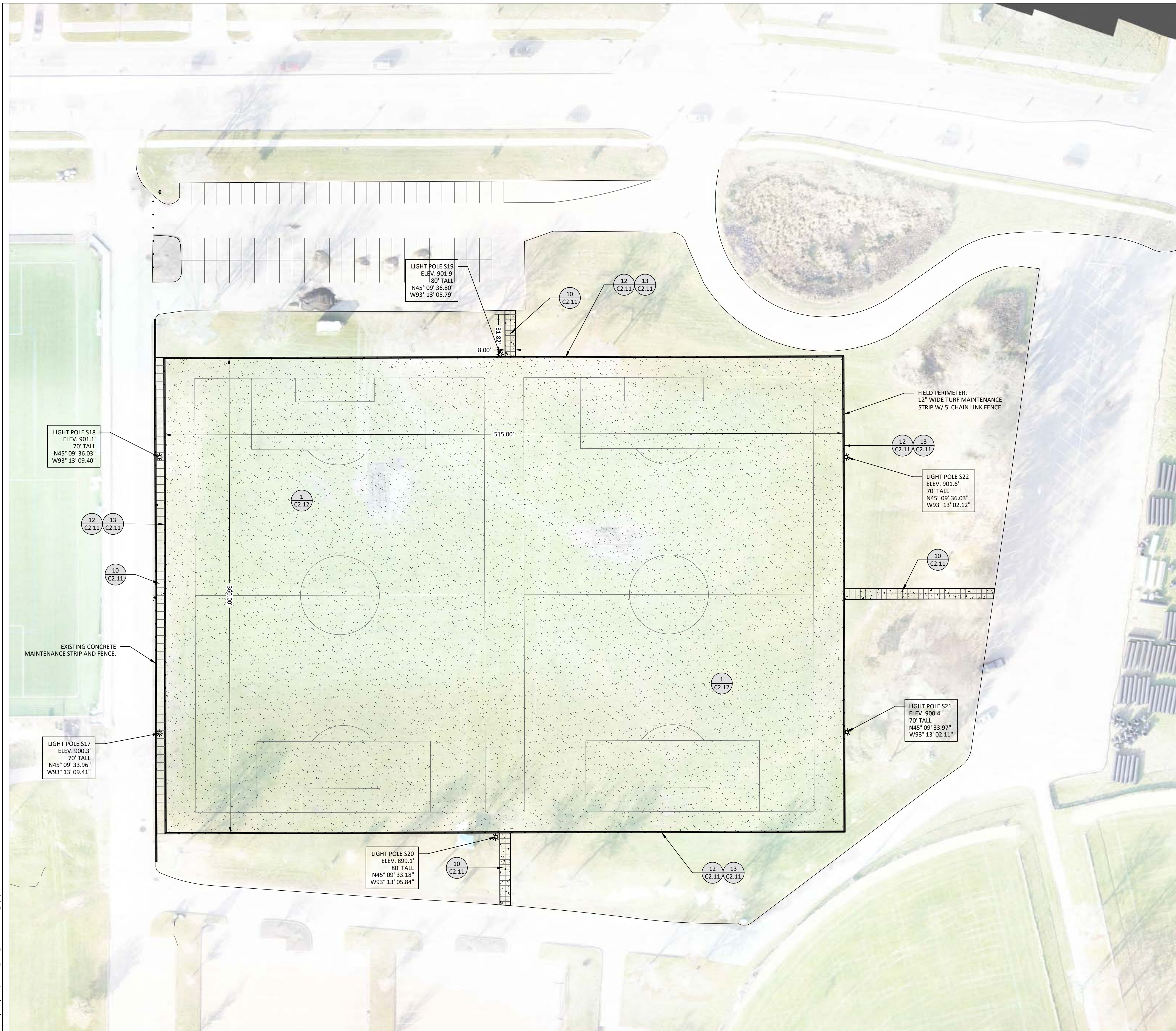
NATIONAL SPORTS CENTER, MINNESOTA

FIELDS 55 & 56

EXISTING CONDITION AND REMOVALS PLAN

SHEET

C1.31



NOTES:

- REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- SYNTHETIC TURF FIELD
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1.3_FLDSS5-56.dwg 6/3/2024 3:48:52 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANZ
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.32

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



GENERAL NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED SILT FENCE (SF)
- PROPOSED SEDIMENT CONTROL LOG

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\131223\CAD\C1.3_110555-56.dwg 6/3/2024 3:48:02 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
GRADING AND EROSION CONTROL PLAN

SHEET
C1.33

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
3. ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
4. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - b. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - i. FERCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - ii. PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - iii. OR APPROVED EQUAL.
5. INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
6. LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
7. STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\PROJECTS\2323\CAD\C2.13_110555-56.dwg 6/3/2024 3:48:10 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POMERANCE
LIC. NO. 23543 DATE 06/03/24

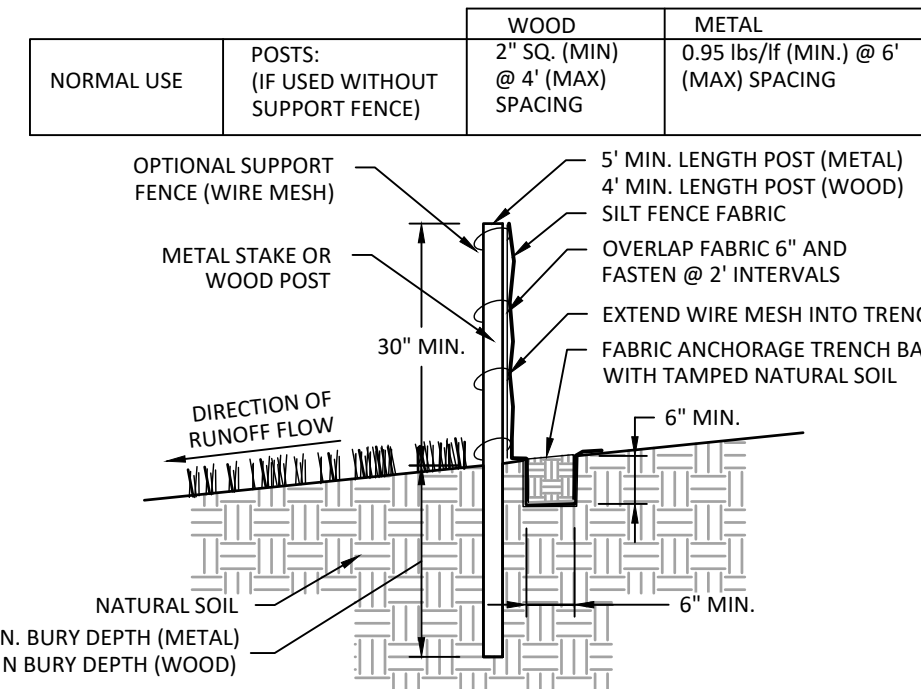


7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

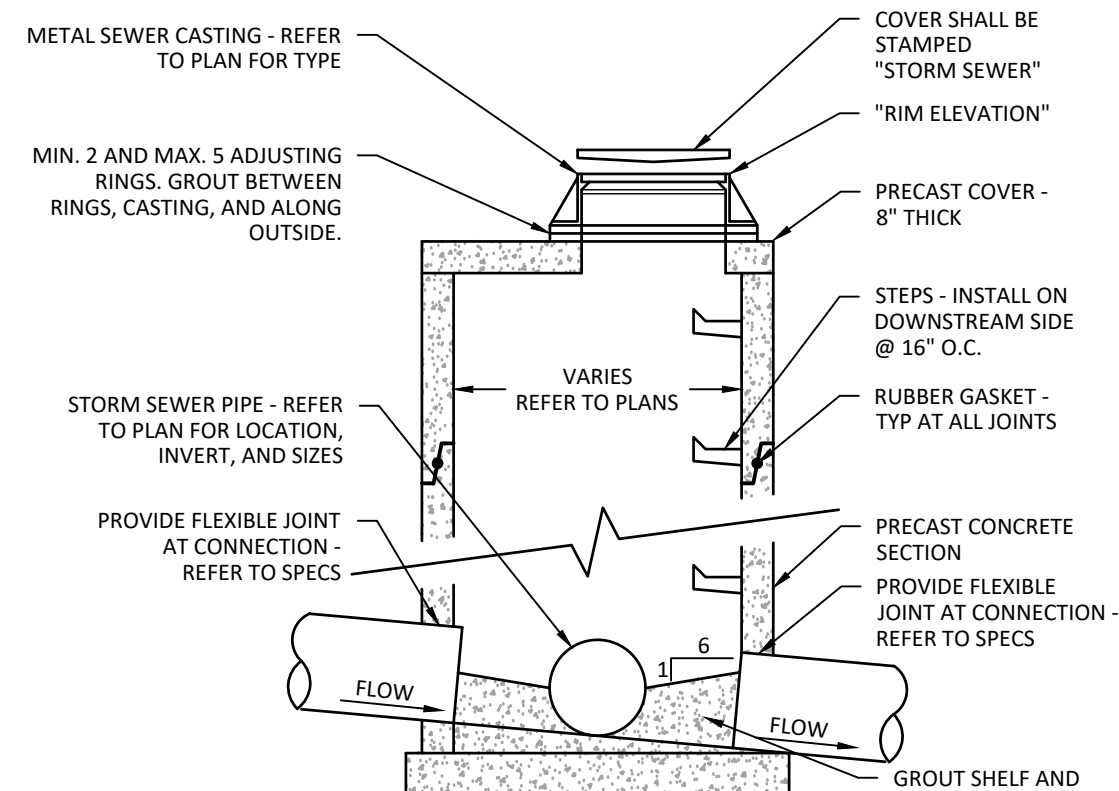
NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.34



1
C2.11 **SILT FENCE**

NOT TO SCALE

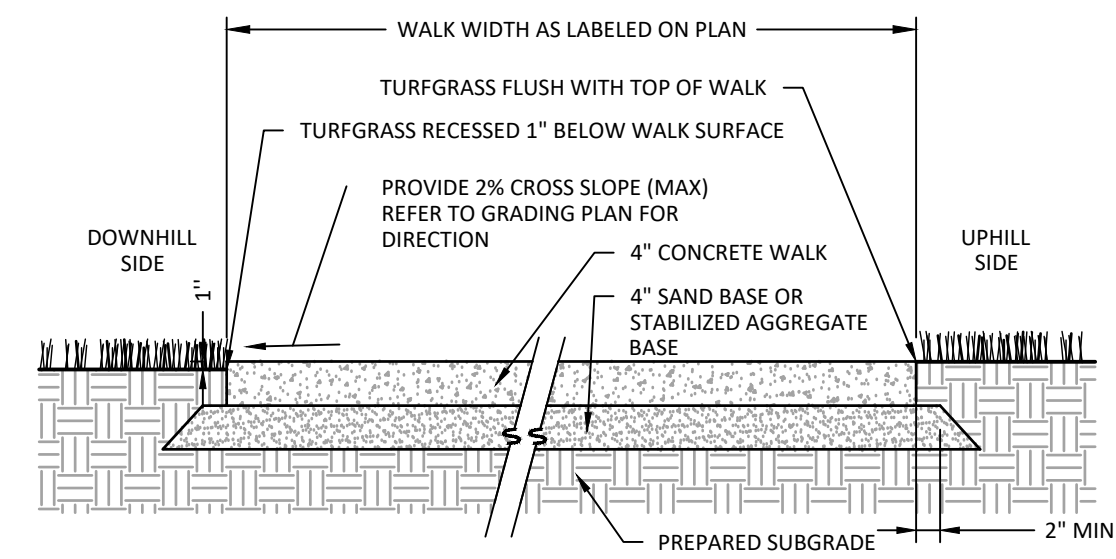


4
C2.11 **STORM SEWER MANHOLE**

NOT TO SCALE

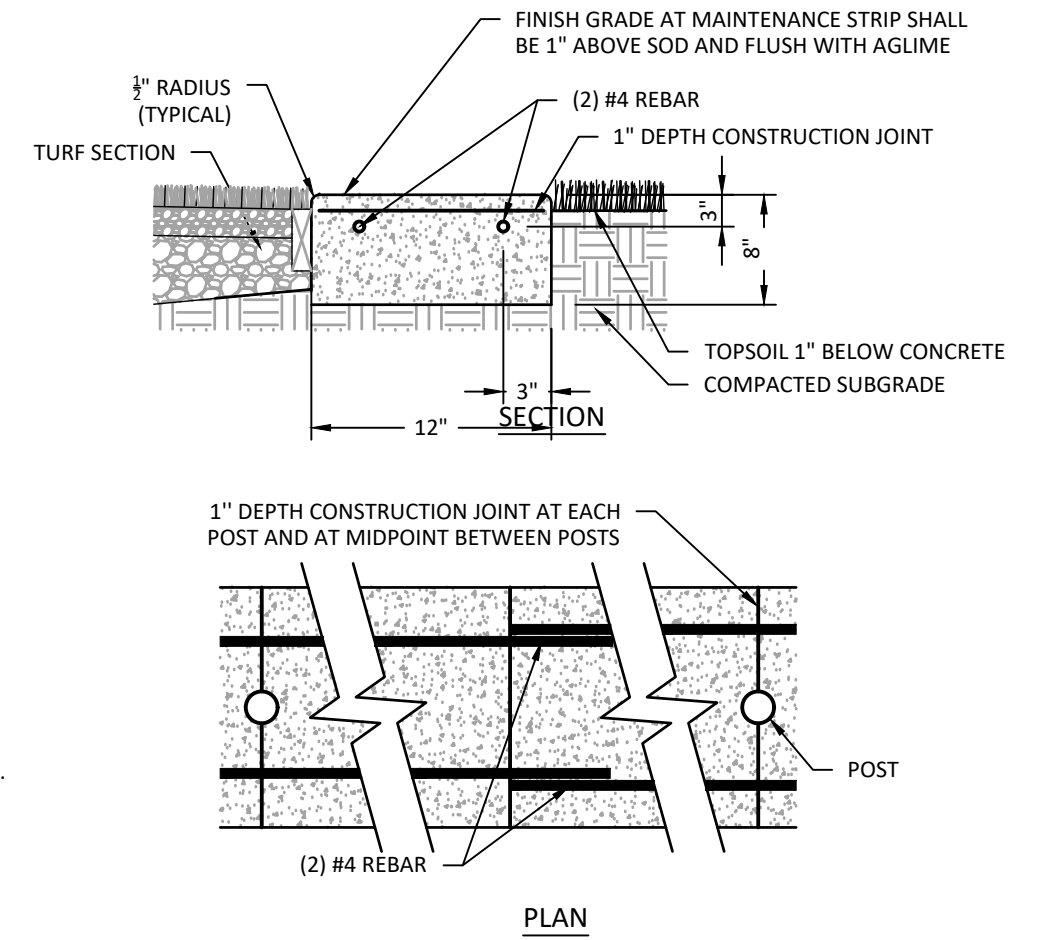
7
C2.11 **NOT USED**

NOT TO SCALE



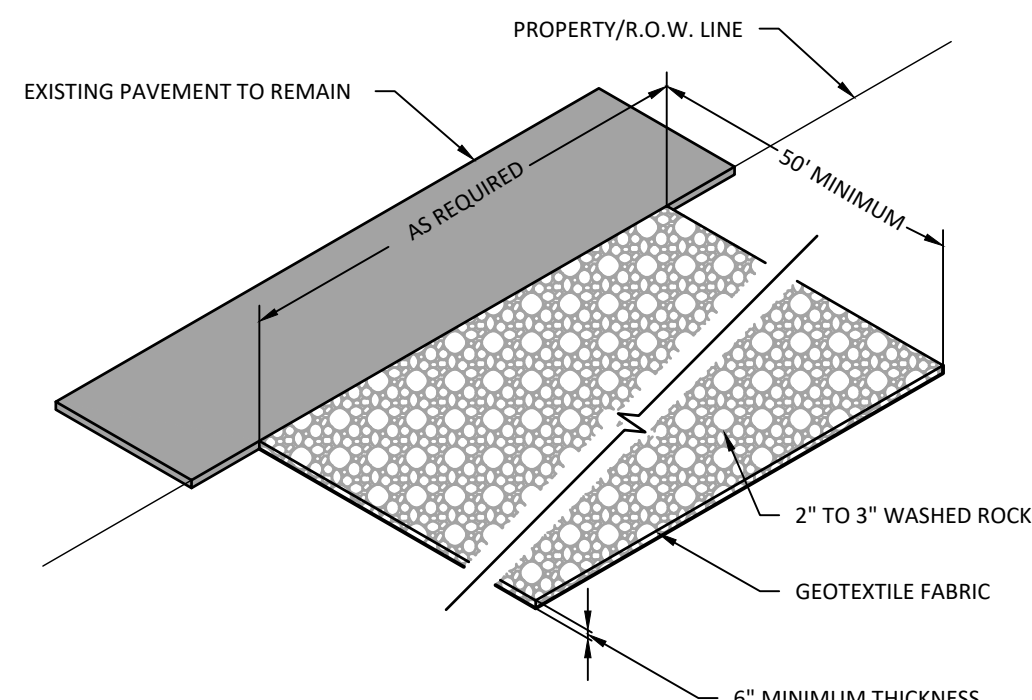
10
C2.11 **CONCRETE WALK**

NOT TO SCALE



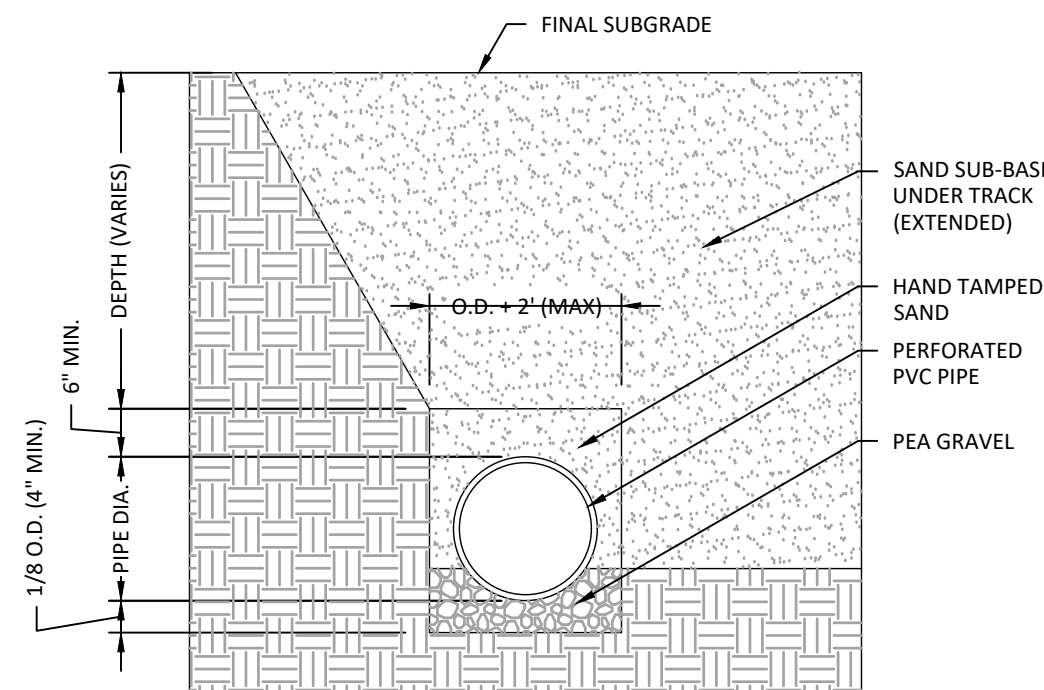
13
C2.11 **CONCRETE MAINTENANCE STRIP**

NOT TO SCALE



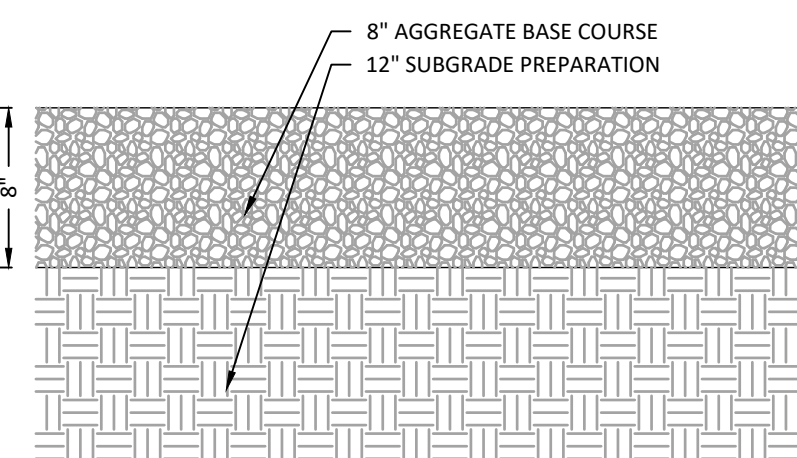
2
C2.11 **ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



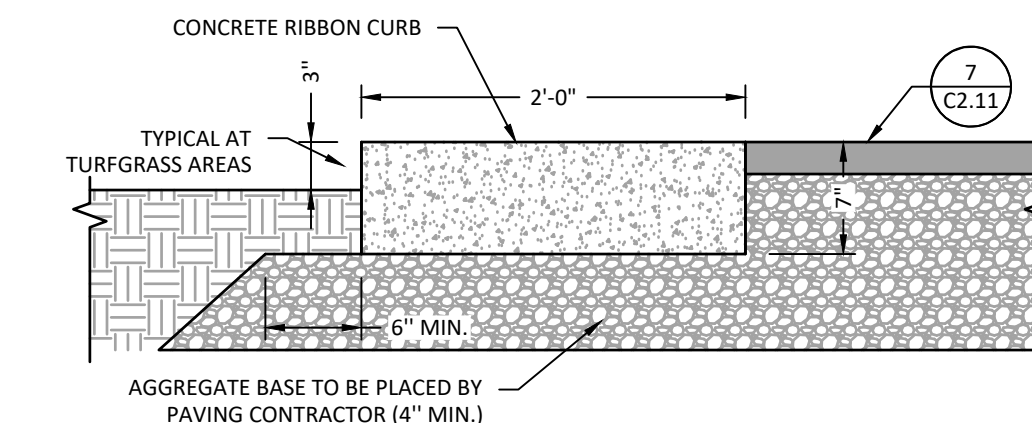
5
C2.11 **PIPE BEDDING PERFORATED PVC**

NOT TO SCALE



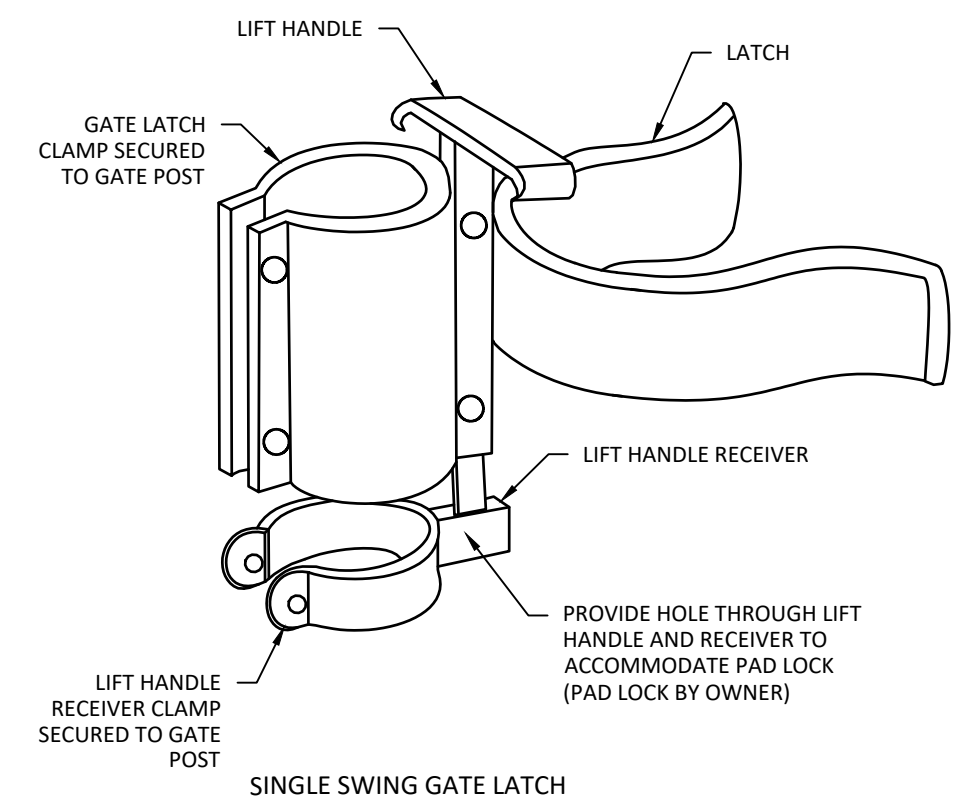
8
C2.11 **GRAVEL PAVEMENT**

NOT TO SCALE



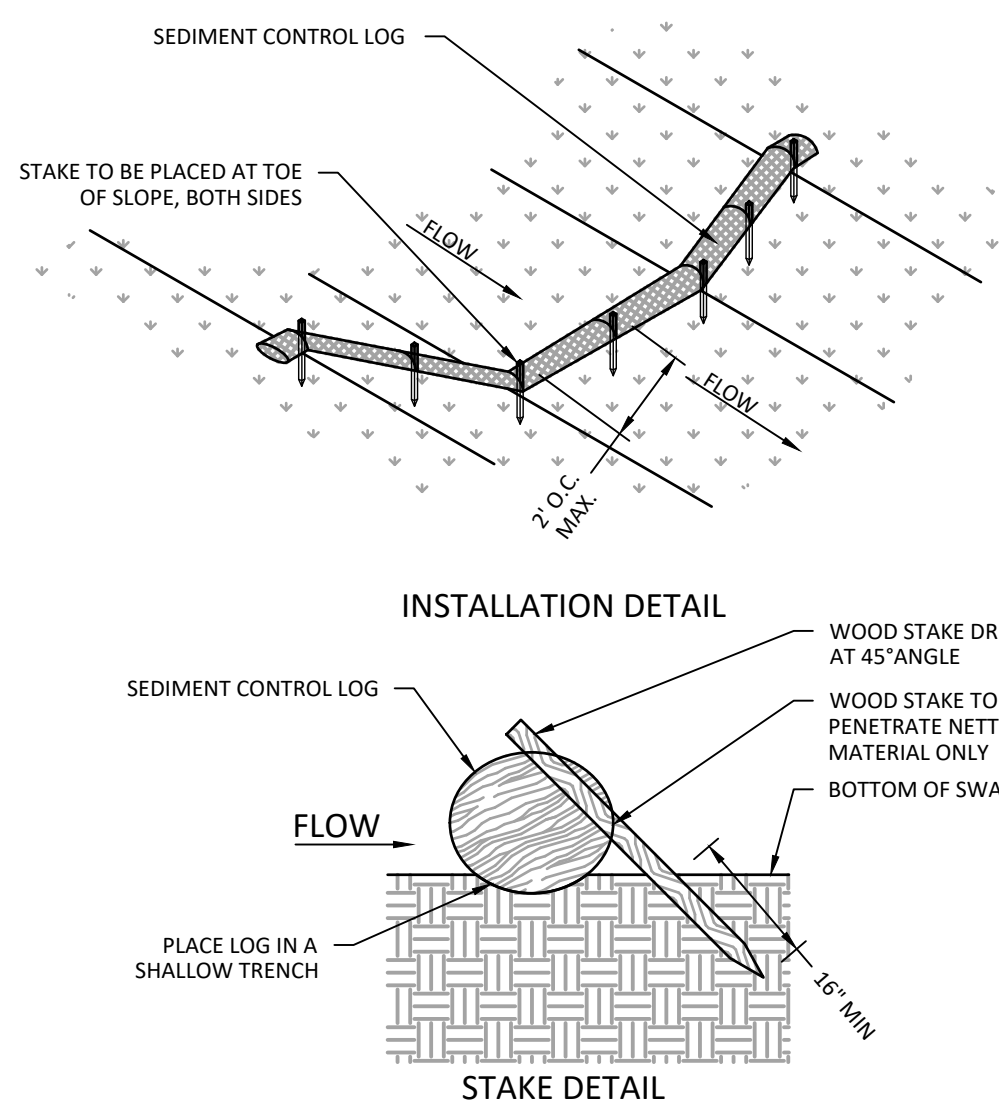
11
C2.11 **CONCRETE RIBBON CURB**

NOT TO SCALE



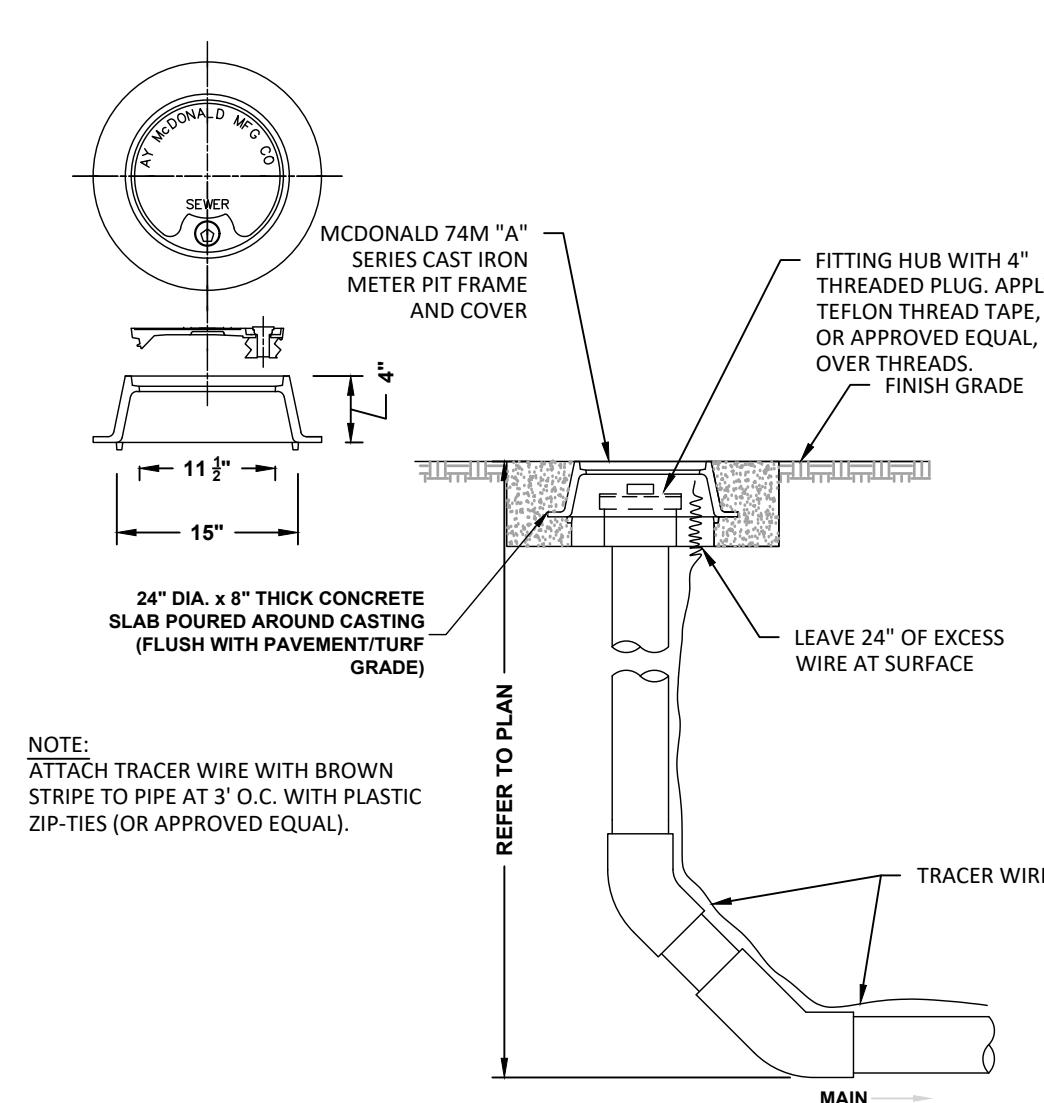
14
C2.11 **GATE LATCH**

NOT TO SCALE



3
C2.11 **SEDIMENT CONTROL LOG**

NOT TO SCALE

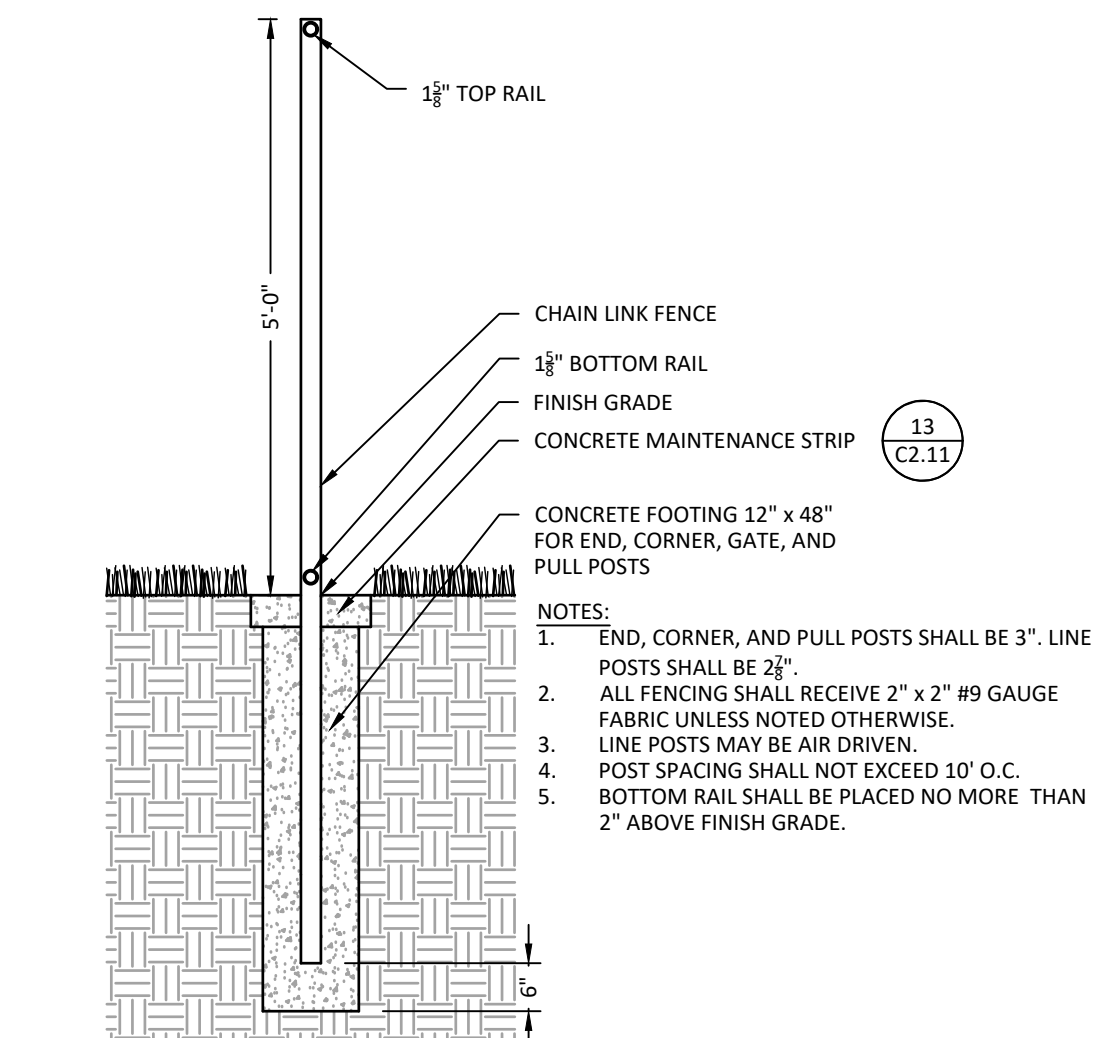


6
C2.11 **CLEANOUT ASSEMBLY**

NOT TO SCALE

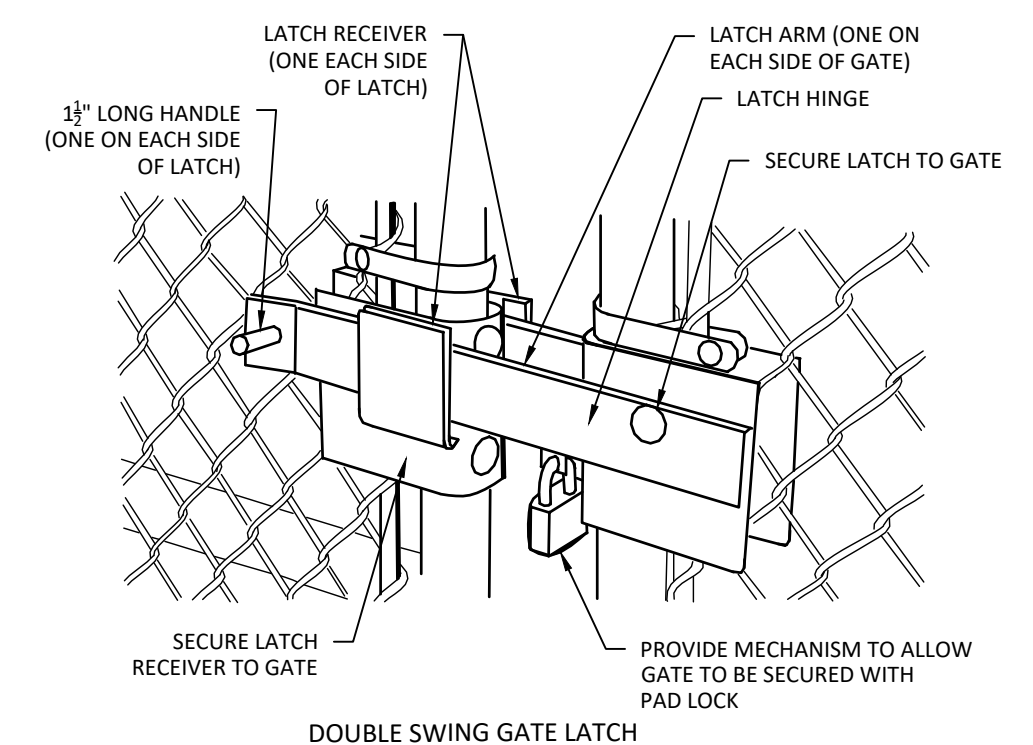
9
C2.11 **NOT USED**

NOT TO SCALE



12
C2.11 **CHAIN LINK FENCE WITH MAINTENANCE STRIP**

NOT TO SCALE



13
C2.11 **DOUBLE SWING GATE LATCH**

NOT TO SCALE

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\131823\CAD\C2.11.DETAIL.dwg 6/19/2024 3:49:23 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24

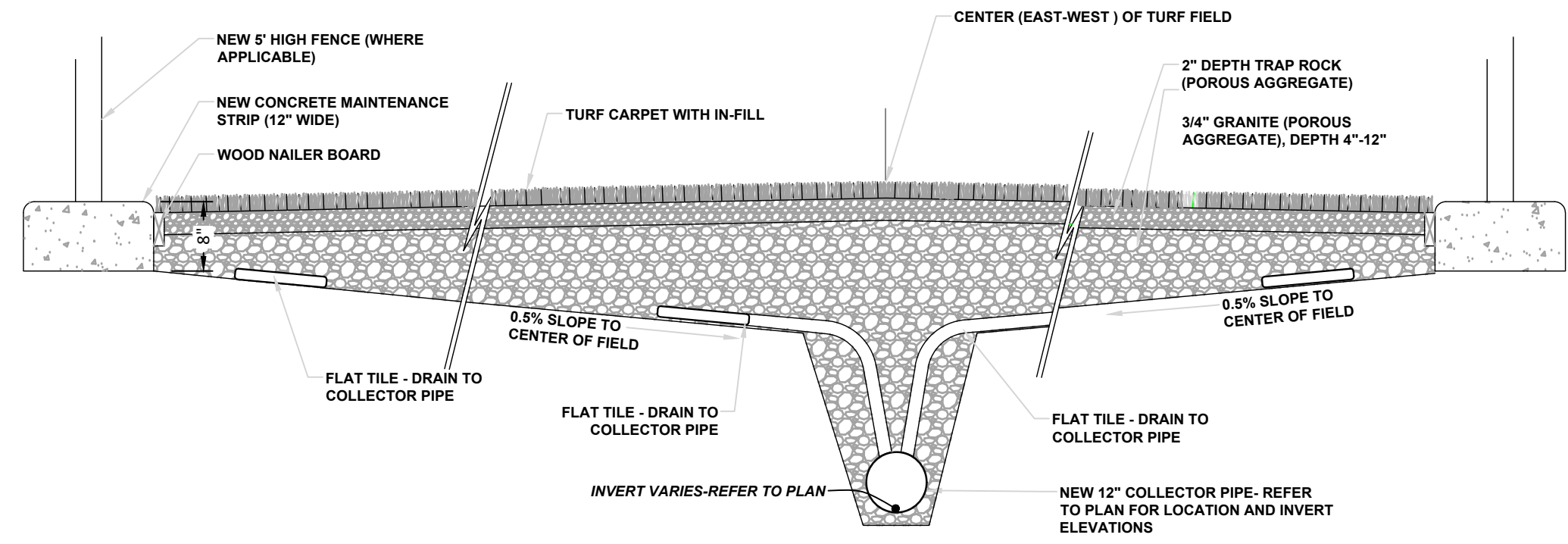


7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

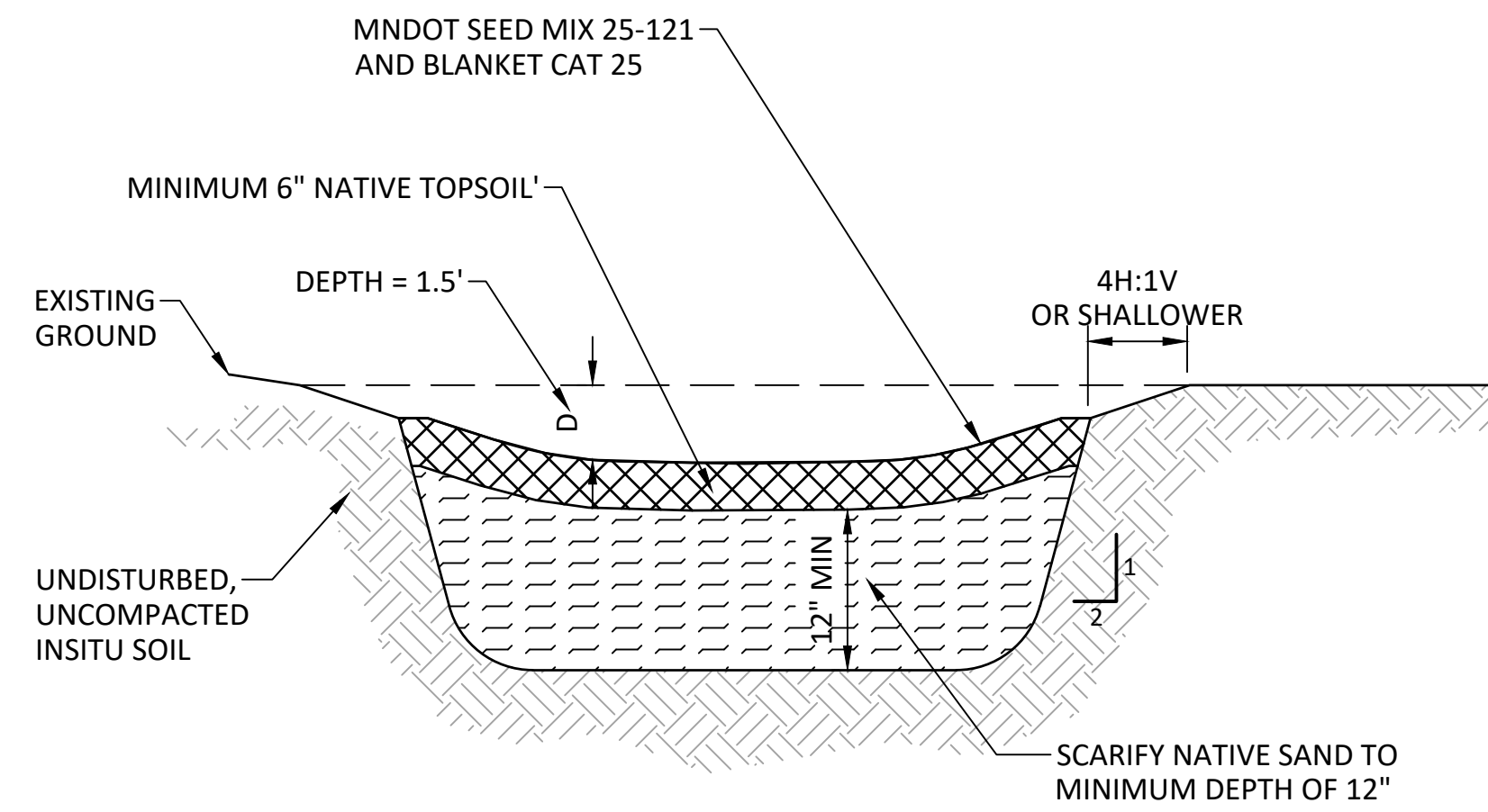
NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SITE DETAILS

SHEET
C2.11



1 TURF FIELD CROSS SECTION

NOT TO SCALE

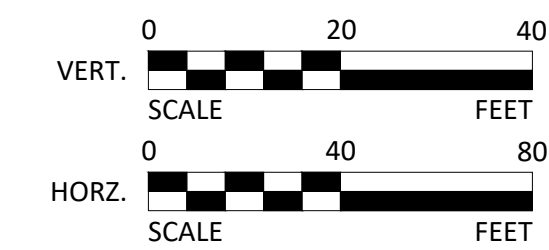
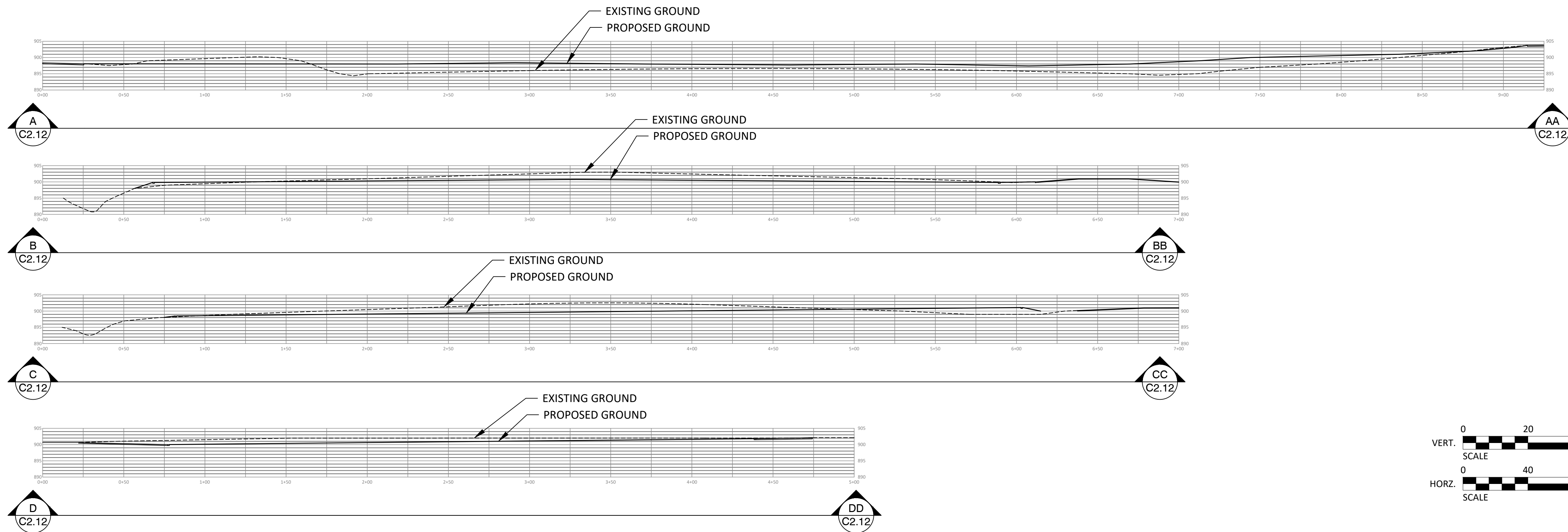


2 STORMWATER INFILTRATION BASIN BASINS 1 & 2

NOT TO SCALE

STORMWATER INFILTRATION BASIN NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
2. PERFORM WEEKLY INSPECTIONS, INCLUDING AFTER EACH RAINFALL EVENT.
3. ROUGH GRADE THE SITE.
4. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
5. COMPLETE GRADING AND STABILIZATION OF INFILTRATION AREA ONLY AFTER THE CONTRIBUTING DRAINAGE AREA'S VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION, OR PLACEMENT OF SOIL STABILIZATION AND APPROVED BY ENGINEER, AND BEFORE CONSTRUCTION AND INSTALLING VEGETATION IN INFILTRATION AREAS.
6. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA AFTER VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION.
7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
8. SUBGRADE SHALL BE PREPARED SO THAT THE AREA BENEATH THE BASINS AND EMBANKMENTS IS STRIPPED OF ALL VEGETATION, TOPSOIL, AND ORGANIC MATTER.
9. INSTALLATION WITH DRY SOIL CONDITIONS IS CRITICAL TO PREVENT SMEARING AND COMPACTION. SCHEDULE WORK FOR PERIODS OF DRY WEATHER. DO NOT WORK IF SOIL CONDITIONS ARE WET. EXCAVATION, SOIL PLACEMENT AND RAPID STABILIZATION OF PERIMETER SLOPES WITH METHODS SHOWN ON PLAN MUST BE COMPLETED BEFORE THE NEXT PRECIPITATION EVENT.
10. REMOVAL OF ACCUMULATED SEDIMENT AND DEBRIS SHALL BE DONE BY HAND OR, IF SELF-PROPELLED EQUIPMENT IS REQUIRED, FROM OUTSIDE THE PERIMETER OF THE INFILTRATION AREAS.



© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\C21\DETAIL.dwg 6/3/2024 3:49:28 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
LIC. NO. 23543 DATE 06/03/24



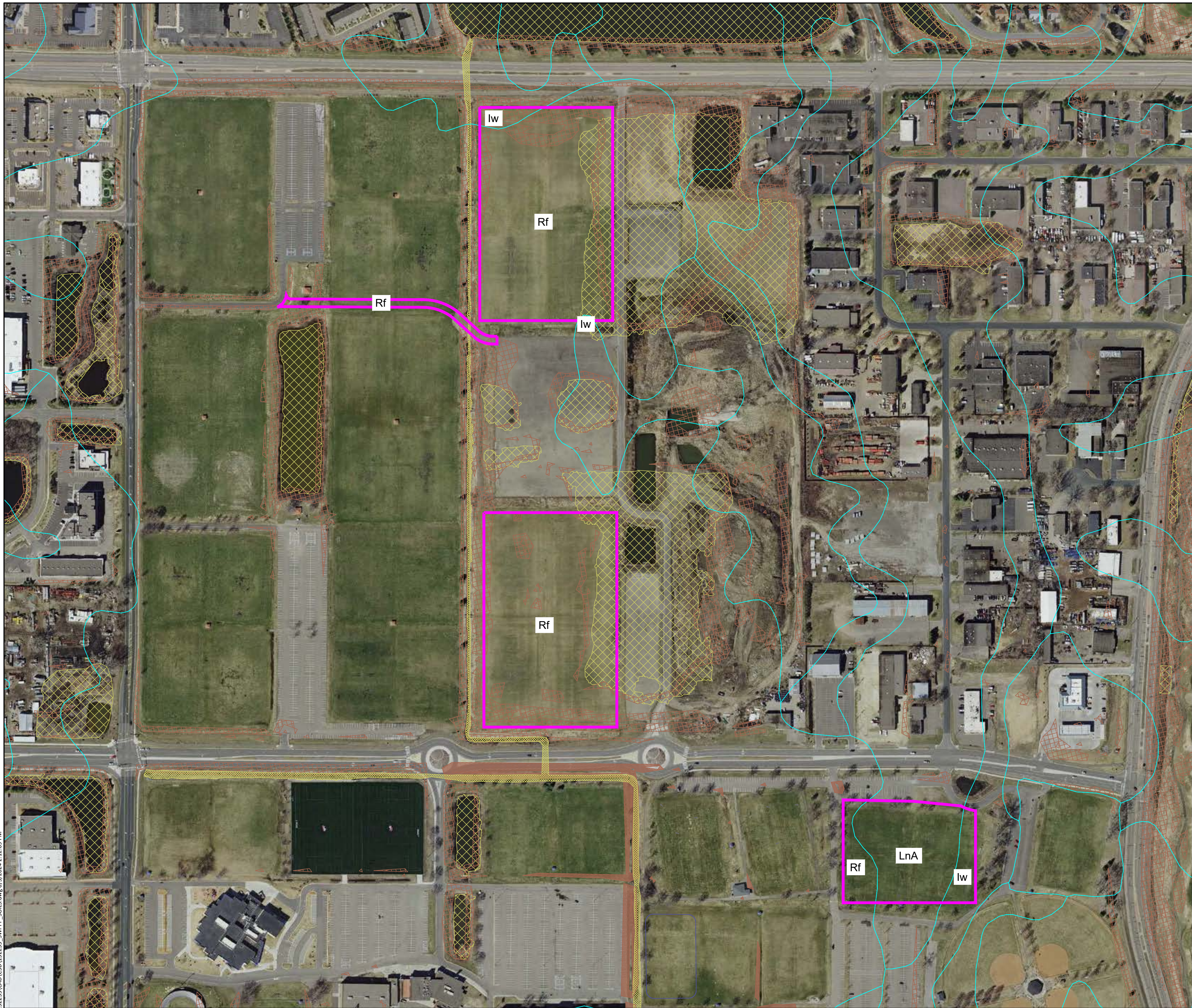
7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SITE DETAILS

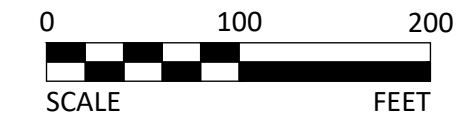
SHEET
C2.12

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



LEGEND

- PROJECT BOUNDARY
- SOIL TYPE
- IMPAIRED, SPECIAL OR PROTECTED WATERS
- NATIONAL WETLANDS INVENTORY
- STEEP SLOPES (>33.3%)



SOIL TYPE SUMMARY

Map Unit Symbol	Soil Name	Hyd. Soil Group
lw	Isanti fine sandy loam	A/D
Rf	Rifle mucky peat	A/D
LnA	Lino loamy fine sand, 0 to 4 percent slopes	A/D

© Bolton & Menk, Inc. 2024. All Rights Reserved. A:\DIMKE\DC_P\01132233\CAD\C3D1\2233_SNPPP_SOILS.dwg 07/2024 2:12:08 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 MASC - COB FIELDS
 SWPPP - SOILS MAP

SHEET
C3.12

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R100001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	24 hours
--	----------

SITE INSPECTION INTERVAL:

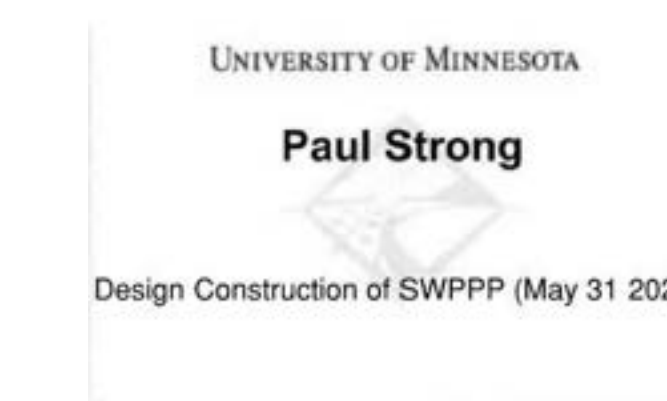
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
--	-----------------

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1)	Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2)	Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3)	Does any portion of this site discharge to a Calcareous fen.	NO
4)	Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5)	Have any Karst features have been identified in the project vicinity?	NO
6)	Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7)	Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	In Progress

SWPPP DESIGNER TRAINING DOCUMENTATION:



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JRP

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SWPPP - NARRATIVE

SHEET
C3.13

© Bolton & Menk, Inc. 2024. All Rights Reserved. DIMKE EXCAVATING - PROJECT: 13223 CAD/CSD/13223 - SWPPP - PROJ: INFO-MAP.dwg 6/3/2024 2:13:35 PM

NATIONAL SPORTS CENTER

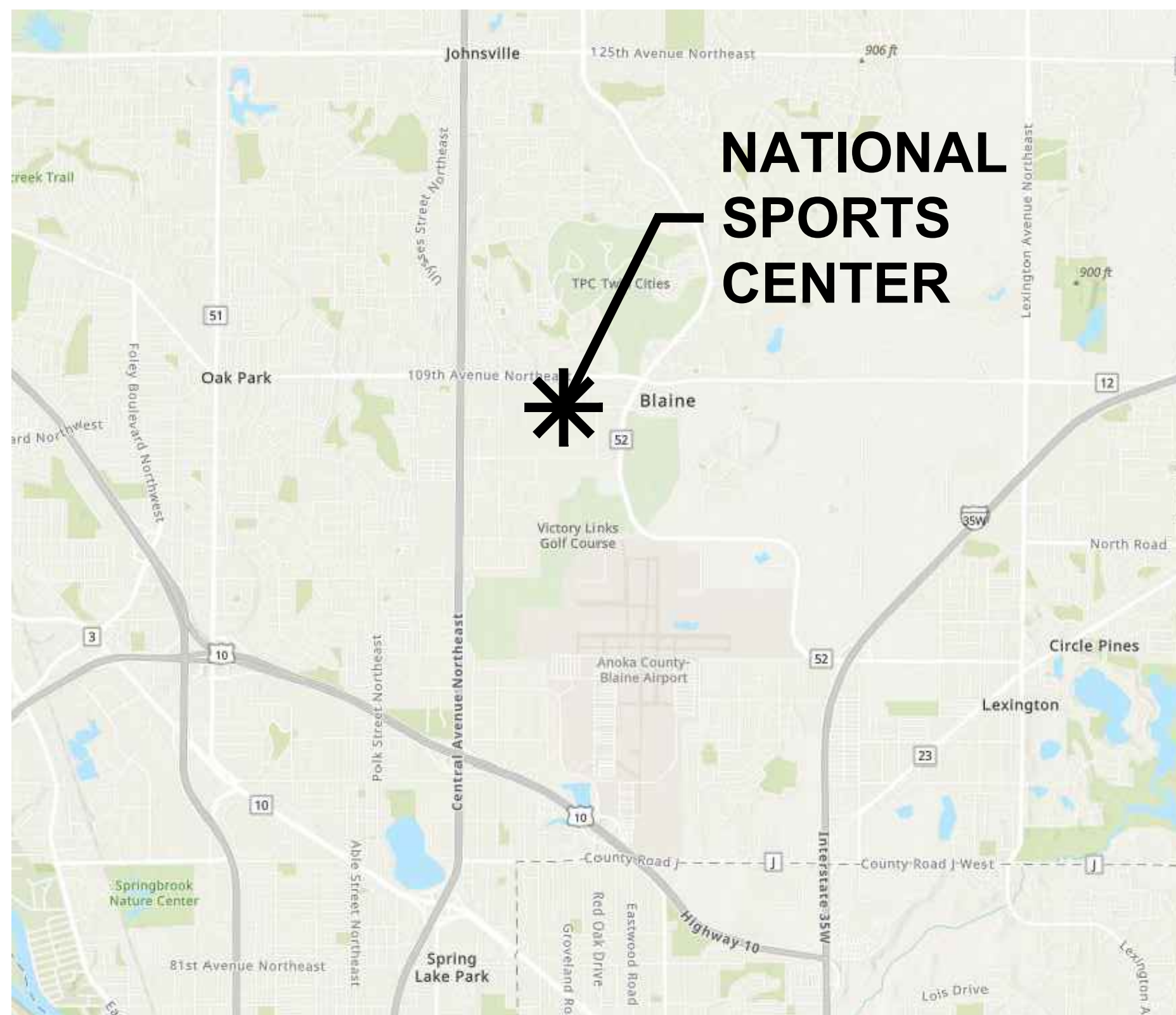


NSC ENTRY PLAZA & FIELDS 50 & 51

BLAINE, MN
1700 105TH AVE, BLAINE, MN, 55449



VICINITY MAP



GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
- OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY AND WATERSHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
- INSPECT SITE TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, SHEET C3.12, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
- MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS SHOWN TYPICALLY AS 99.1 OR 99 SHALL BE UNDERSTOOD TO MEAN 899.1 OR 899.
- SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- NO FINISHED SLOPES SHALL EXCEED 3' HORIZONTAL TO 1' VERTICAL (3:1), UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE TURF, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED. REFER TO FINISHING PLANS FOR SEED LOCATIONS. ALL AREAS NOT DESIGNATED FOR SOD OR A SPECIFIC SEED MIX, WHICH ARE DISTURBED BY CONSTRUCTION, SHALL BE SEEDED WITH SEED MIX #1.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.
- ALL DISTURBED AREAS INCLUDING SOIL STOCKPILE SHALL BE STABILIZED WITH VEGETATION WITHIN SEVEN (7) DAYS OF ROUGH GRADING OR 24 HOURS OF INACTIVITY.

DRAWING INDEX

NATIONAL SPORTS CENTER	
C0.01	TITLE SHEET
ENTRY PLAZA & FIELDS 50 & 51	
C1.11	EXISTING CONDITIONS AND REMOVALS PLAN
C1.21	SITE LAYOUT AND FINISHING PLAN
C1.31	GRADING AND UTILITY PLAN
C1.41	EROSION CONTROL PLAN
SITE DETAILS	
C2.11	SITE DETAILS
C2.12	SITE DETAILS
STORM WATER POLLUTION PREVENTION PLANS	
C3.11	SWPPP - PROJECT DESCRIPTION
C3.12	SWPPP - NARRATIVE
C3.13	SWPPP - SOILS MAP

PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CD\132864_C1.dwg 6/19/2024 2:24:50 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

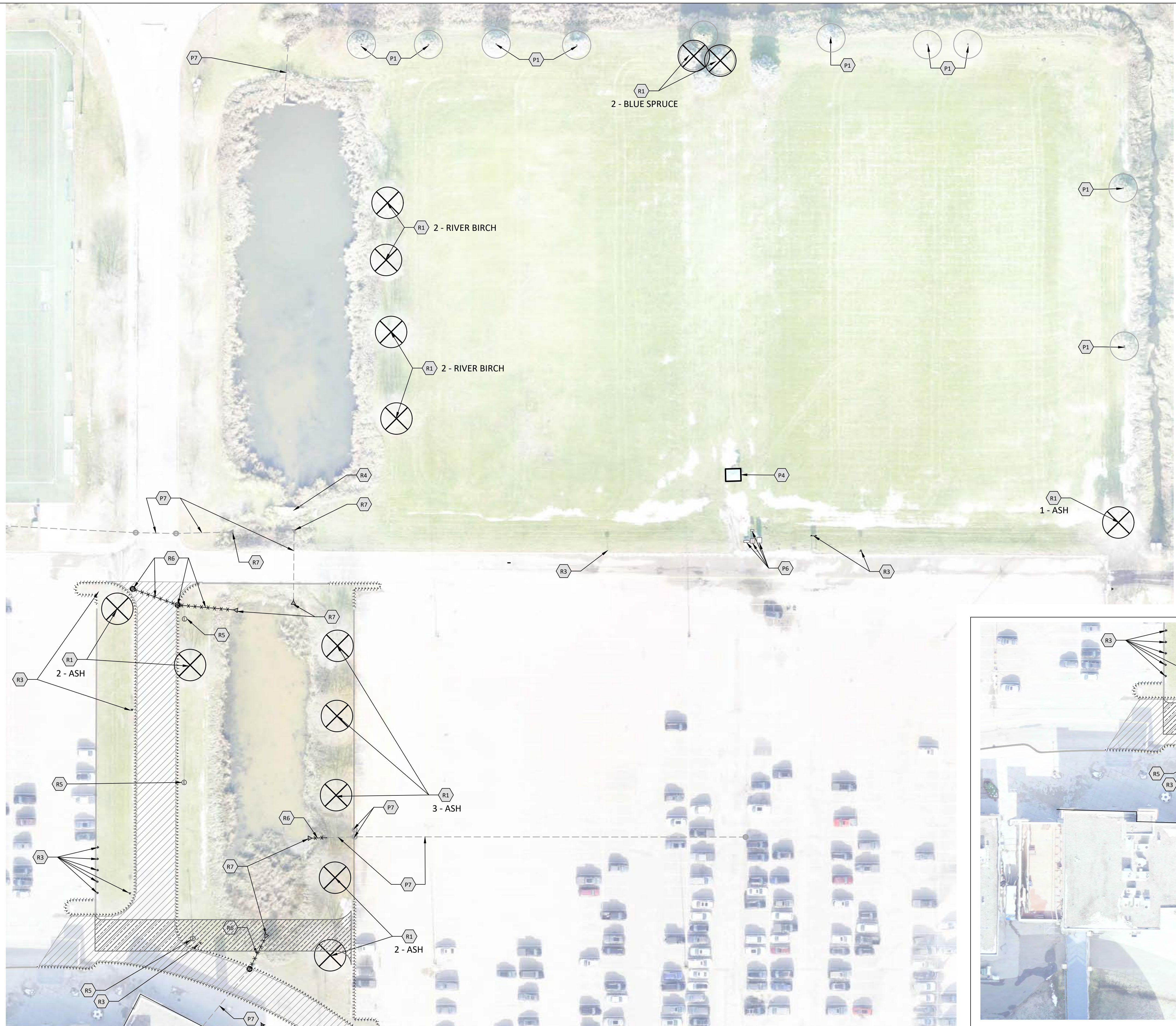


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	OV1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
TITLE SHEET

SHEET
C0.01



LEGEND

- CONCRETE CURB AND GUTTER REMOVALS
- x x x x x x x x x x x x x x x x - UNDERGROUND UTILITIES REMOVAL
- ////// ASPHALT PAVEMENT REMOVALS
- ⊗ TREE REMOVAL
- R1 REMOVALS KEY NOTE
- P1 PROTECTION KEY NOTE

NOTES

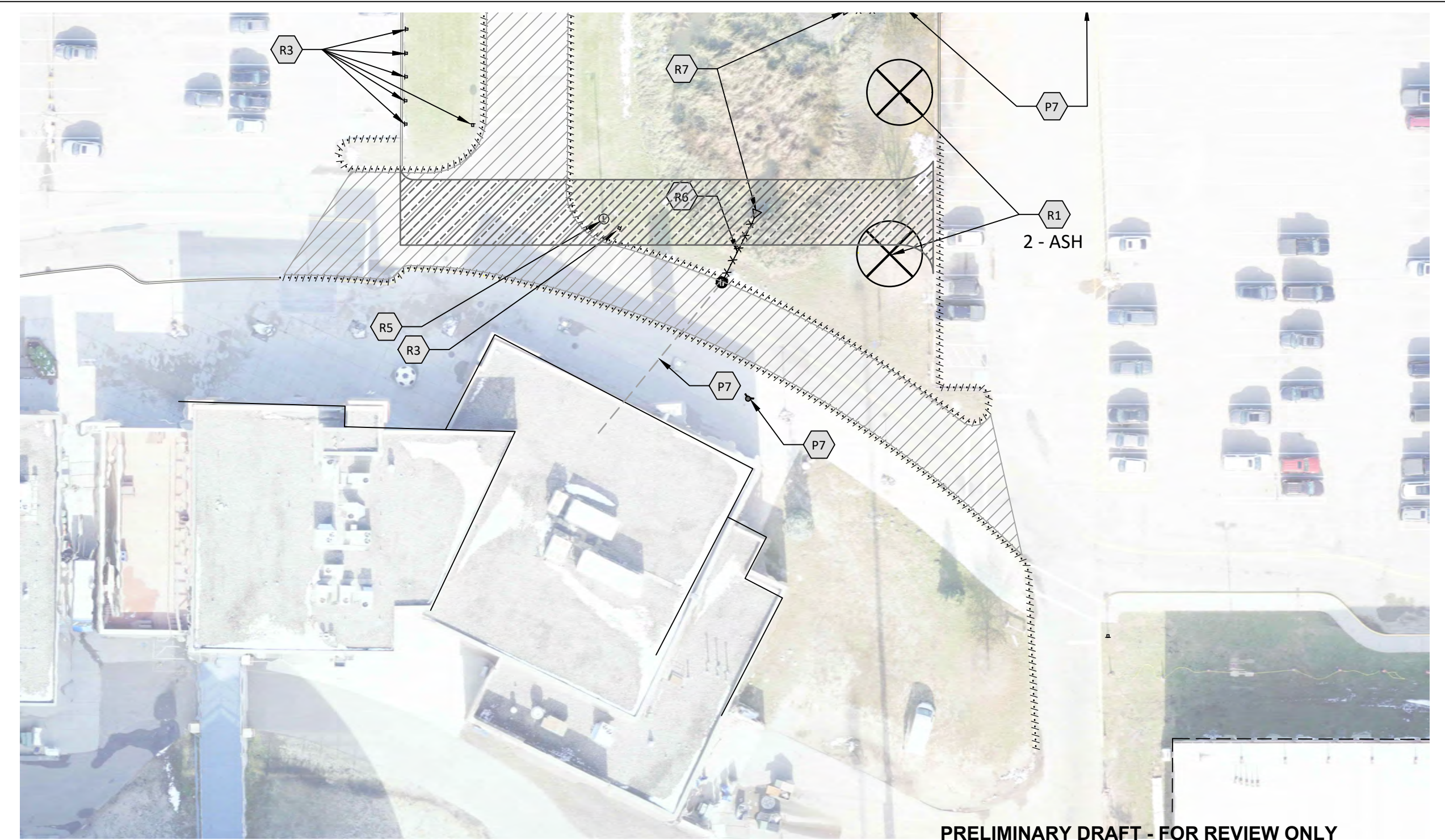
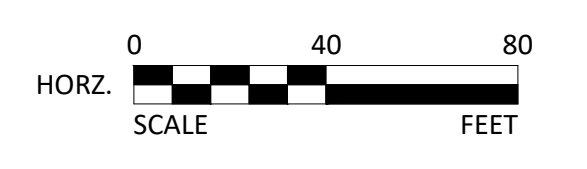
1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

- R1 REMOVE TREE, INCLUDING STUMP
- R2 REMOVE AND SALVAGE IRRIGATION
- R3 REMOVE AND SALVAGE SIGN
- R4 REMOVE EXISTING BRIDGE
- R5 REMOVE AND SALVAGE EXISTING LIGHT
- R6 REMOVE STORM SEWER PIPE/CATCH BASINS
- R7 REMOVE AND REPLACE FLARED END SECTION
- P1 PROTECT TREE & LANDSCAPING
- P2 PROTECT EXISTING PAVEMENT
- P3 PROTECT STORM SEWER STRUCTURE
- P4 PROTECT STRUCTURE (MOVE IF NECESSARY)
- P5 PROTECT SIGN
- P6 PROTECT ELECTRICAL
- P7 PROTECT EXISTING STORM SEWER

TREE REMOVALS LEGEND

- 8 ASH (NOT REQUIRED TO REPLACE)
- 4 RIVER BIRCH
- 2 BLUE SPRUCE
- 6 TOTAL REPLACEMENT TREES



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. PL010132864.CAD (3/1/2024 2:25:00 PM)



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

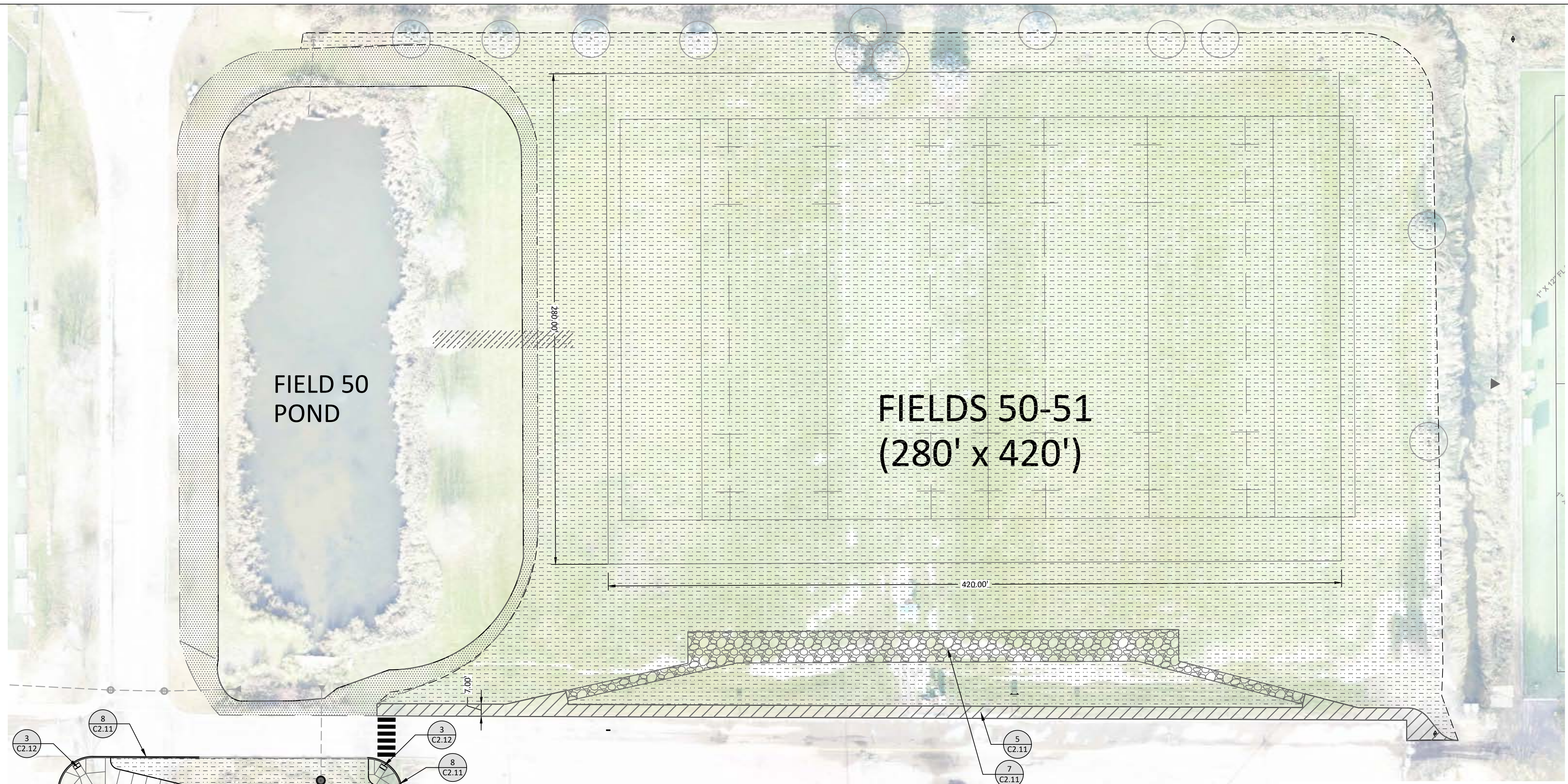


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

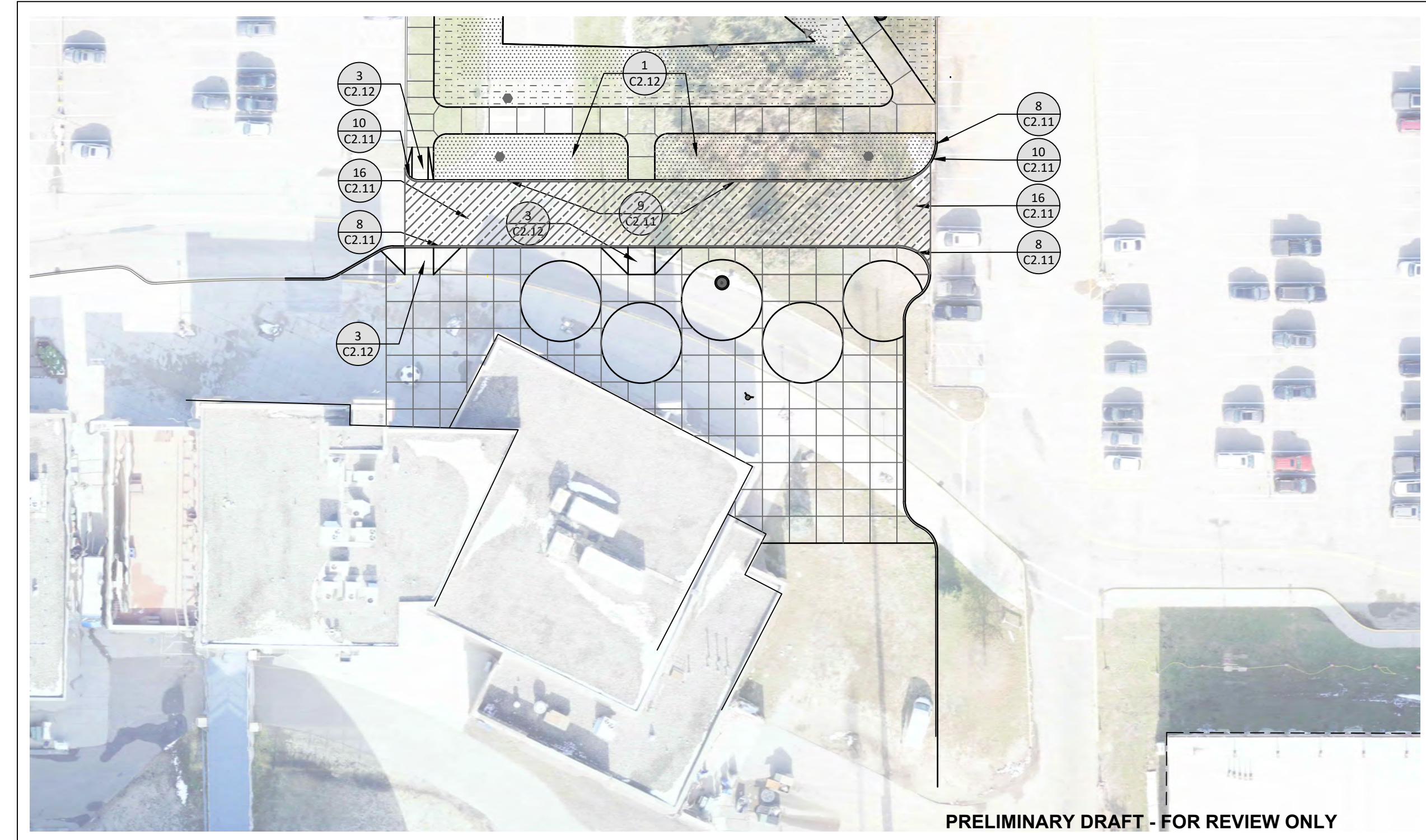
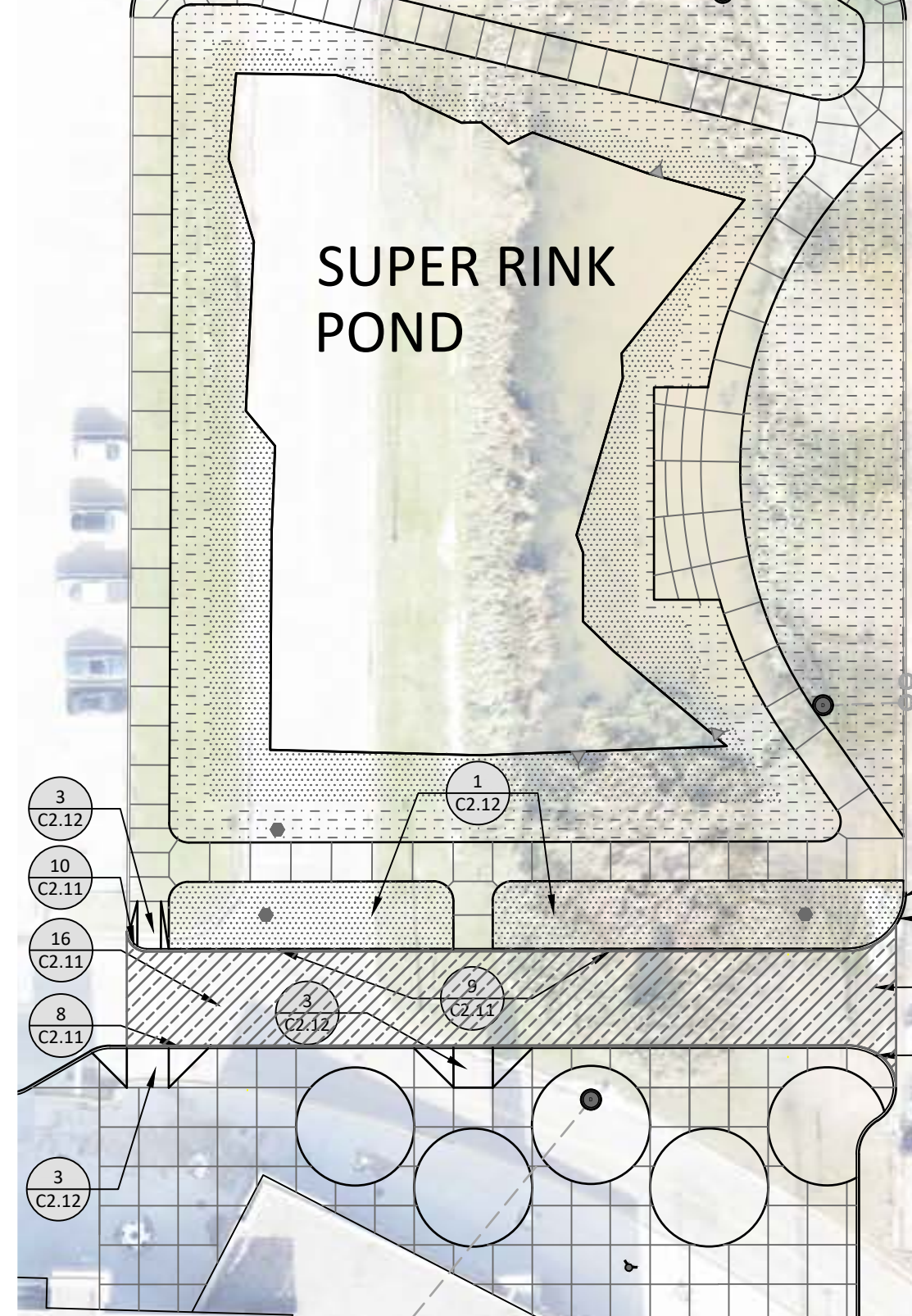
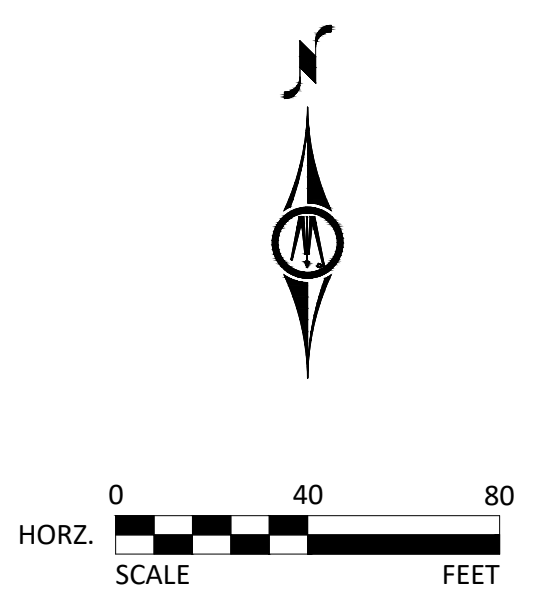
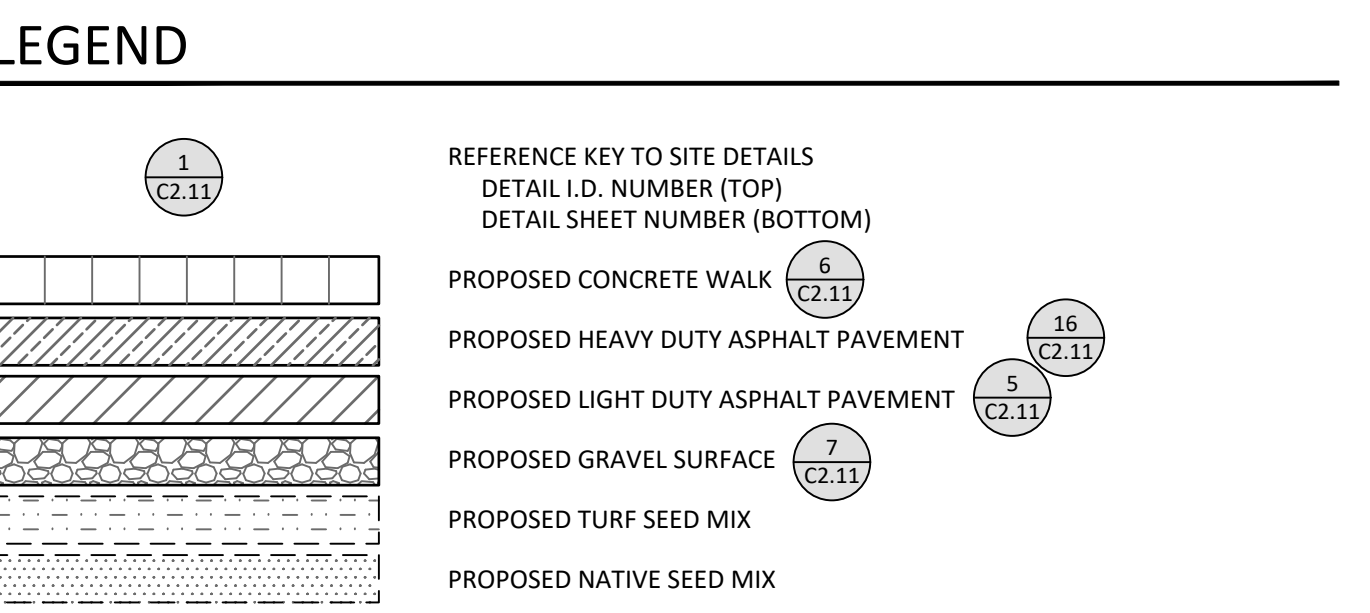
DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
EXISTING CONDITIONS & REMOVALS PLAN

SHEET
C1.11



- NOTES:**
- REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
 - CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
 - ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
 - FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
 - SIX (6) TREES WILL NEED TO BE REPLACED. TREE LOCATIONS TO BE DETERMINED IN THE FIELD, AS REQUIRED.



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\C1.1\FLDS50-51.dwg 6/3/2024 2:25:11 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 05/31/2024

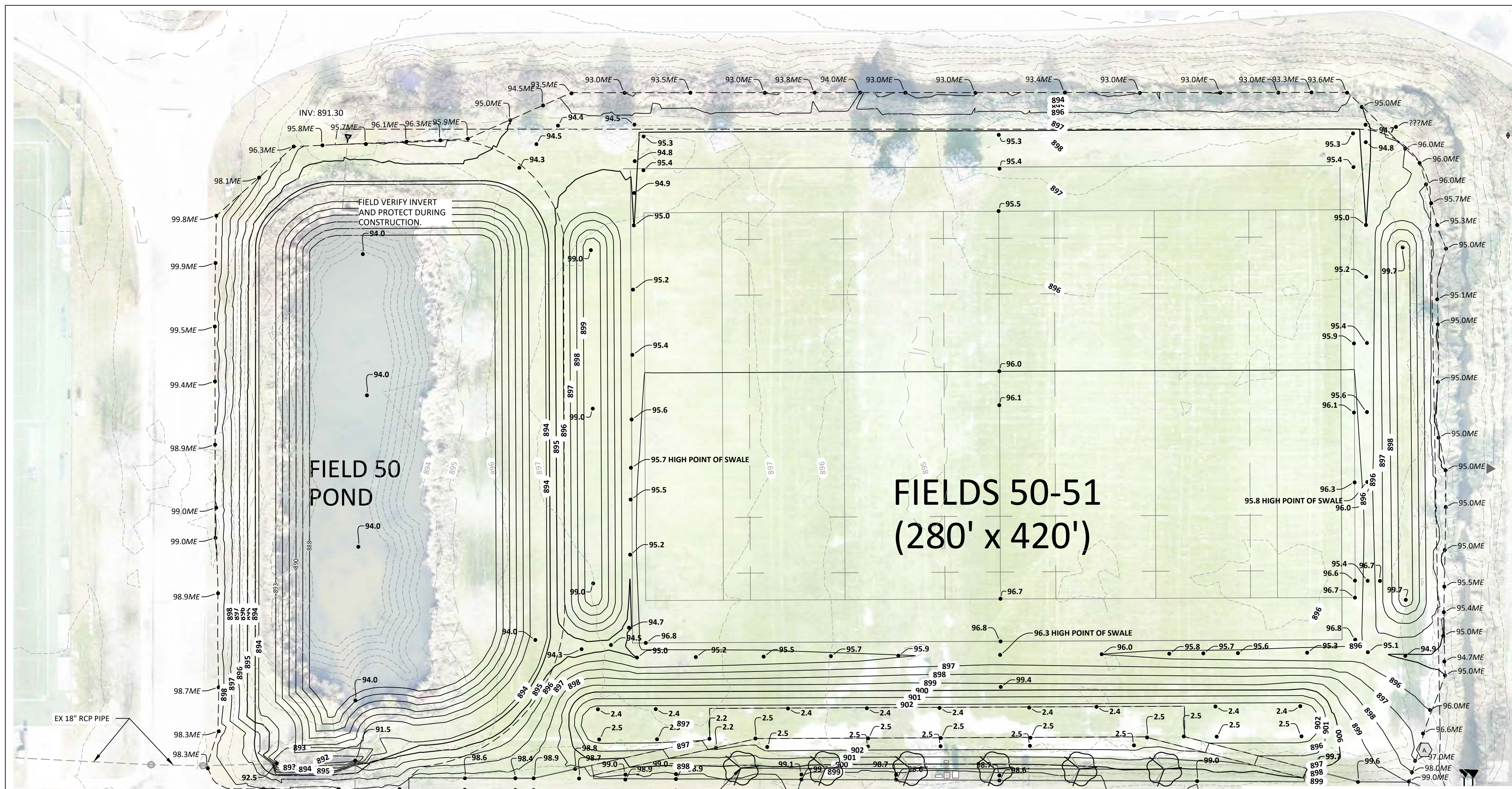


3300 FERNBROOK LANE N, SUITE 300
 PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
 NSC ENTRY PLAZA & FIELDS 50 & 51
 SITE LAYOUT AND FINISHING PLAN

SHEET
C1.21

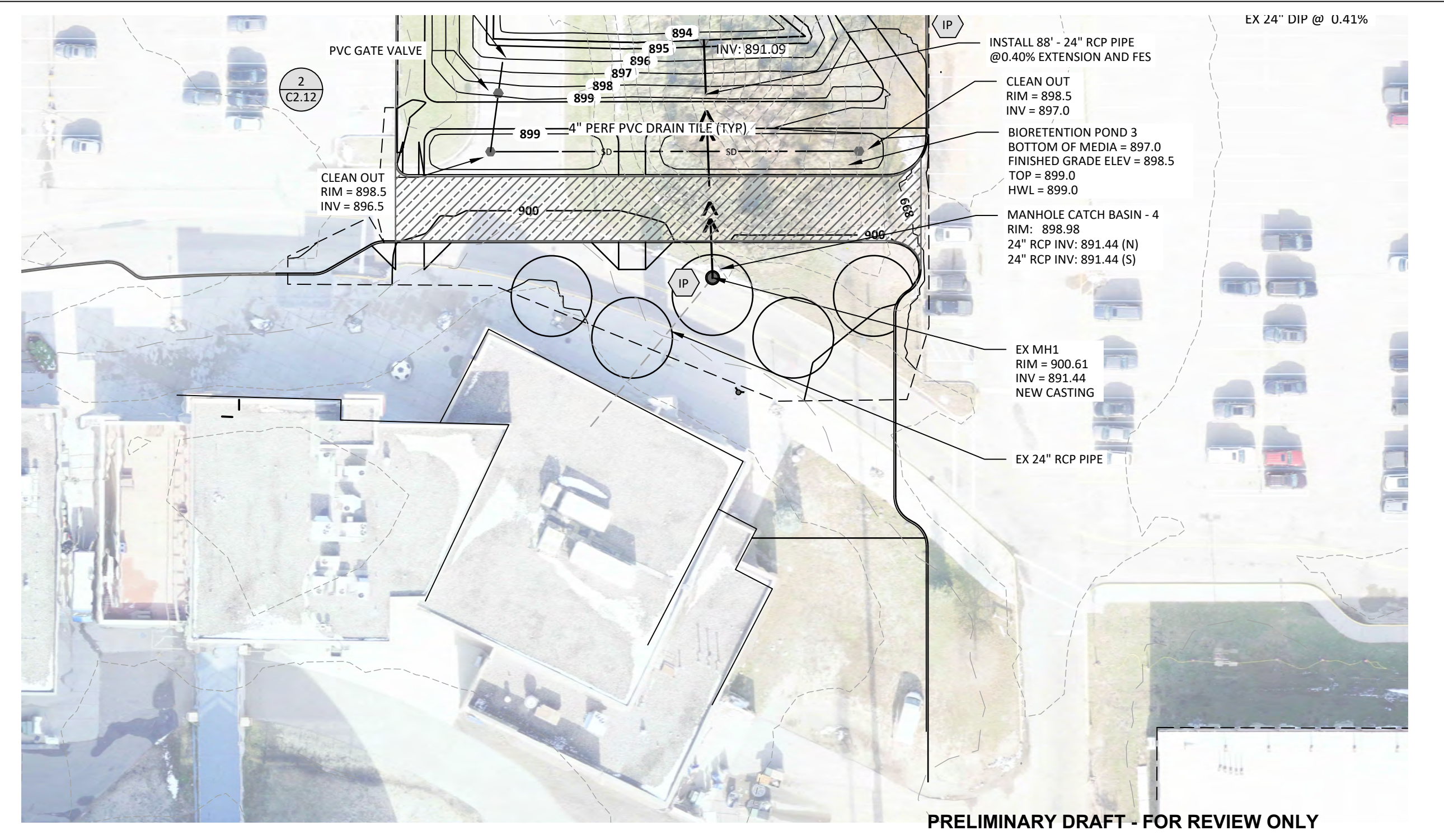
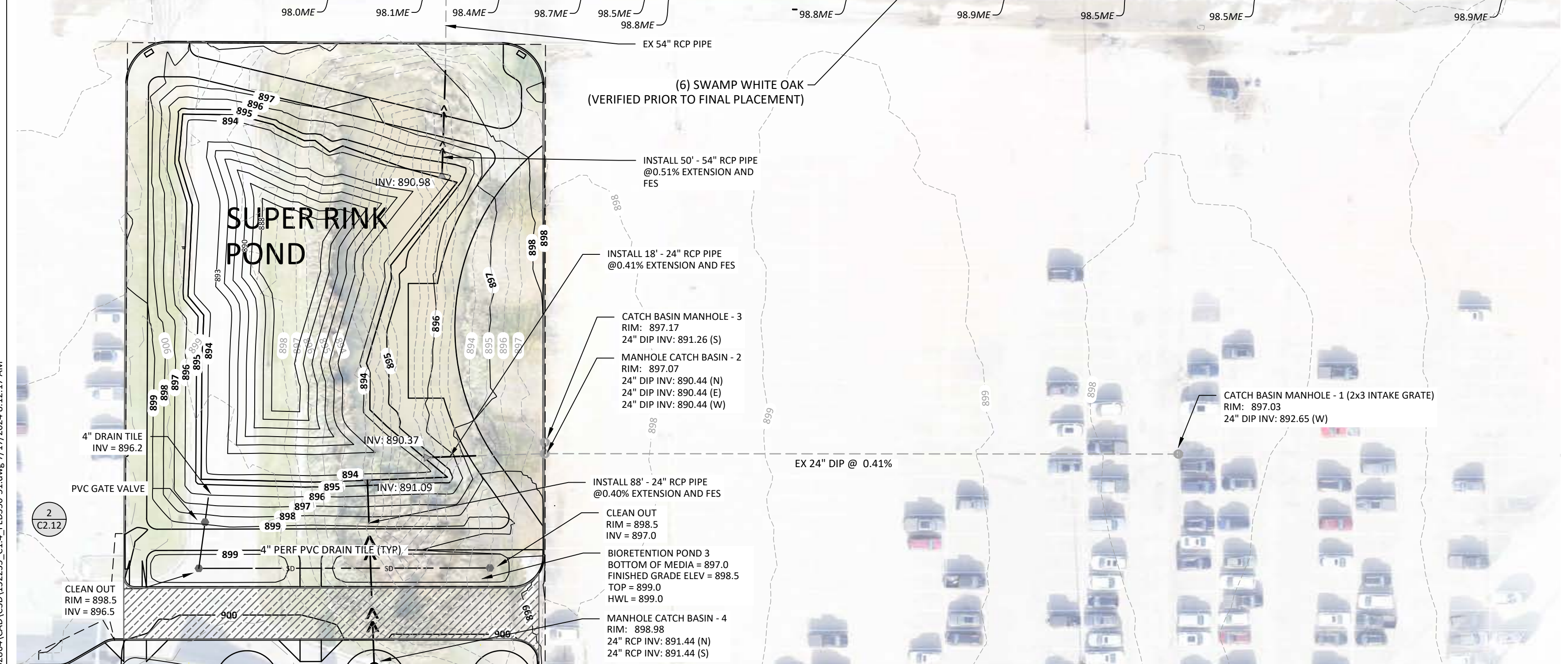
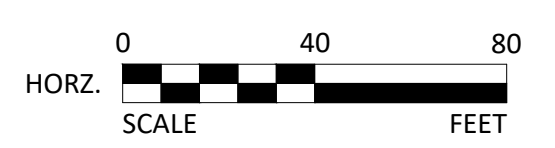


LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
TC = TOP OF CURB
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH) 11
C2.11
- PROPOSED FLARED END SECTION (FES) 13
C2.11

UTILITY NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. ALL STORM SEWER PIPE SHALL BE RCP, CLASS III (MIN.), WITH FLEXIBLE WATERTIGHT JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
3. ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
4. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - b. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - i. FERNO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - ii. PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - iii. OR APPROVED EQUAL.
5. INSTALL MANHOLES, CATCH BASINS, STORM SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURE OR SIMILAR).
6. LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
7. MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER, INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, AND SIMILAR. DO NOT REMOVE EXISTING STORM SEWER UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.
8. STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\31132864.C1_PLOD50-51.dwg 7/17/2024 8:12:17 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Tim Olson

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024

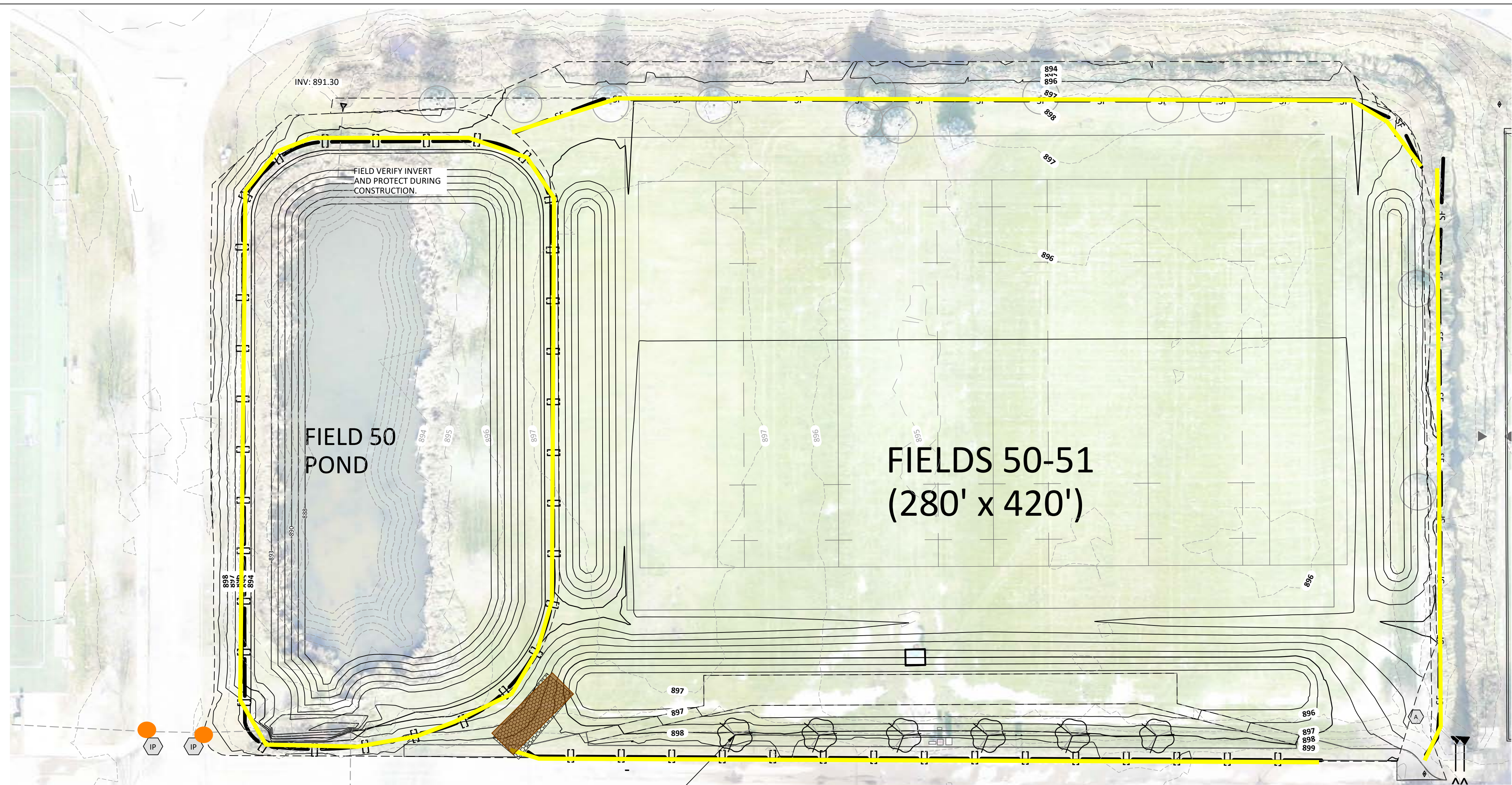


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
GRADING AND UTILITY PLAN

SHEET
C1.31

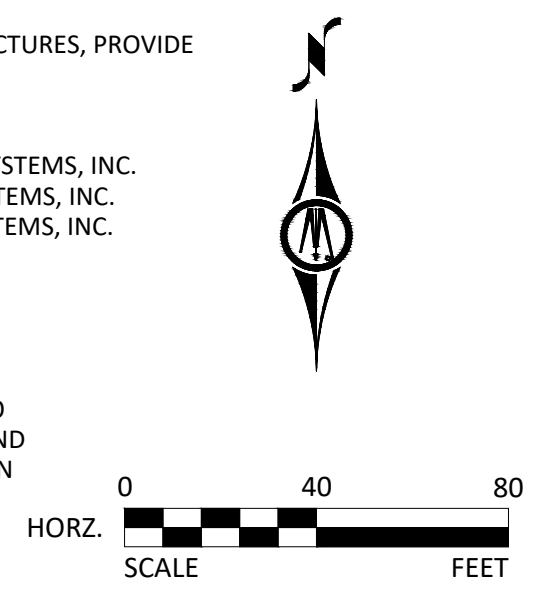


LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
TC = TOP OF CURB
TW = FINISH GRADE AT HIGH SIDE OF WALL
BW = FINISH GRADE AT LOW SIDE OF WALL
- INLET PROTECTION DEVICE AT STORM SEWER INLET
- PROPOSED GRADING LIMITS
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG
- PROPOSED ROCK CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET

NOTES

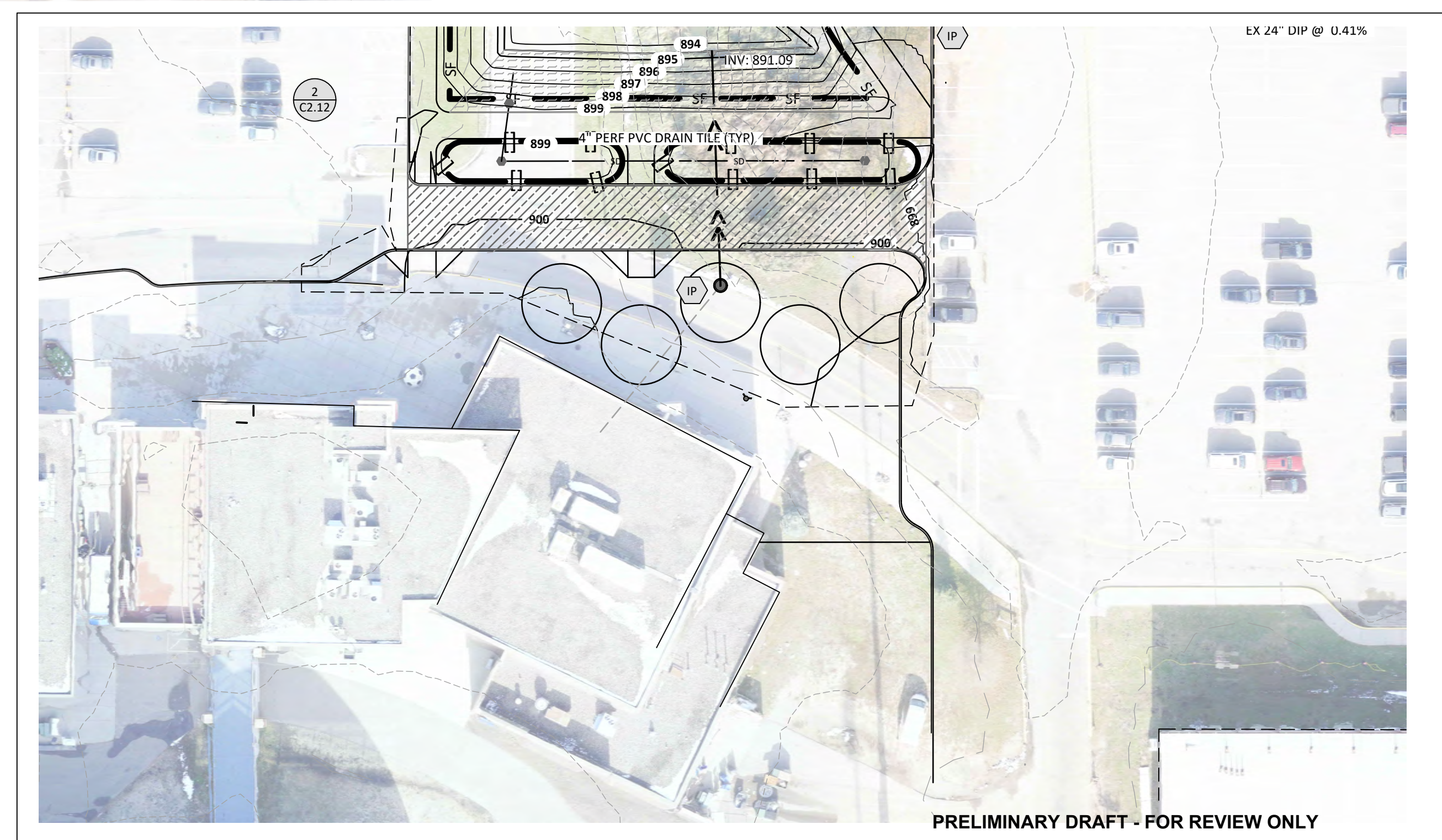
1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. REFER TO SWPPP NARRATIVE, SHEET C3.12, FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
3. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
4. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
5. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND OTHER LOCAL REGULATIONS.
6. IF EROSION AND SEDIMENT CONTROL MEASURES TAKEN ARE NOT ADEQUATE AND RESULT IN DOWNSTREAM SEDIMENTATION, CLEAN OUT DOWNSTREAM STORM SEWERS AND OTHER CONVEYANCE DEVICES AS NECESSARY, INCLUDING ASSOCIATED RESTORATION.
7. INLET PROTECTION DEVICE AT STORM SEWER INLETS. AT THE INLETS TO ALL STORM SEWER STRUCTURES, PROVIDE A PRODUCT FROM THE FOLLOWING LIST OF APPROVED PRODUCTS:
 - a. ROAD DRAIN "TOP SLAB", MANUFACTURED BY WIMCO
 - b. ROAD DRAIN "CURB & GUTTER", MANUFACTURED BY WIMCO
 - c. INFRASAFE "SEDIMENT CONTROL BARRIER", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - d. INFRASAFE "DEBRIS COLLECTION DEVICE", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - e. INFRASAFE "CULVERT INLET PROTECTOR", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - f. DANDY SACK, MANUFACTURED BY DANDY PRODUCTS, INC.
 - g. DANDY CURB SACK, MANUFACTURED BY DANDY PRODUCTS, INC.
 - h. OR APPROVED EQUAL.
8. PRIOR TO CONSTRUCTION, DELINEATE TURF AND VEGETATED AREAS NOT TO BE DISTURBED WITH ORANGE SNOW FENCE. DO NOT ALLOW CONSTRUCTION TRAFFIC, EQUIPMENT, OR MATERIALS TO UTILIZE, ACCESS, OR OTHERWISE ENTER THE DELINEATED AREAS. MINIMIZE SOIL COMPACTION AND DISRUPTION OF TOPSOIL IN AREAS OUTSIDE THE CONSTRUCTION LIMITS TO COMPLY WITH THE MN CONSTRUCTION STORMWATER PERMIT.



(6) SWAMP WHITE OAK
(VERIFIED PRIOR TO FINAL PLACEMENT)

EX 24" DIP @ 0.41%

PLANT SCHEDULE							
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HABIT/Form	QTY	REMARKS
TREES							
BR	BETULA NIGRA	RIVER BIRCH	10' HT.	CONT.	MULTI-STEM	7	
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	B&B		5	



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\132864-01.dwg 7/17/2024 8:19:04 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

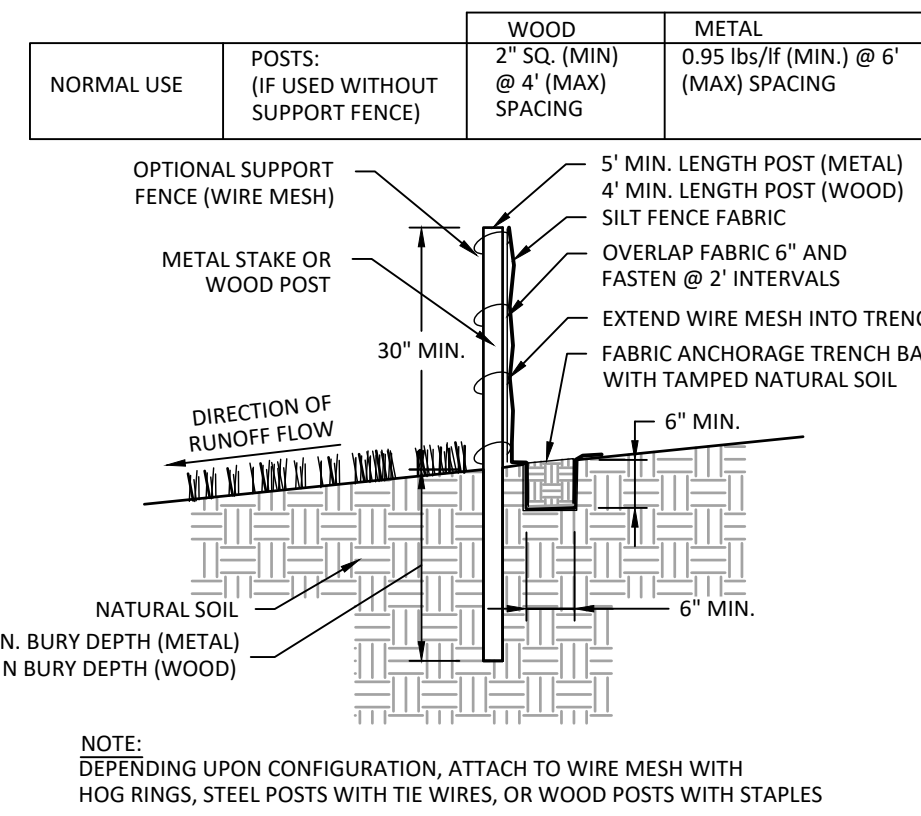


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

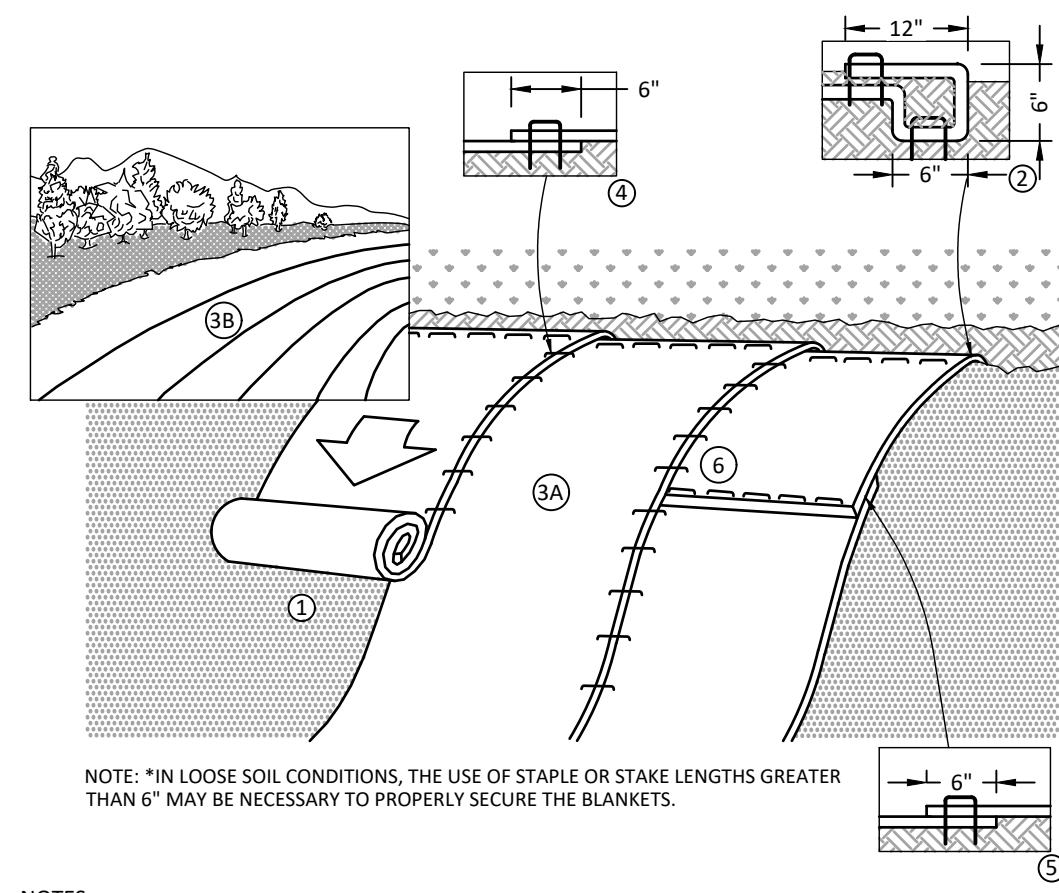
NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
EROSION CONTROL PLAN

SHEET
C1.41



1
C2.11
SILT FENCE

NOT TO SCALE

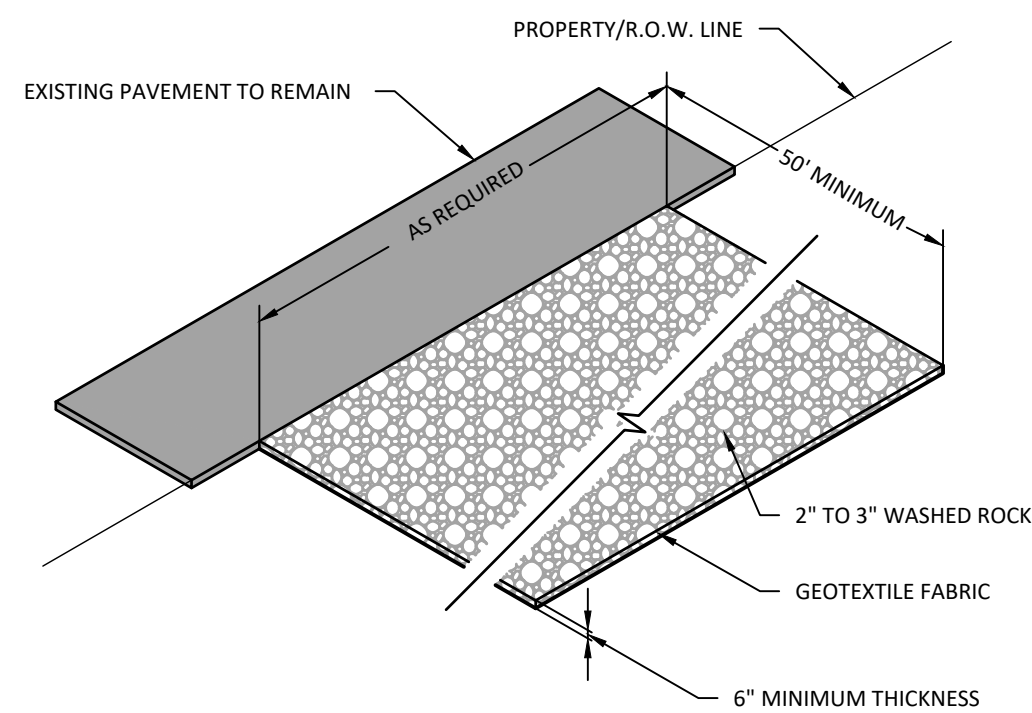


NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS SHALL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- BLANKET SHALL BE STAPLED AS PER MANUFACTURER'S RECOMMENDATION.

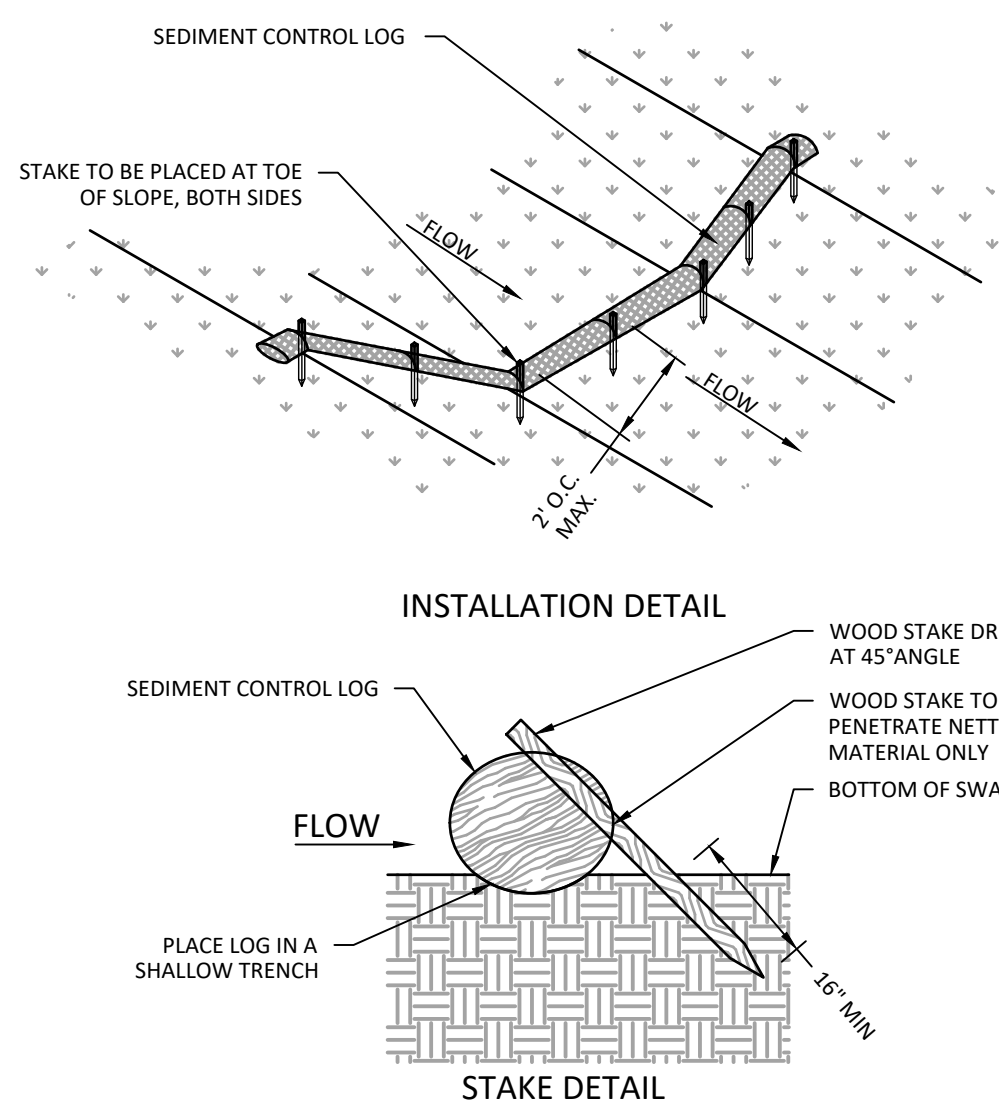
4
C2.11
EROSION CONTROL BLANKET

NOT TO SCALE



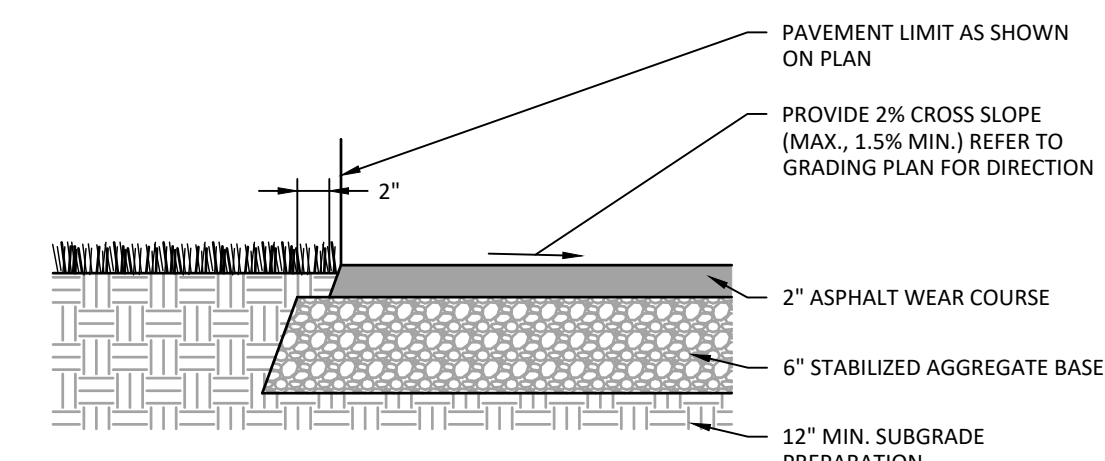
2
C2.11
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



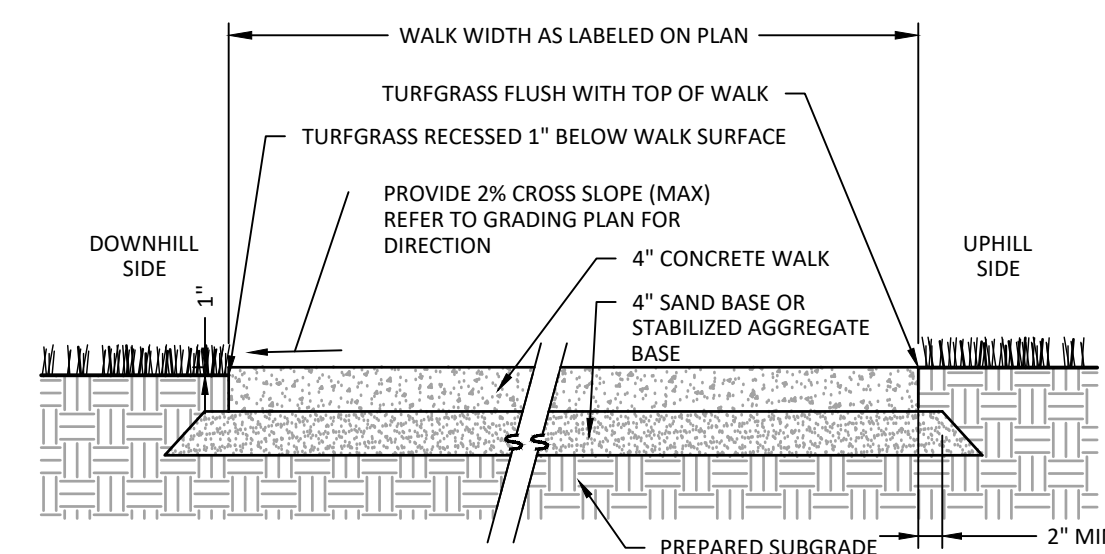
3
C2.11
SEDIMENT CONTROL LOG

NOT TO SCALE



5
C2.11
LIGHT DUTY ASPHALT PAVEMENT

NOT TO SCALE

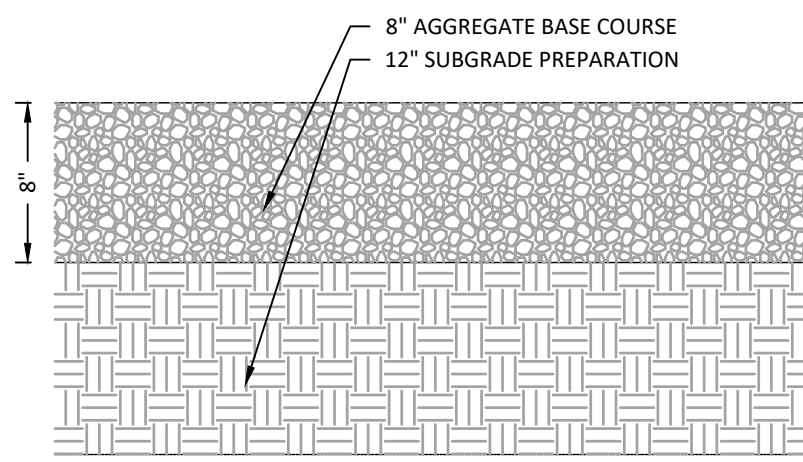


NOTE:

- PROVIDE EXPANSION JOINT AND CAULK SEALANT AT ALL WALK, BUILDING, AND STOOP JOINTS.

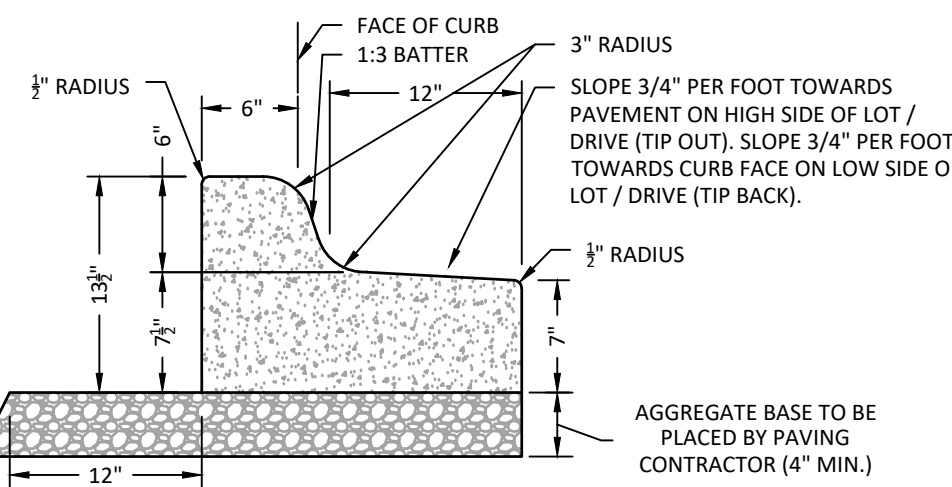
6
C2.11
CONCRETE WALK

NOT TO SCALE



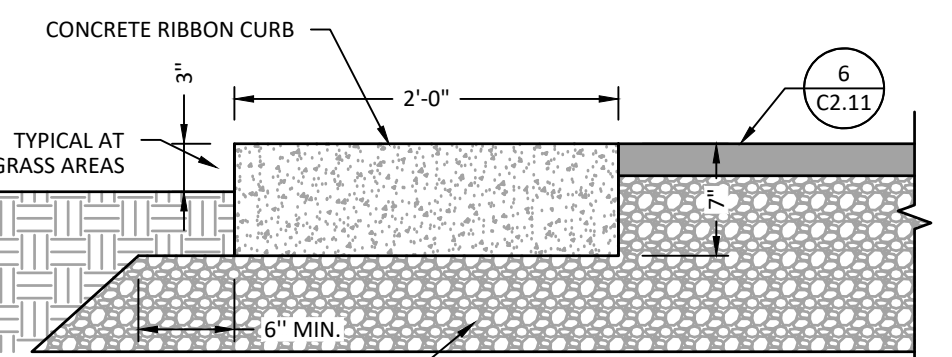
7
C2.11
GRAVEL PAVEMENT

NOT TO SCALE



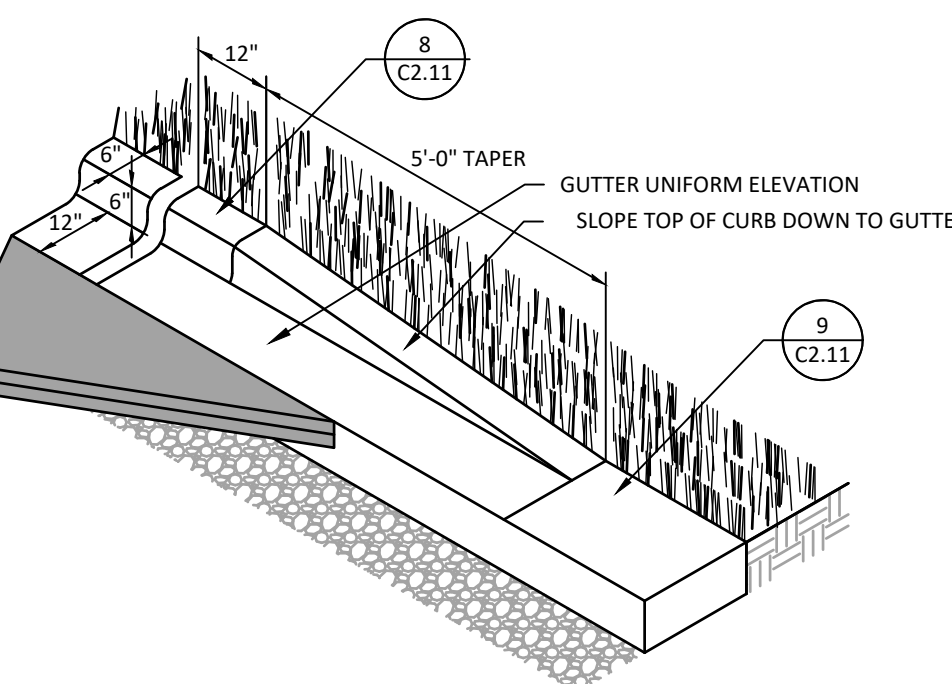
8
C2.11
B-612 CURB AND GUTTER

NOT TO SCALE



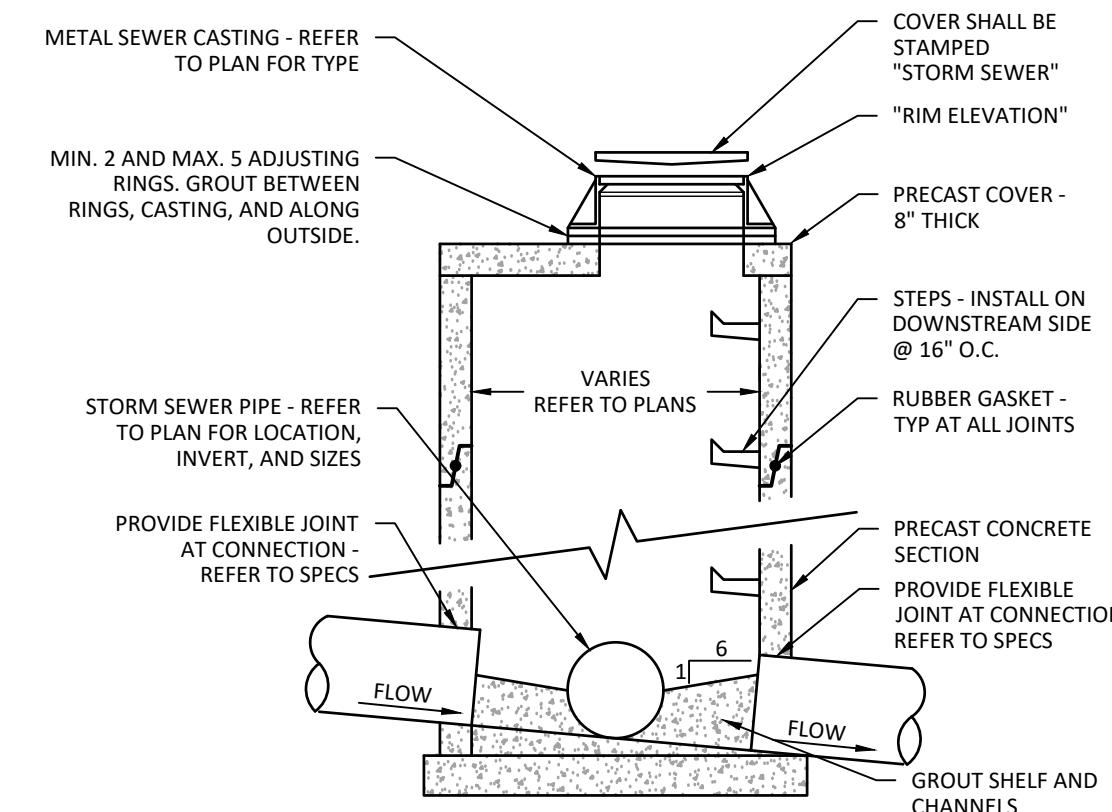
9
C2.11
CONCRETE RIBBON CURB

NOT TO SCALE



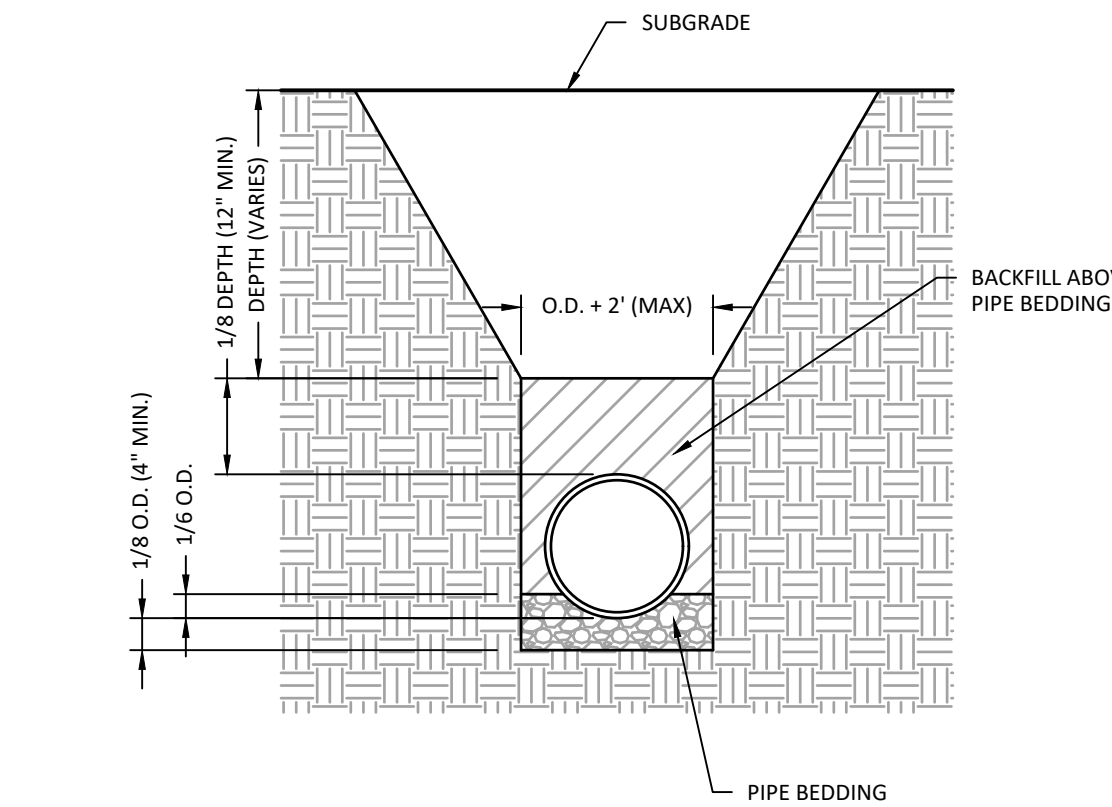
10
C2.11
CURB TRANSITION B-612 TO RIBBON CURB

NOT TO SCALE



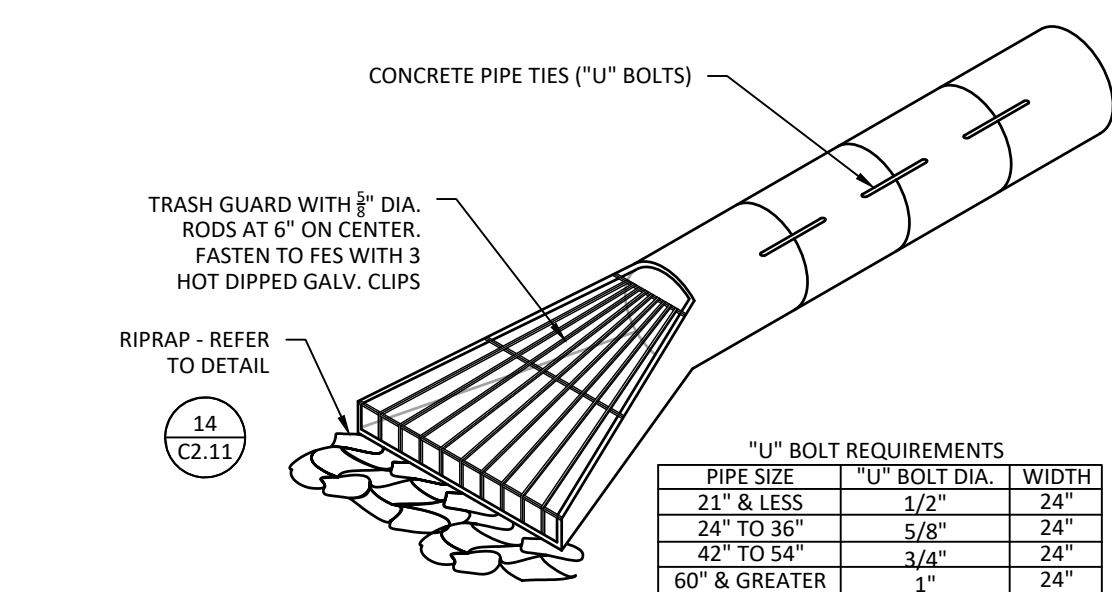
11
C2.11
STORM SEWER MANHOLE

NOT TO SCALE



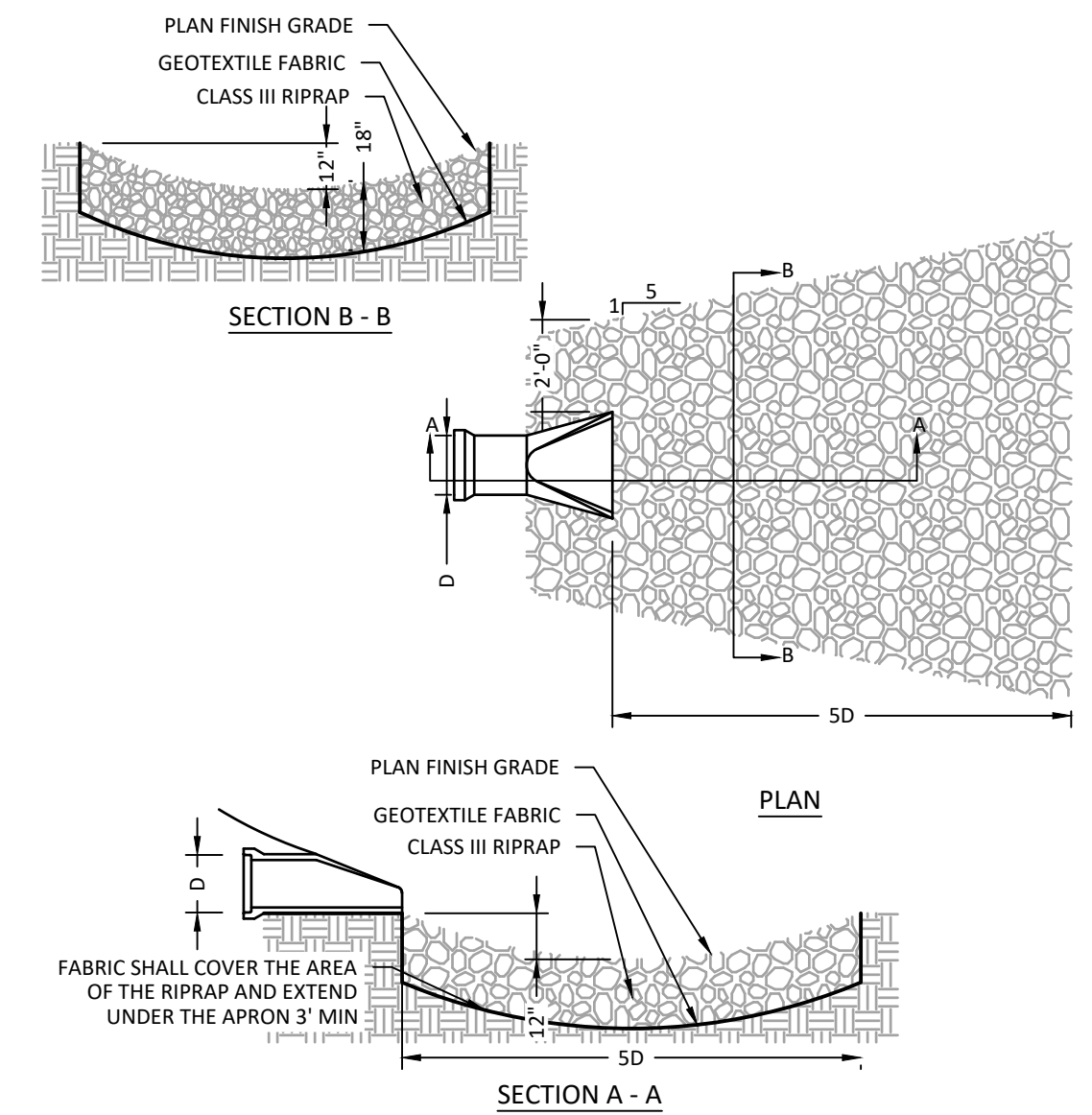
12
C2.11
PIPE BEDDING - RCP & DIP

NOT TO SCALE



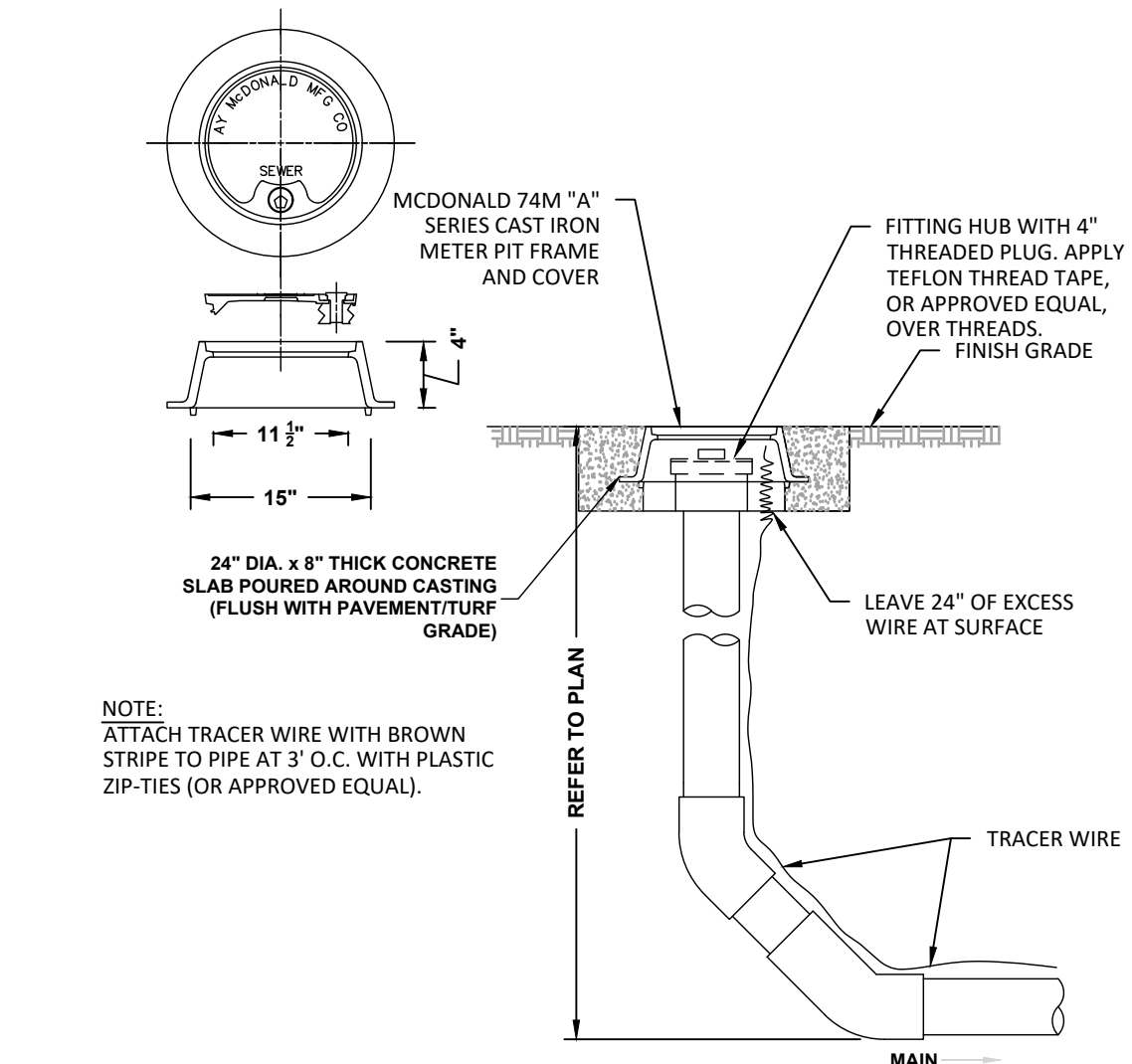
13
C2.11
RCP FLARED END SECTION (FES)

NOT TO SCALE



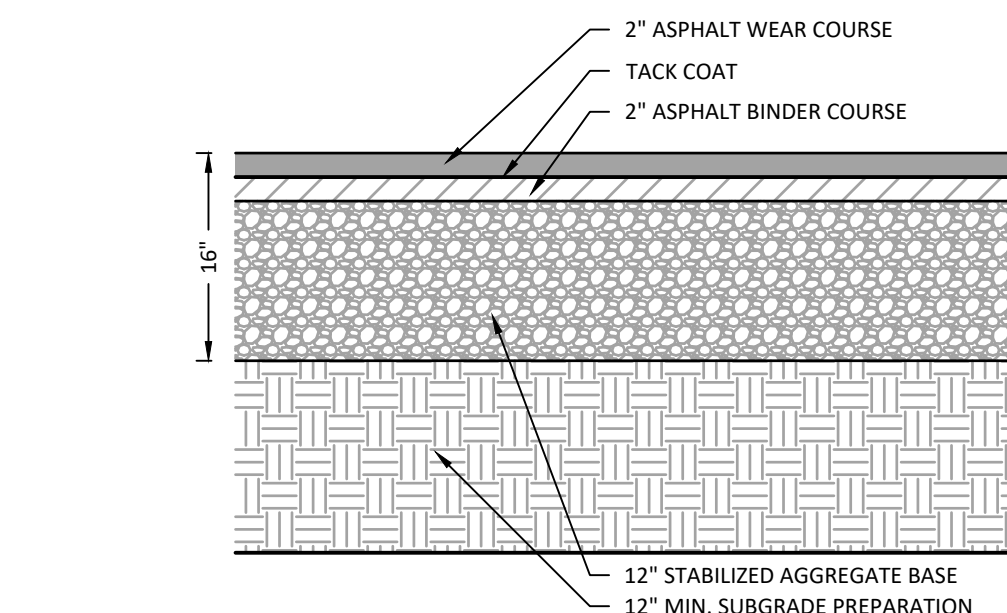
14
C2.13
RIPRAP AT FLARED END SECTION

NOT TO SCALE



15
C2.11
CLEANOUT ASSEMBLY

NOT TO SCALE



16
C2.11
HEAVY DUTY ASPHALT PAVEMENT

NOT TO SCALE

PRELIMINARY DRAFT - FOR REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024

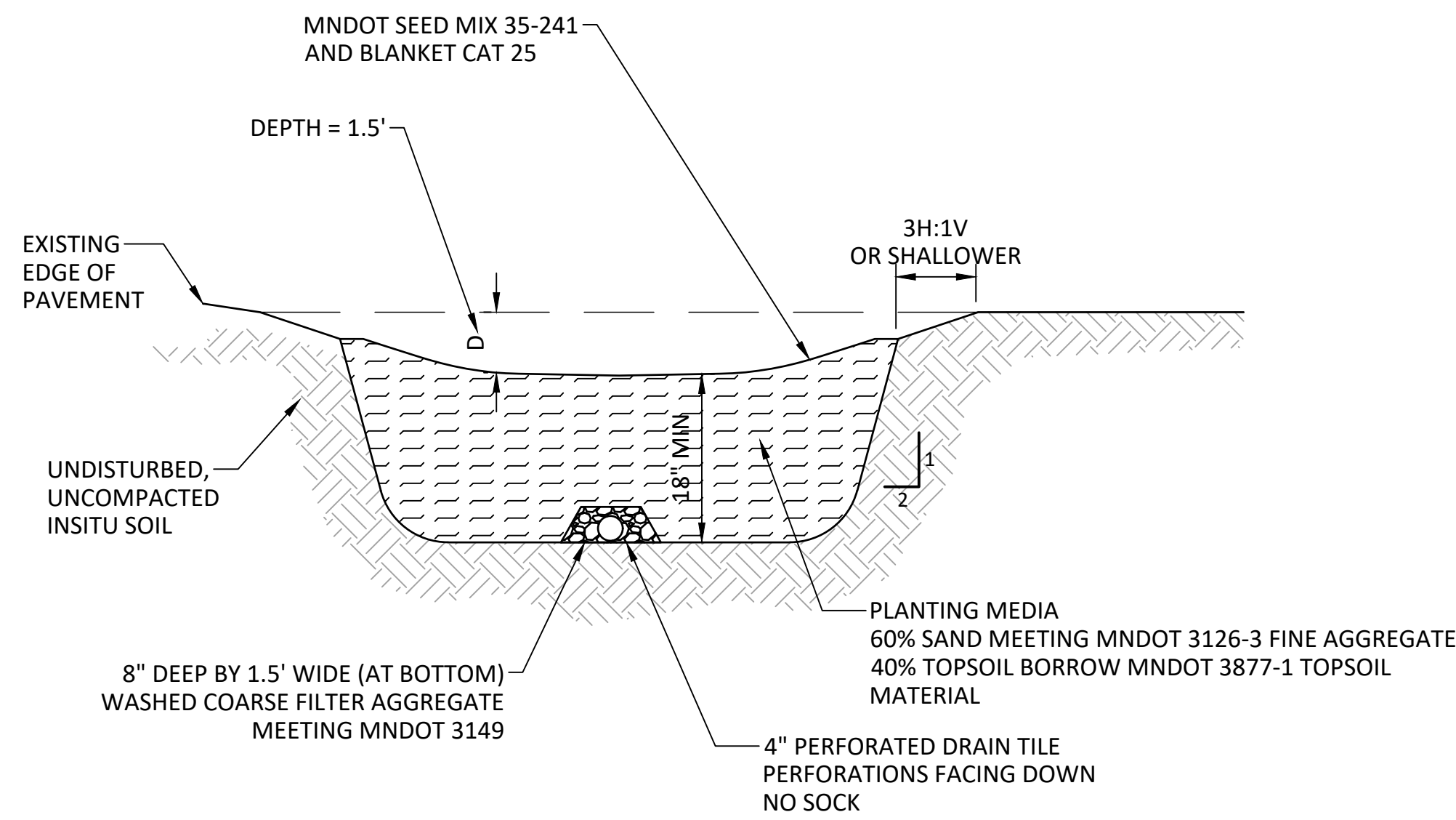


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY DRIVE & PLAZA, FIELDS 50 & 51
SITE DETAILS

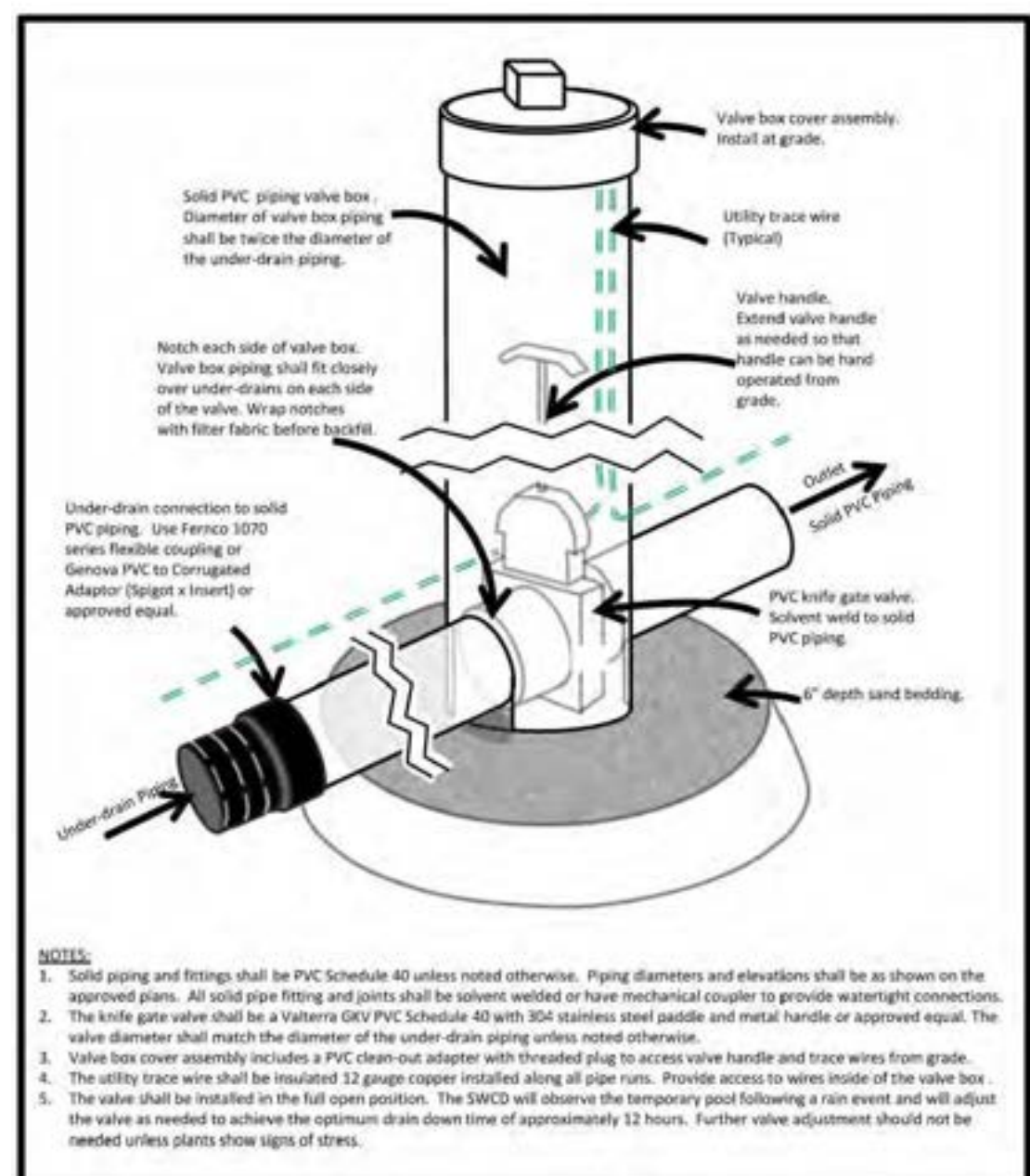
SHEET
C2.11



1
C2.12
BIORETENTION POND 3
NOT TO SCALE

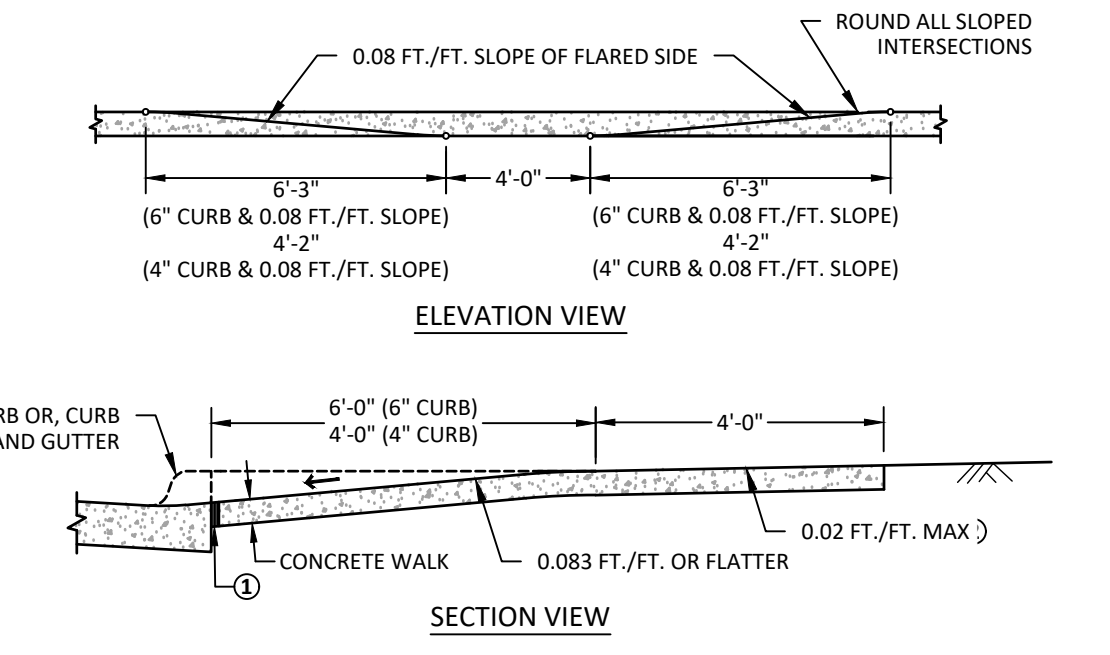
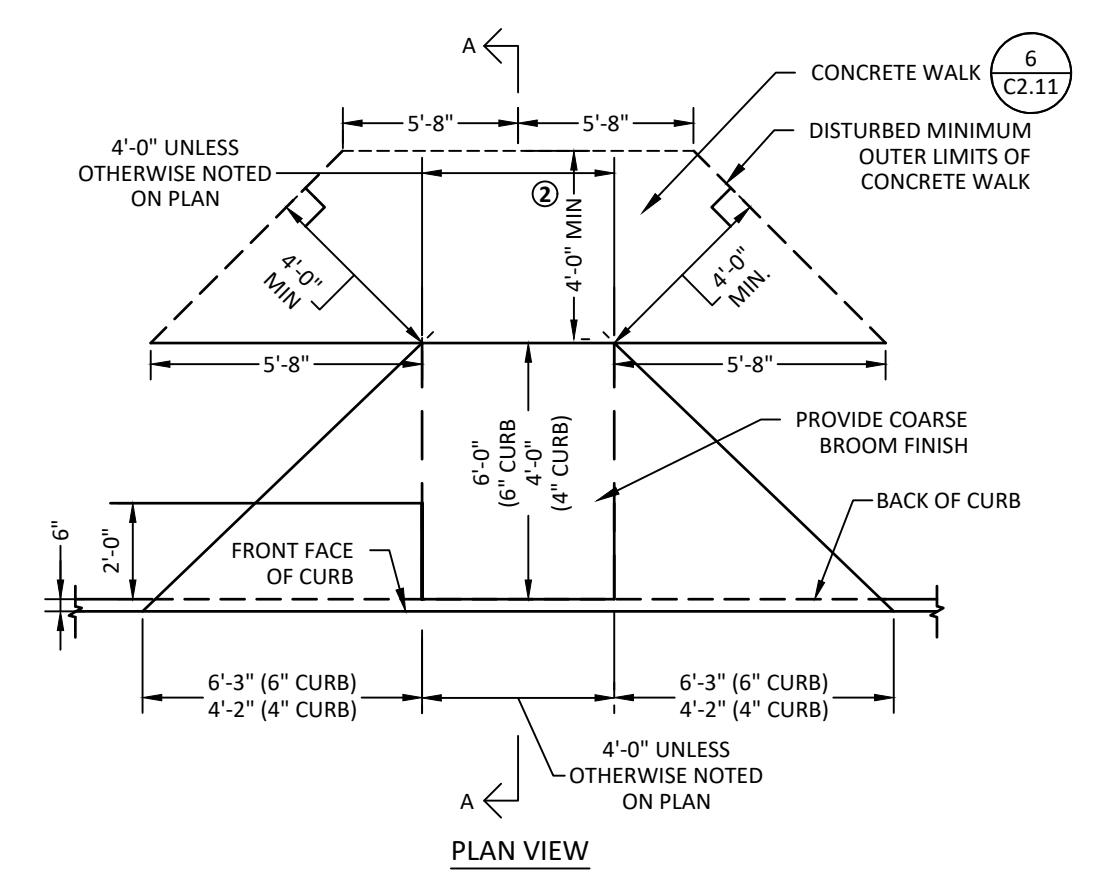
BIORETENTION POND 3 NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE FILTRATION AREA DURING CONSTRUCTION.
2. PERFORM WEEKLY INSPECTIONS, INCLUDING AFTER EACH RAINFALL EVENT.
3. ROUGH GRADE THE SITE.
4. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
5. COMPLETE GRADING AND STABILIZATION OF FILTRATION AREA ONLY AFTER THE CONTRIBUTING DRAINAGE AREA'S VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION, OR PLACEMENT OF SOIL STABILIZATION AND APPROVED BY ENGINEER, AND BEFORE CONSTRUCTION AND INSTALLING VEGETATION IN FILTRATION AREAS.
6. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA AFTER VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION.
7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
8. SUBGRADE SHALL BE PREPARED SO THAT THE AREA BENEATH THE BASINS AND EMBANKMENTS IS STRIPPED OF ALL VEGETATION, TOPSOIL, AND ORGANIC MATTER.
9. INSTALLATION WITH DRY SOIL CONDITIONS IS CRITICAL TO PREVENT SMEARING AND COMPACTION. SCHEDULE WORK FOR PERIODS OF DRY WEATHER. DO NOT WORK IF SOIL CONDITIONS ARE WET. EXCAVATION, SOIL PLACEMENT AND RAPID STABILIZATION OF PERIMETER SLOPES WITH METHODS SHOWN ON PLAN MUST BE COMPLETED BEFORE THE NEXT PRECIPITATION EVENT.
10. REMOVAL OF ACCUMULATED SEDIMENT AND DEBRIS SHALL BE DONE BY HAND OR, IF SELF-PROPELLED EQUIPMENT IS REQUIRED, FROM OUTSIDE THE PERIMETER OF THE FILTRATION AREAS.



2
C2.12
PVC GATE VALVE
NOT TO SCALE

- NOTES:**
1. Solid piping and fittings shall be PVC Schedule 40 unless noted otherwise. Piping diameters and elevations shall be as shown on the approved plans. All solid pipe fitting and joints shall be solvent welded or have mechanical coupler to provide watertight connections.
 2. The knife gate valve shall be a Valterra GRV PVC Schedule 40 with 304 stainless steel paddle and metal handle or approved equal. The valve diameter shall match the diameter of the under-drain piping unless noted otherwise.
 3. Valve box cover assembly includes a PVC clean-out adapter with threaded plug to access valve handle and trace wires from grade.
 4. The utility trace wire shall be insulated 12 gauge copper installed along all pipe runs. Provide access to wires inside of the valve box.
 5. The valve shall be installed in the full open position. The SWCD will observe the temporary pool following a rain event and will adjust the valve as needed to achieve the optimum drain down time of approximately 12 hours. Further valve adjustment should not be needed unless plants show signs of stress.



3
C2.12
PEDESTRIAN CURB RAMP
NOT TO SCALE

- NOTES:**
1. 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.
 2. PROVIDE A PATH OF TRAVEL 4'-0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP.

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\C2.12\DETAIL.dwg 6/3/2024 2:25:56 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Tim Olson

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024



3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

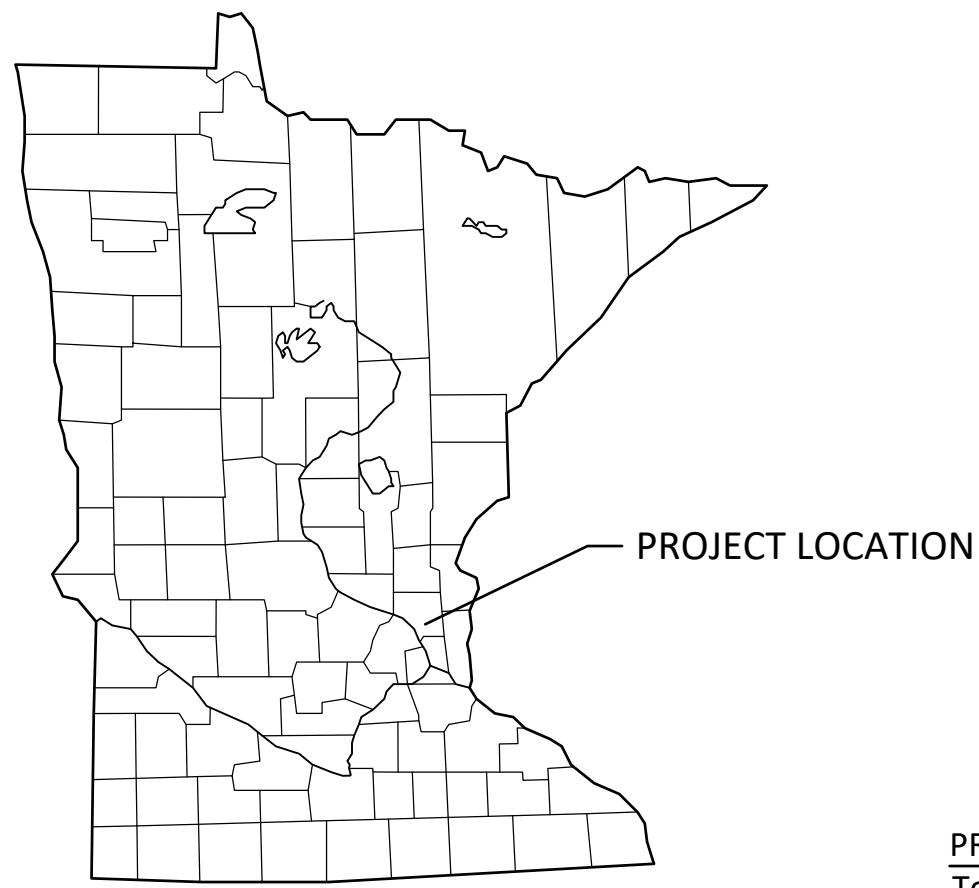
NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY DRIVE & PLAZA, FIELDS 50 & 51
SITE DETAILS

SHEET
C2.12

PRELIMINARY DRAFT - FOR REVIEW ONLY

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

NATIONAL SPORTS CENTER - 2024
CITY OF BLAINE
ANOKA COUNTY, MINNESOTA



LEGEND

- 1-MILE BOUNDARY
- PROJECT BOUNDARY
- OR IMPAIRED WATERS
- OR SPECIAL OR PROTECTED WATERS
- NATIONAL WETLANDS INVENTORY
- RECEIVING WATERS

PROJECT AREAS:

Total Project Size (disturbed area) =	8.9700	ACRES
Existing area of impervious surface =	0.1830	ACRES
Post construction area of impervious surface =	0.6206	ACRES
Total new impervious surface area created =	0.4376	ACRES

Planned Construction Start Date: 7/29/2024
Estimated Construction Completion Date: 12/31/2024

PERMANENT STORMWATER MANAGEMENT SYSTEM:

Type of storm water management used if more than 1 acre of new impervious surface is created:

<input type="checkbox"/>	Wet Sedimentation Basin
<input checked="" type="checkbox"/>	Infiltration/Filtration
<input type="checkbox"/>	Regional Pond
<input type="checkbox"/>	Permanent Stormwater Management Not Required

*- Less than 1 acre of impervious reconstruction

PROJECT LOCATION:

COUNTY	TOWNSHIP	RANGE	SECTION	LATITUDE	LONGITUDE
ANOKA	T31N	R23W	20	45.16014°	-93.22381°

BMP SUMMARY	QUANTITY	UNIT
Construction Entrance	2	EACH
Silt Fence	2300	LF
Inlet Protection Device	10	EACH
Seed Mix 1	TBD	ACRE
Seed Mix 2	TBD	ACRE
Biolog	1550	LF

DESCRIPTION OF CONSTRUCTION ACTIVITIES AND STORMWATER MANAGEMENT:

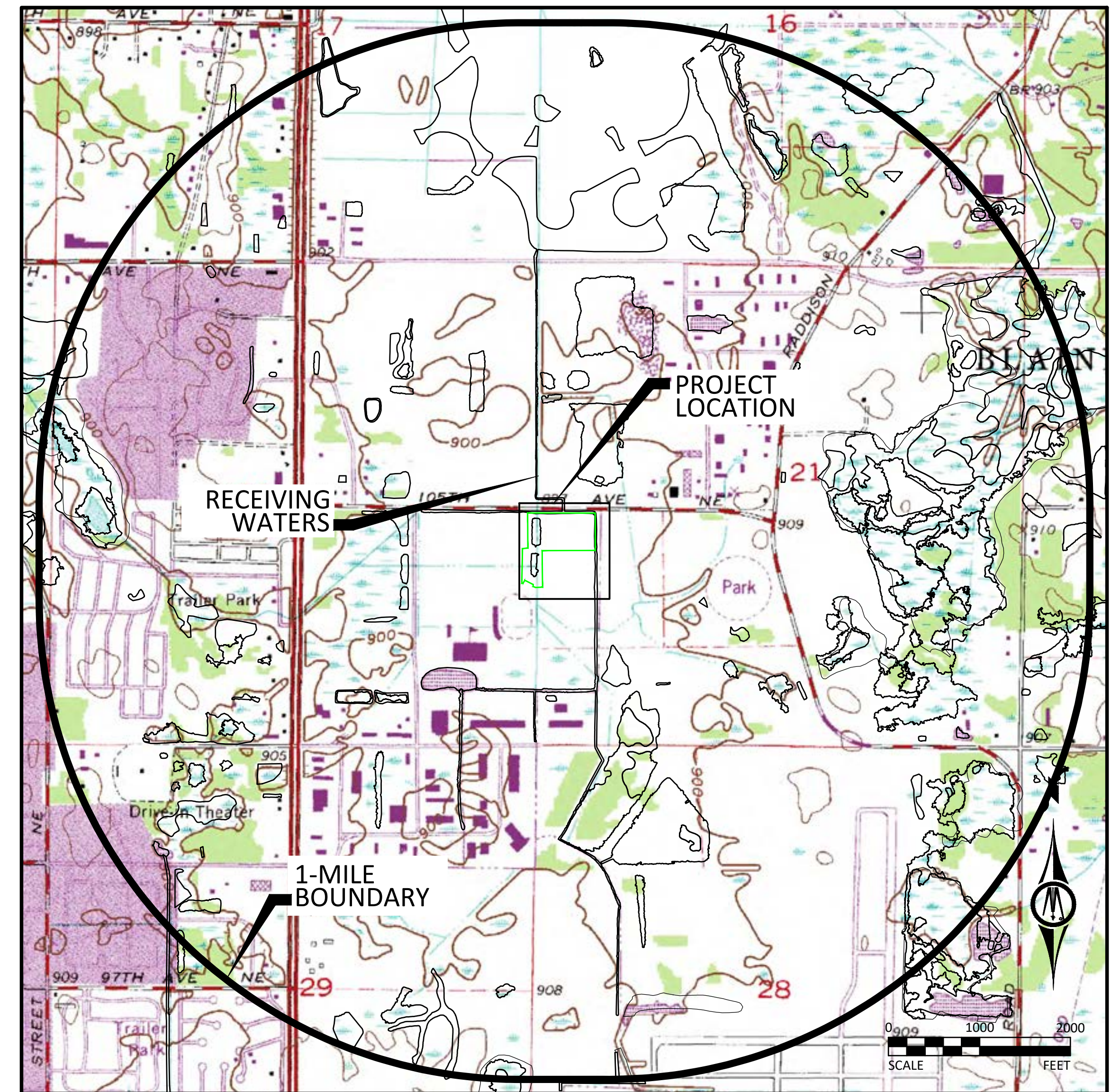
Construction activities include: Site grading, field construction, parking lot improvements, temporary erosion and sediment control, and permanent stabilization.

Pavement improvements to the Super Rink parking area is proposed to improve traffic flow and safety. Activities will include realignment of drive lanes, parking areas, and the expansion of the existing wet sedimentation basin on site; however, it will not include full depth pavement reconstruction. While no impervious reconstruction will occur, the wet sedimentation basin will be expanded for aesthetic purposes and additional gravel pathways installed, resulting in a net increase of approximately 0.5 acres of impervious.

Additionally, Fields 50 and 51, directly north of the Super Rink, will be raised to improve drainage and reduce the flood frequency of those fields and to provide grass berms for spectator seating. Stormwater from the parking lot currently flows to the existing wet sedimentation, which outlets to county ditch 41. Stormwater from the field sheet flows into county ditch 41.

After construction is complete, stormwater will flow the same as pre-construction.

Stormwater BMPs proposed; wet sedimentation.



RECEIVING WATERS: Receiving waters, including surface water, wetlands, Public Waters, and stormwater ponds, within 1-mile of the project boundary are identified on the USGS 7.5 min quad map above. Receiving waters that are impaired, the impairment, and WLA are listed as follows. All specific BMPs relative to construction activities listed in the permit for special, prohibited, restricted, or impaired have been incorporated into this plan. All specific BMPs listed in approved TMDLs and those BMPs listed for construction related waste load allocations have also been incorporated.

NAME OF WATER BODY	TYPE (ditch, pond, wetland, lake, etc.)	Special, Prohibited, Restricted Water ¹	Flows to Impaired Water Within 1-Mile ²	USEPA Approved Construction Related TMDL ³
County Ditch 41	Ditch	No	No	-

¹ Special, prohibited, and restricted waters are listed in Section 23 of the MN Construction Stormwater General Permit (MNR100001).
² Identified as impaired under section 303 (d) of the federal Clean Water Act for phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.
³ Construction Related TMDLs include those related to: phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.

IMPLEMENTATION SCHEDULE AND PHASING: The Contractor is required to provide an updated schedule and site management plan meeting the minimum requirements of Section 1717 of the Minnesota Standard Specifications for Construction.

- 1) Submit SWPPP Updates to Engineer. Submittal shall include any requested changes to the SWPPP, including but not limited to: Trained Personnel, Locations for Stockpiles, Concrete Washout, Sanitation Facilities, Types and Locations of Erosion & Sediment Control. Failure to submit updates shall be considered acceptance of the SWPPP as designed with no changes.
- 2) Install perimeter sediment control, inlet protection, and construction exit.
- 3) Complete removals
- 4) Complete mass grading
- 5) Complete parking area improvements
- 6) Add additional temporary BMPs as necessary during construction based on inspection reports.
- 7) Ensure final stabilization measures are complete.
- 8) Provide digital copy of all Field SWPPP Documentation including Inspection Reports and SWPPP Revisions to the Owner.
- 9) Submit Notice of Termination (NOT) to MPCA. NOTE: The NOT must be submitted to MPCA before Final Stabilization is considered complete.

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. DIMKE-PR01132884-CD0112484-SWPPP_PROJ-INFO-MAP.dwg 6/27/2024 2:26:13 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
SWPPP - PROJECT DESCRIPTION

SHEET

C3.11

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R100001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	24 hours
--	----------

SITE INSPECTION INTERVAL:

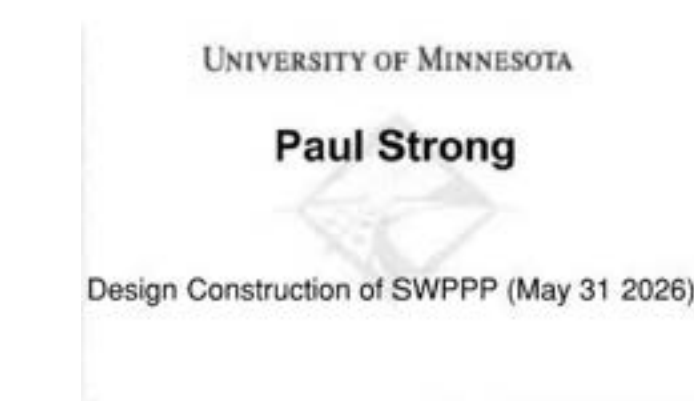
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
--	-----------------

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1) Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2) Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3) Does any portion of this site discharge to a Calcareous fen.	NO
4) Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5) Have any Karst features been identified in the project vicinity?	NO
6) Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7) Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	In Progress
Watershed Permit	CCWD	In Progress

SWPPP DESIGNER TRAINING DOCUMENTATION:



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JRP

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
SWPPP - NARRATIVE

SHEET
C3.12

© Bolton & Menk, Inc. 2024. All Rights Reserved. DIMKE-PROJ132884-CDU-C312-2684-SWPPP_PROJ-INFO-MAP.dwg 6/2/2024 2:26:14 PM

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 15

Applicant/Landowner:

National Sports Center
Attn: Neil Ladd
1700 105th Ave NE
Blaine, MN 55449

Project Name: Turf Field and Campus Improvements

Project PAN: P-24-004

Project Purpose: Conversion of natural turf fields to artificial turf and a 30-foot-wide roadway

Project Location: Numerous locations across National Sports Center Campus, 1700 105th Ave NE, Blaine

Site Size: size of parcel - 300 acres; size of disturbed area – 34.29 acres; size of regulated impervious surface - 0.67

Applicable District Rule(s): Rule 2, Rule 3, Rule 4, Rule 6

Recommendation: Approve with 2 Conditions and 4 Stipulations

Description: The National Sports Center is proposing several improvements to the campus including widening of an existing roadway, regrading of multiple soccer fields, roadway and sidewalk reconfiguring, and reconstruction of an existing pond. An interim grading permit was approved (3/11/24) and issued on March 13, 2024, which encompassed the proposed soccer field grading. This approval is for the remainder of the proposed work. The total disturbance is 34.29 acres. The project will create 0.67 acres of regulated impervious. The project area drains to County Ditch 41. The relevant water resource concerns are stormwater management, erosion and sediment control, and floodplain. These correlate to District Rules 3, 4, and 6. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$6,485.00 for increase in area of disturbance from previously approved application.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001)
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
3. Submittal of grading as-builts for the project to confirm adequate floodplain compensatory storage has been provided.
4. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
MIDS	Bolton & Menk		06/03/2024
Construction Plans	Bolton & Menk	06/03/2024	06/03/2024
HydroCAD Models (Existing&Proposed)	Bolton & Menk		07/17/2024
Project Narrative & Stormwater Management Plan	Bolton & Menk	07/17/2024	07/17/2024
Construction Plans	Bolton & Menk	05/31/2024	07/17/2024

Findings

Fees and Escrows (Rule 2.7): The applicant has submitted a \$4,800.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 300 acres (\$4,500.00), and addition to base fee (\$300.00). The applicant will be required to submit a performance escrow in the amount of \$6,485.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (8.97 acres of land disturbance proposed). The applicant has already paid escrow fees of \$14,660.00 for previously approved disturbance of 25.32 acres.

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG A.

Rate Control: Peak stormwater flow rate at each point of site discharge increases from the pre-development condition for the several precipitation events as shown in Table 1. The rate increase for the existing NSC pond discharge point results in a static bounce of less than 0.1 feet in the pond, which is entirely contained within the applicant's property. No surrounding structures would be impacted. The rate increase for the Super Rink pond was modeled in XPSWMMM and showed no adverse impacts and no increase in downstream high water levels. The project will not impact Drainage Sensitive Use areas. The rate control standard is considered met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
Super Rink Pond	0.87	0.07	1.39	1.53	2.53	2.64
CD 41	0.38	0.24	0.58	0.36	1.32	1.22

Existing NSC Pond	0	0.18	0.02	0.27	0.65	1.26
-------------------	---	------	------	------	------	------

Table 1.

Volume Control:

The application proposes redevelopment which does not disturb more than 50% of the site or reconstruct more than 50% of the existing impervious surface, therefore the volume reduction requirement is equal to 1.1 inches over the area of new and fully reconstructed impervious surface. The amount of proposed impervious required to be treated is 29,338 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
Access Rd Basin 1 (1S)	11,984	Infiltration basin 1	1	1,098	2,618
Access Rd Basin 2 (2S)	6,357	Infiltration Basin 2	1	582	1,623
Access Rd - Existing NSC Pond	2,253	NSC Pond	0.5	413	413
NSC Entrance Basin 3 (5S)	4,342	Biofiltration Basin 3	0.65	612	1,483
NSC Entrance-Super Rink Pnd	4,402	Super Rink Pond	0.5	807	807
Totals:	29,338			3,514	6,944

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
Biofiltration Basin 3	Vegetated Filter Strip	80
Infiltration Basin 2	Vegetated Filter Strip	80
Infiltration Basin 1	Vegetated Filter Strip	80

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

The volume control standard has been met as shown in Table 2.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
Super Rink Pond	93
CD 41	100
Existing NSC Pond	100

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is not considered new development with buildings and habitable structures; therefore, this section does not apply.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to Ditch 41. The soils affected by the project include Rifle and Lino and have a soil erodibility factor of 0.15 or greater. Disturbed areas are proposed to be stabilized within 24 hours, as required. The proposed erosion and sediment control plan includes perimeter control, rock construction entrance, inlet protection. The erosion control plan meets District Requirements. See attached Figure 3: Erosion and Sediment Control Plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

Rule 6.0 applies to the proposed project because it includes land disturbing activities within or adjacent to the boundary of the 100-year flood elevation as mapped and modeled by the District.

The regulatory floodplain elevation ranges from 895.5 to 898.4 ft MSL. The application proposes the placement of fill within the floodplain. Compensatory storage is required. The proposed project is providing compensatory storage that exceeds the required 1:1 ratio and is within the relevant reach.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

P24-004

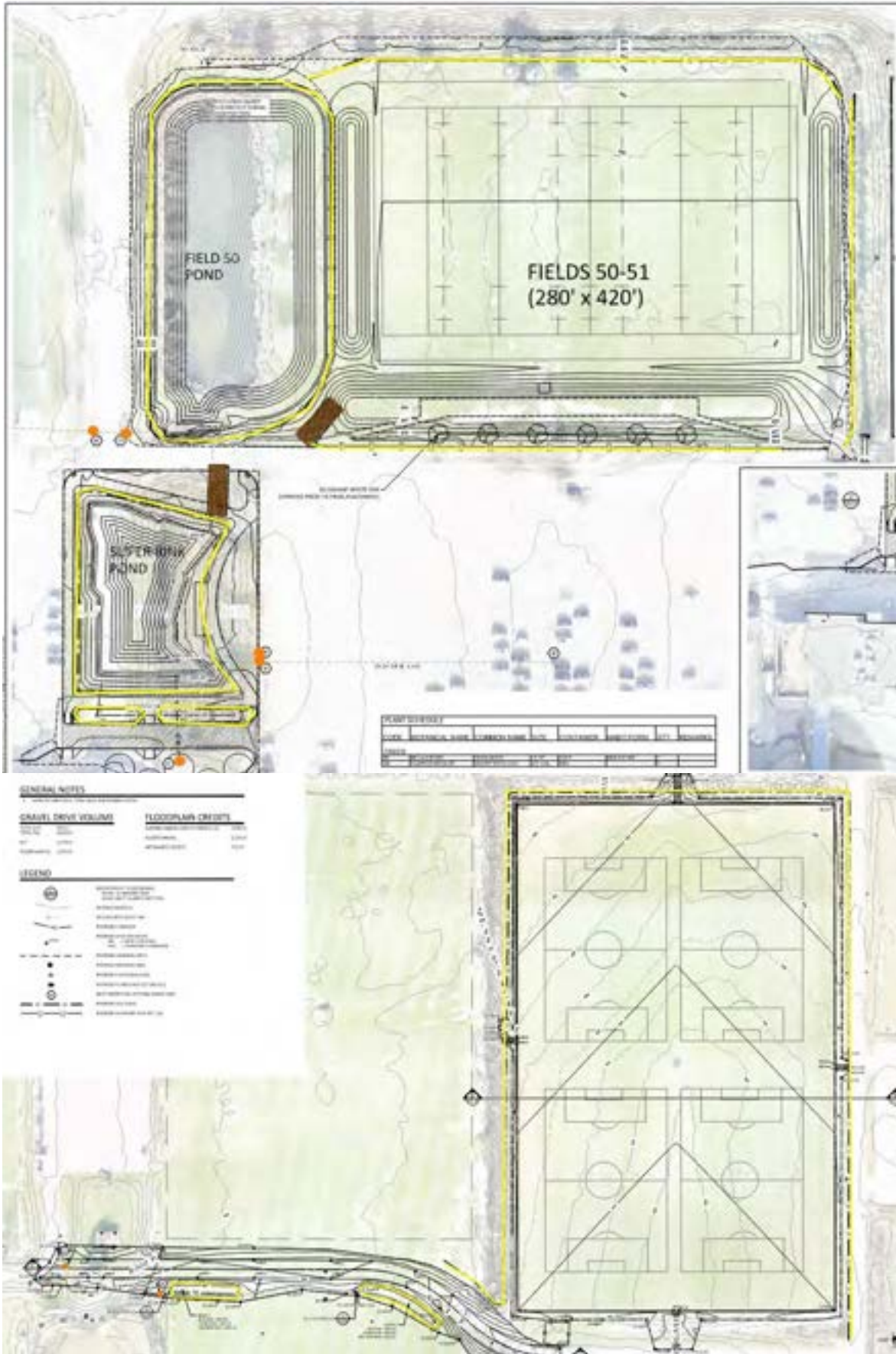


The proposed project is not requesting a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

Figure 1: Project Location



Figure 2: Site Plan



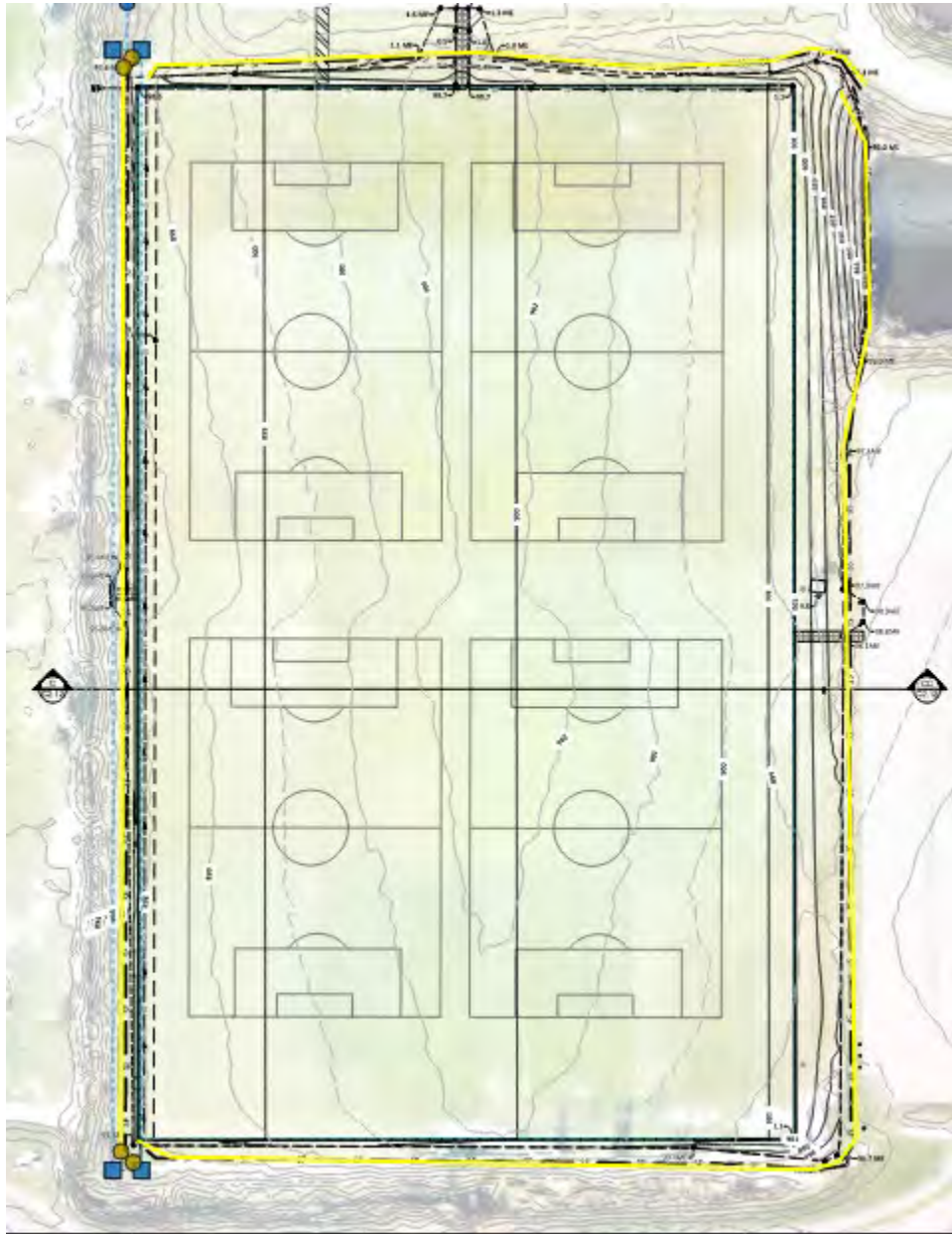




Figure 3: Erosion and Sediment Control Plan



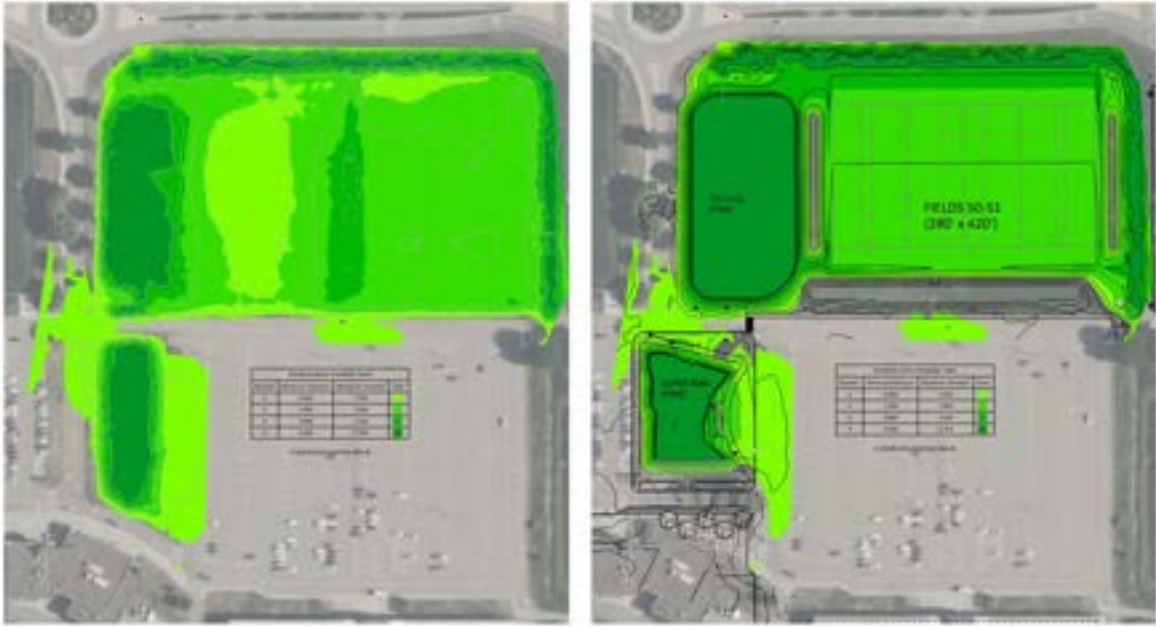


Figure 4: Floodplain Impact

NATIONAL SPORTS CENTER

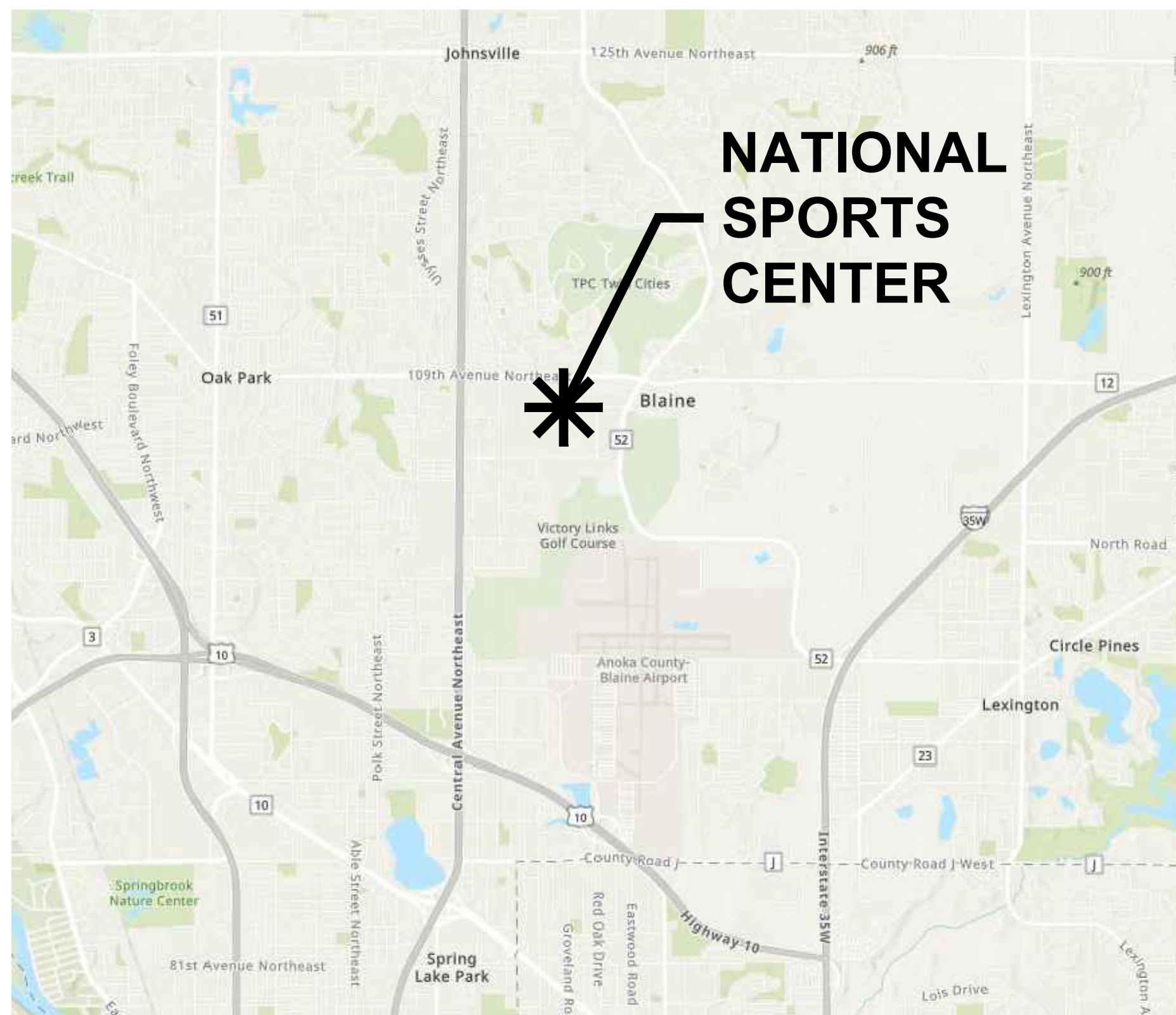
MASC - COB FIELDS

BLAINE, MN

1700 105TH AVE, BLAINE, MN, 55449



VICINITY MAP



GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
- OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY AND WATERSHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
- INSPECT SITE TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
- REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, SHEET C3.12, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
- MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS SHOWN TYPICALLY AS 99.1 OR 99 SHALL BE UNDERSTOOD TO MEAN 899.1 OR 899.
- SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- NO FINISHED SLOPES SHALL EXCEED 3' HORIZONTAL TO 1' VERTICAL (3:1), UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE TURF, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED. REFER TO FINISHING PLANS FOR SEED LOCATIONS. ALL AREAS NOT DESIGNATED FOR SOD OR A SPECIFIC SEED MIX, WHICH ARE DISTURBED BY CONSTRUCTION, SHALL BE SEEDED WITH SEED MIX #1.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.
- ALL DISTURBED AREAS INCLUDING SOIL STOCKPILE SHALL BE STABILIZED WITH VEGETATION WITHIN SEVEN (7) DAYS OF ROUGH GRADING OR 24 HOURS OF INACTIVITY.

DRAWING INDEX

NATIONAL SPORTS CENTER	
C0.01	TITLE SHEET
C0.02	SITE REFERENCE PLAN
FIELDS 25 - 28 AND GRAVEL DRIVE	
C1.11	EXISTING CONDITIONS AND REMOVALS PLAN
C1.12	SITE LAYOUT AND FINISHING PLAN
C1.13	GRADING AND EROSION CONTROL PLAN
C1.14	DRAIN TILE AND STORM SEWER PLAN
FIELDS 29 - 32	
C1.21	EXISTING CONDITIONS AND REMOVALS PLAN
C1.22	SITE LAYOUT AND FINISHING PLAN
C1.23	GRADING AND EROSION CONTROL PLAN
C1.24	DRAIN TILE AND STORM SEWER PLAN
FIELDS 55 & 56	
C1.31	EXISTING CONDITIONS AND REMOVALS PLAN
C1.32	SITE LAYOUT AND FINISHING PLAN
C1.33	GRADING AND EROSION CONTROL PLAN
C1.34	DRAIN TILE AND STORM SEWER PLAN
SITE DETAILS	
C2.11	SITE DETAILS
C2.12	SITE DETAILS
STORMWATER POLLUTION PREVENTION PLAN	
C3.11	SWPPP - PROJECT DESCRIPTION
C3.12	SWPPP - SOILS MAP
C3.13	SWPPP - NARRATIVE

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\132235\CAD\132235_CO_1_TITLESET.dwg 05/20/24 3:45:59 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA

MASC - COB FIELDS

TITLE SHEET

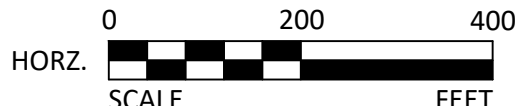
SHEET

C0.01



NOTES:

1. REFER TO SHEET C0.01 - TITLE SHEET, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
4. ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE SYNTHETIC TURF SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
5. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. A:\DIMKE\DC_P\01131223\CAD\C0.02\TITLESET.dwg 05/03/2024 3:46:06 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24






7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 MASC - COB FIELDS
 SITE REFERENCE PLAN

SHEET
C0.02












LEGEND

-  TREE REMOVALS
-  REMOVALS KEY NOTE
-  PROTECTION KEY NOTE
- XXXXXXXXXXXXXXXXXXXXXXXXXXXX· SAWCUT

NOTES

1. REFER TO SHEET C1.0, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

-  REMOVE TREE, INCLUDING STUMP
-  REMOVE AND SALVAGE IRRIGATION
-  SAWCUT
-  PROTECT TREE & LANDSCAPING
-  PROTECT EXISTING PAVEMENT
-  PROTECT STORM SEWER STRUCTURE
-  PROTECT STRUCTURE (MOVE IF NECESSARY)
-  PROTECT SIGN
-  PROTECT IRRIGATION CONTROLS ON POST
-  PROTECT FENCE
-  PROTECT EXISTING CULVERTS



© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1_1_FLD25-28.dwg 6/3/2024 3:46:42 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 FIELDS 25-28 AND GRAVEL DRIVE
 EXISTING CONDITIONS AND REMOVALS PLAN

SHEET

C1.11

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

NOTES:

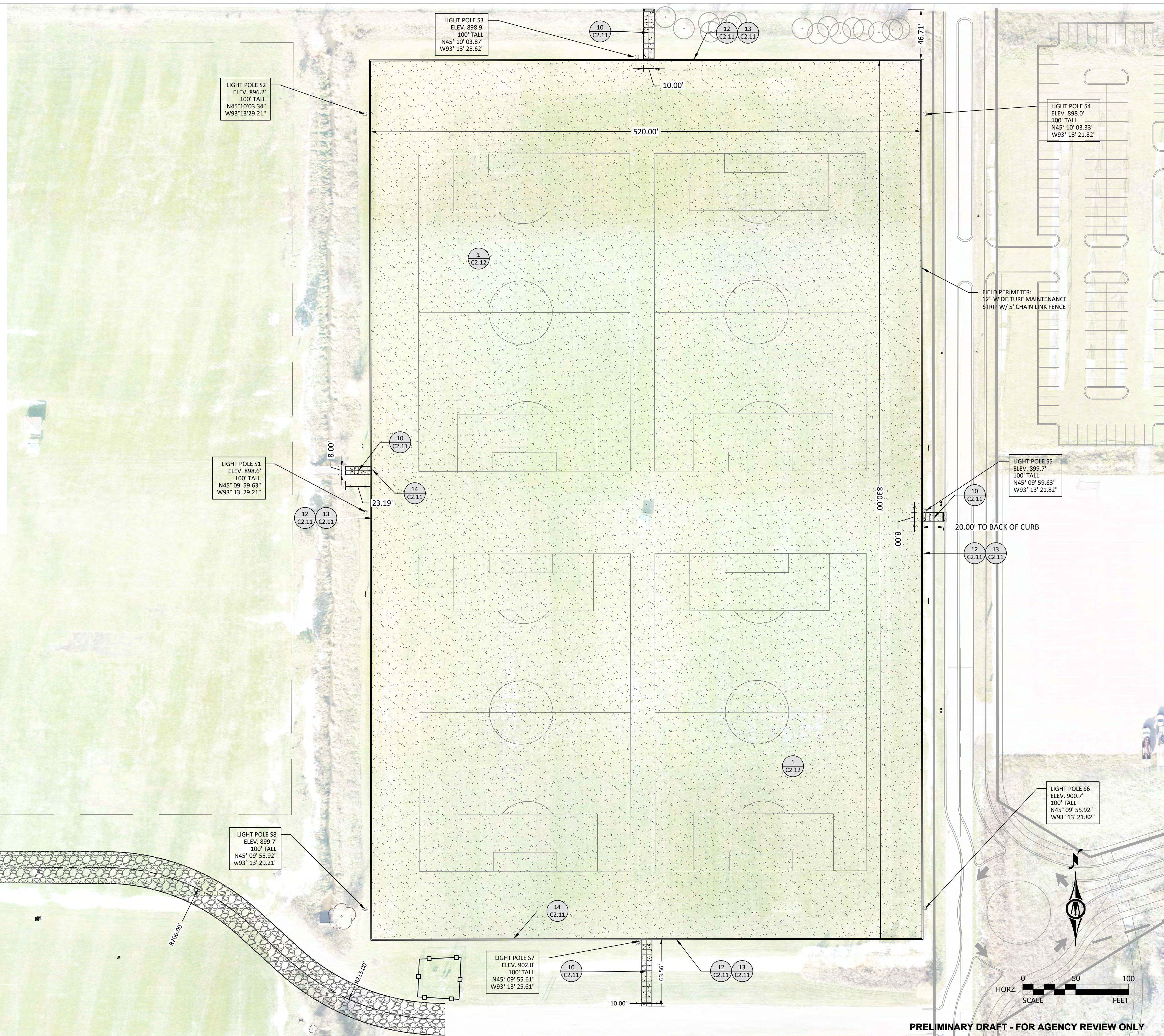
1. REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
4. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- SYNTHETIC TURF FIELD
- PROPOSED GRAVEL SURFACE
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- PROPOSED CHAIN LINK FENCING
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD



© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\131223\CAD\C1.12\0225-28.dwg 6/3/2024 3:46:51 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POMERANCE
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 25-28 AND GRAVEL DRIVE
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.12

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

GENERAL NOTES

- REFER TO SHEET CO.01, TITLE SHEET, FOR GENERAL NOTES.

GRAVEL DRIVE VOLUME

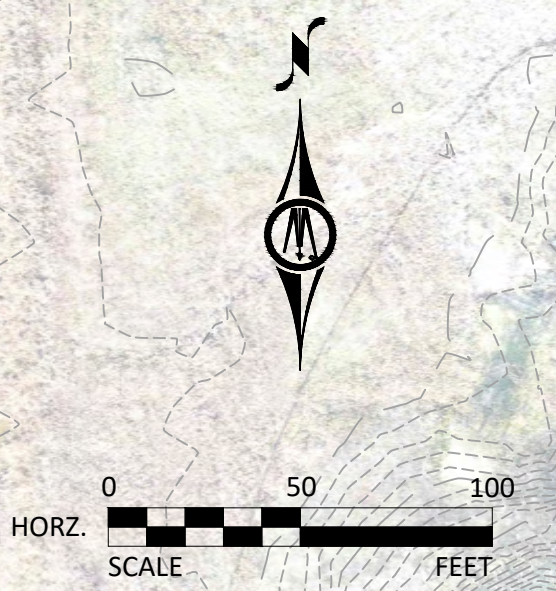
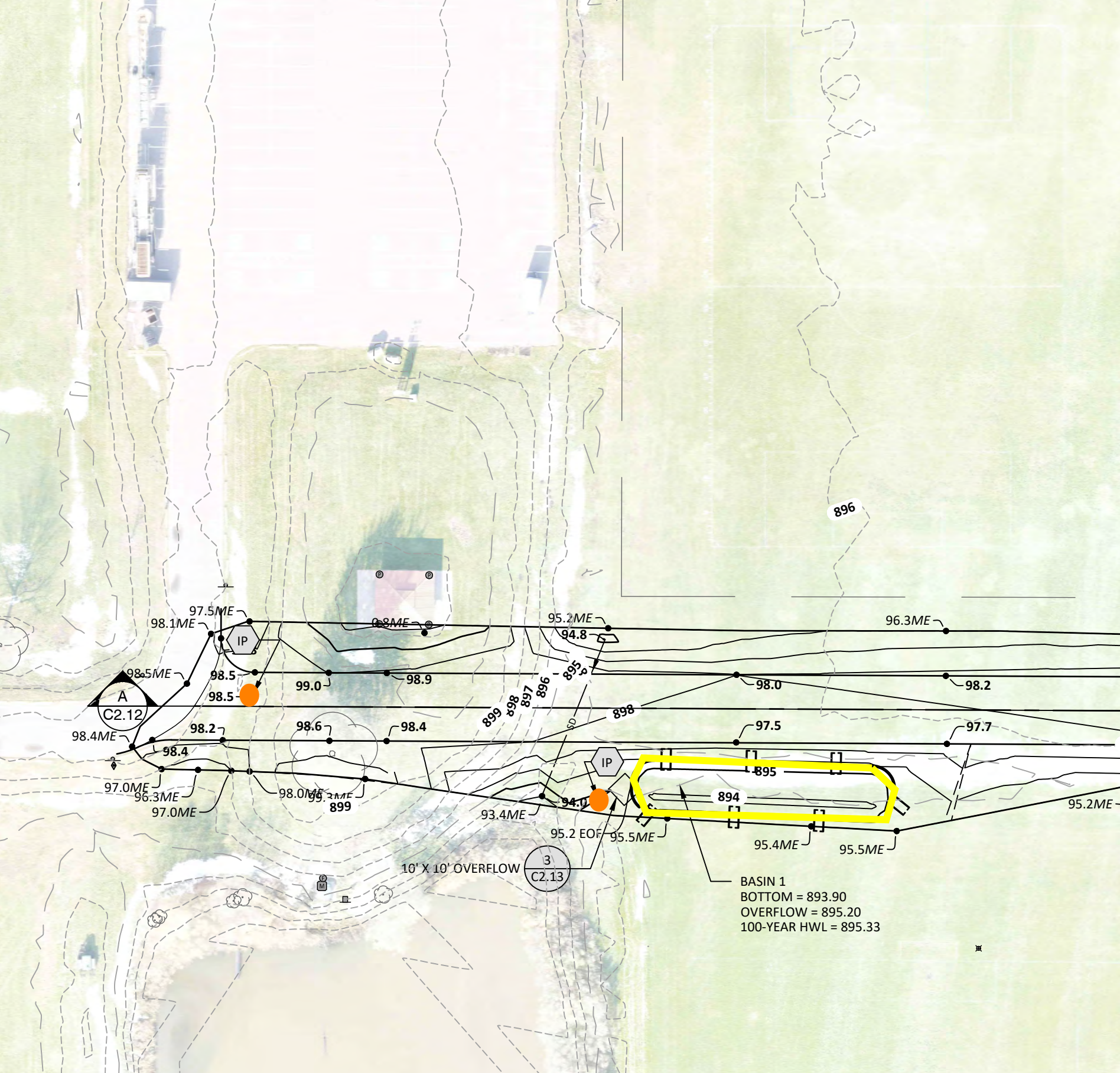
TOTAL CUT: 359 CY
 TOTAL FILL: 2,838 CY
 NET: 2,479 CY
 FLOODPLAIN FILL: 2,279 CY

FLOODPLAIN CREDITS

EXISTING BANKED CREDITS (FIELDS 9-12): 2,550 CY
 FLOODPLAIN FILL: 2,279 CY
 NET BANKED CREDITS: 271 CY

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- INLET PROTECTION AT STORM SEWER INLET
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1_1_FLD25-28.dwg 6/3/2024 3:47:01 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POM...
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 FIELDS 25-28 AND GRAVEL DRIVE
 GRADING AND EROSION CONTROL PLAN

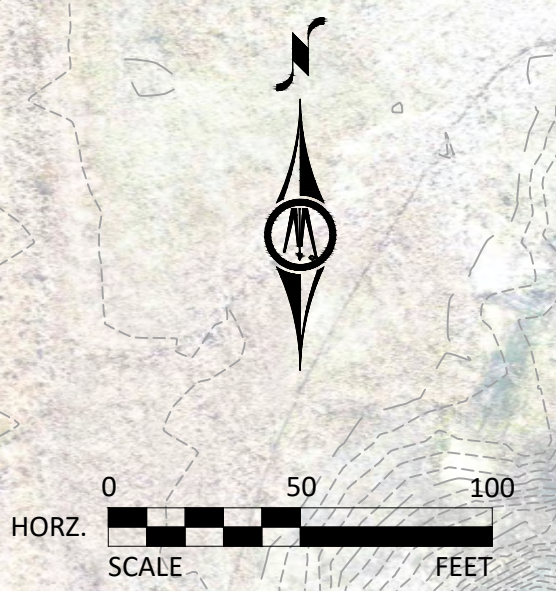
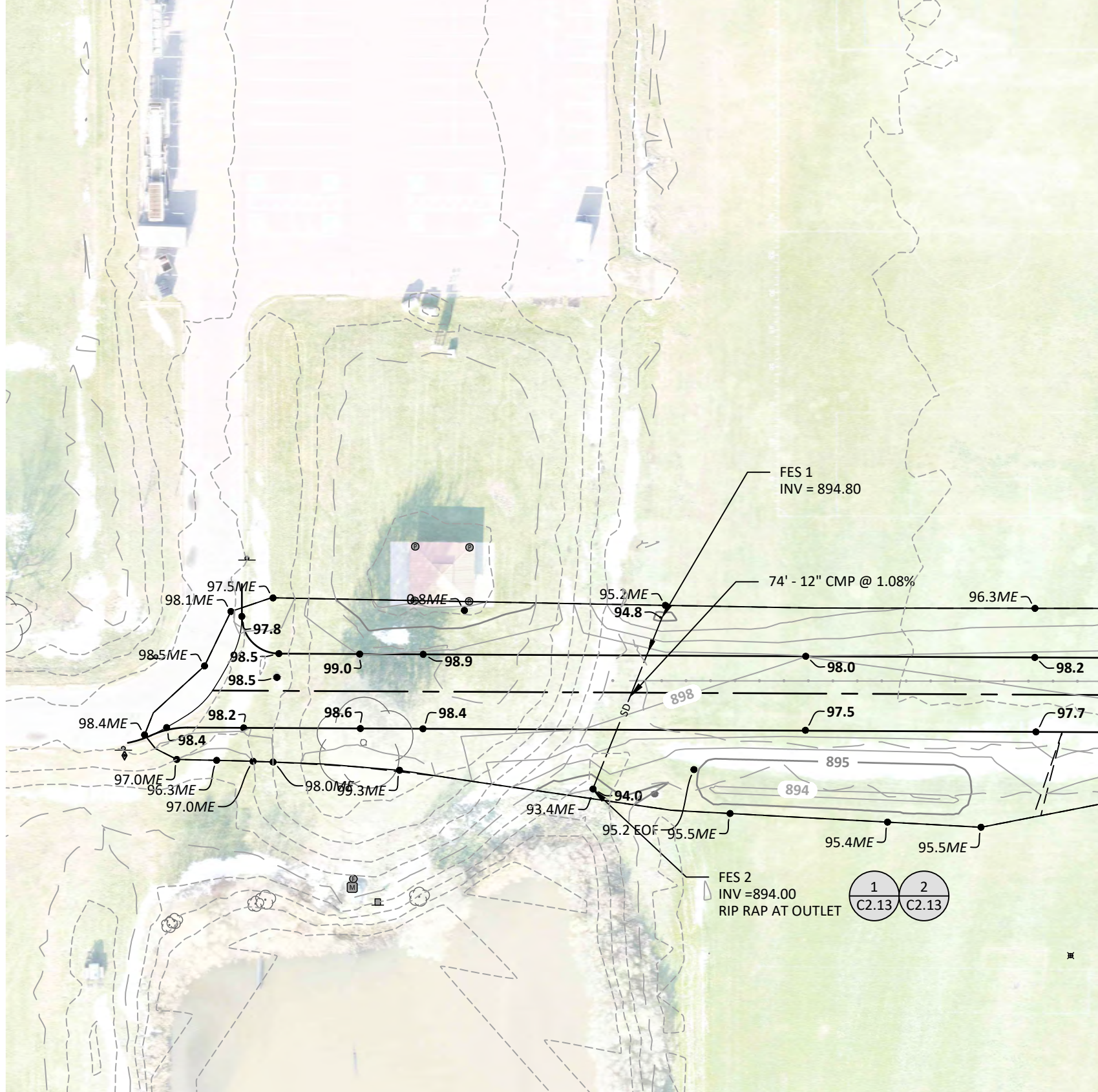
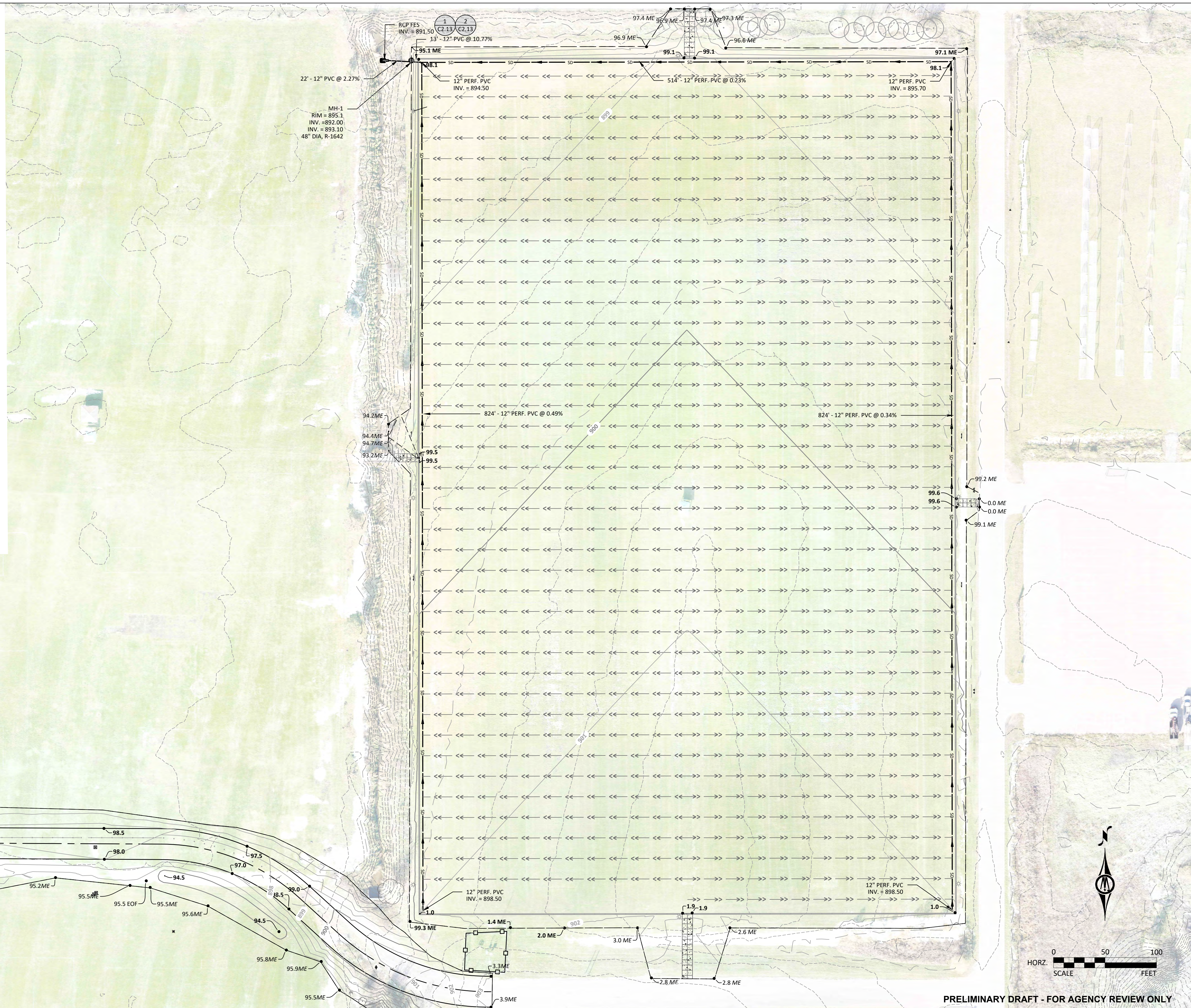
SHEET
C1.13

NOTES

- REFER TO SHEET CO.01, TITLE SHEET, FOR GENERAL NOTES.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1_1_FLD25-28.dwg 6/19/2024 3:47:13 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POM
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 25-28 AND GRAVEL DRIVE
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.14



LEGEND

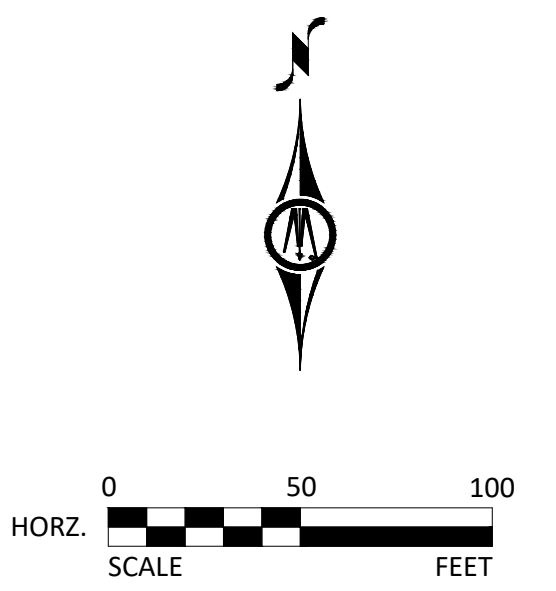
- TREE REMOVALS
- REMOVALS KEY NOTE
- PROTECTION KEY NOTE

NOTES

1. REFER TO SHEET C1.0, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

- REMOVE TREE, INCLUDING STUMP
- REMOVE AND SALVAGE IRRIGATION
- PROTECT TREE & LANDSCAPING
- PROTECT EXISTING PAVEMENT
- PROTECT STORM SEWER STRUCTURE
- PROTECT STRUCTURE (MOVE IF NECESSARY)
- PROTECT SIGN
- PROTECT IRRIGATION CONTROLS ON POST



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1.2_FLD29-32.dwg 6/3/2024 3:47:48 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

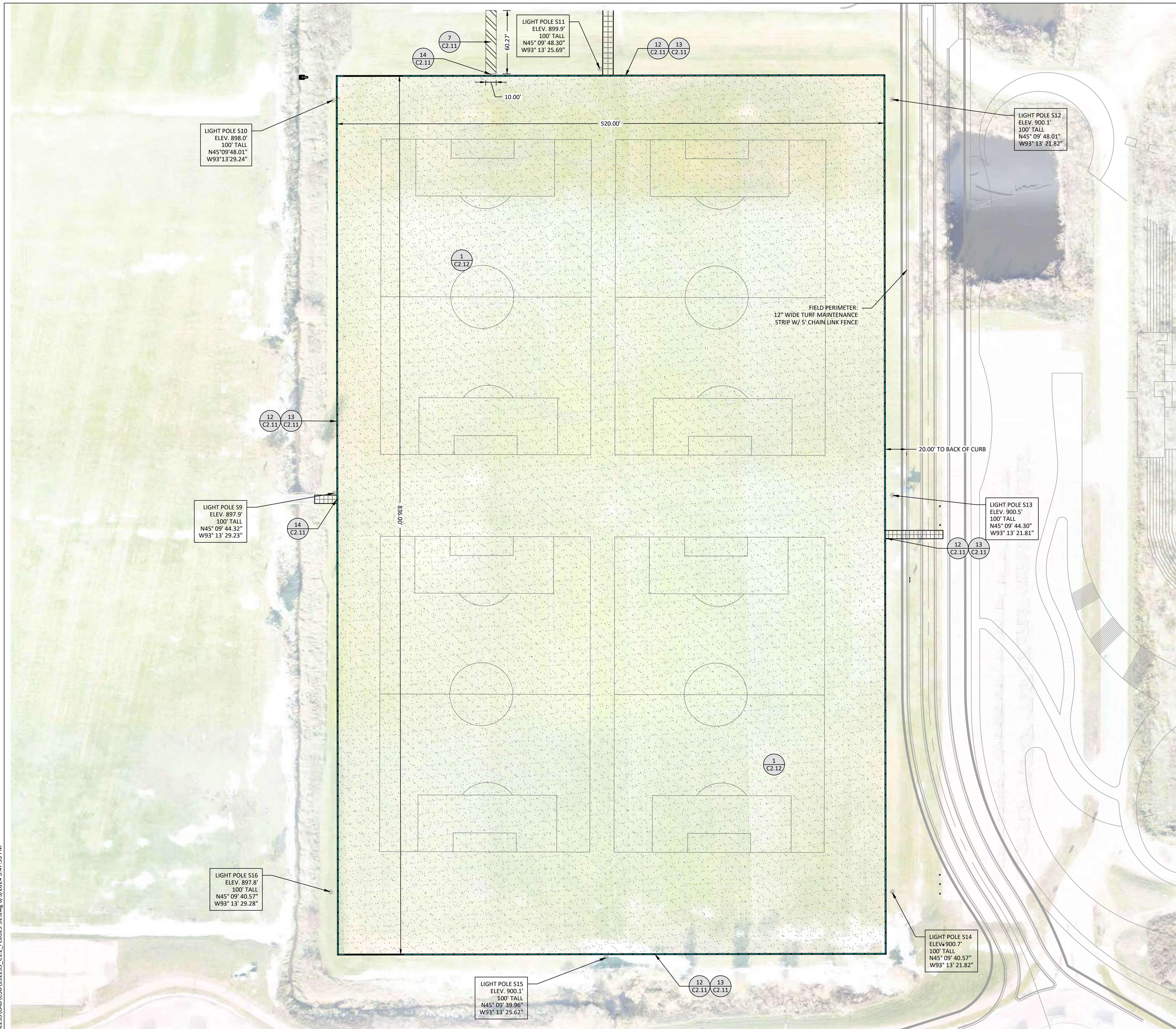
NATIONAL SPORTS CENTER, MINNESOTA

FIELDS 29-32

EXISTING CONDITIONS AND REMOVALS PLAN

SHEET

C1.21



NOTES:

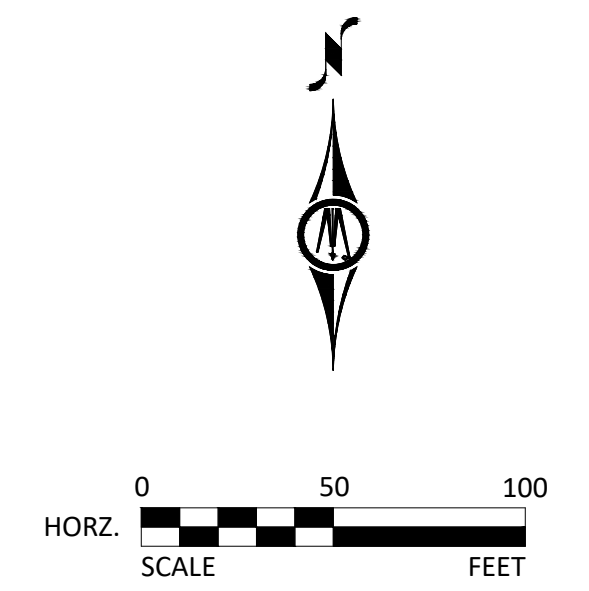
1. REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
4. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- MEDIUM DUTY PAVEMENT
- SYNTHETIC TURF FIELD
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\132235_C1.2_FLD29-32.dwg 6/3/2024 3:47:55 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POMERANCE
LIC. NO. 23543 DATE 06/03/24

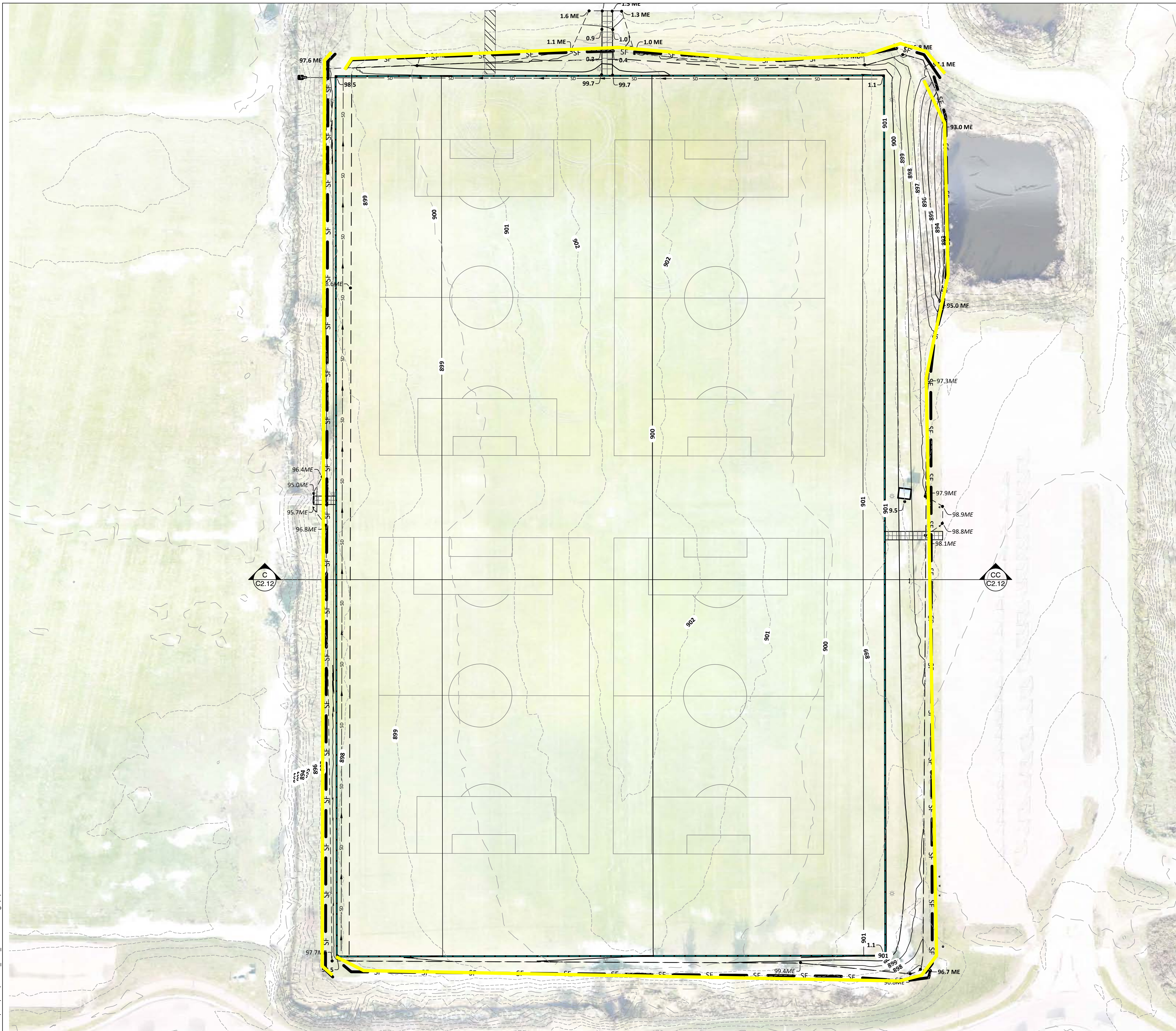


7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 29-32
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.22



GENERAL NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERTFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED SILT FENCE

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235\C1.2_FLD29-32.dwg 6/3/2024 3:48:04 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POM
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 29-32
GRADING AND EROSION CONTROL PLAN

SHEET
C1.23

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

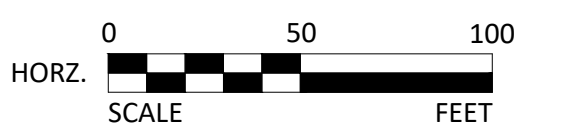


NOTES

- REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION**
 - ME = MATCH EXISTING
 - EOF = EMERGENCY OVERFLOW
 - TC = TOP OF CURB
 - TW = FINISH GRADE AT HIGH SIDE OF WALL
 - BW = FINISH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\132235_C1.2_FLD29-32.dwg 6/3/2024 3:48:12 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

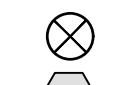
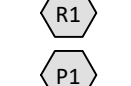
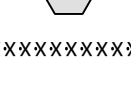
DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 29-32
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.24



LEGEND

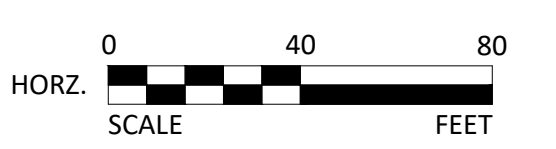
-  TREE REMOVALS
-  REMOVALS KEY NOTE
-  PROTECTION KEY NOTE
- XXXXXXXXXXXXXXXXXXXXXXXXX· SAWCUT

NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

-  REMOVE TREE, INCLUDING STUMP
-  REMOVE AND SALVAGE IRRIGATION
-  PROTECT TREE & LANDSCAPING
-  PROTECT EXISTING PAVEMENT
-  PROTECT STORM SEWER STRUCTURE
-  PROTECT STRUCTURE (MOVE IF NECESSARY)
-  PROTECT SIGN
-  PROTECT IRRIGATION CONTROLS ON POST



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CDR\01131223\CAD\C1.31\0555-56.dwg 6/3/2024 3:48:45 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

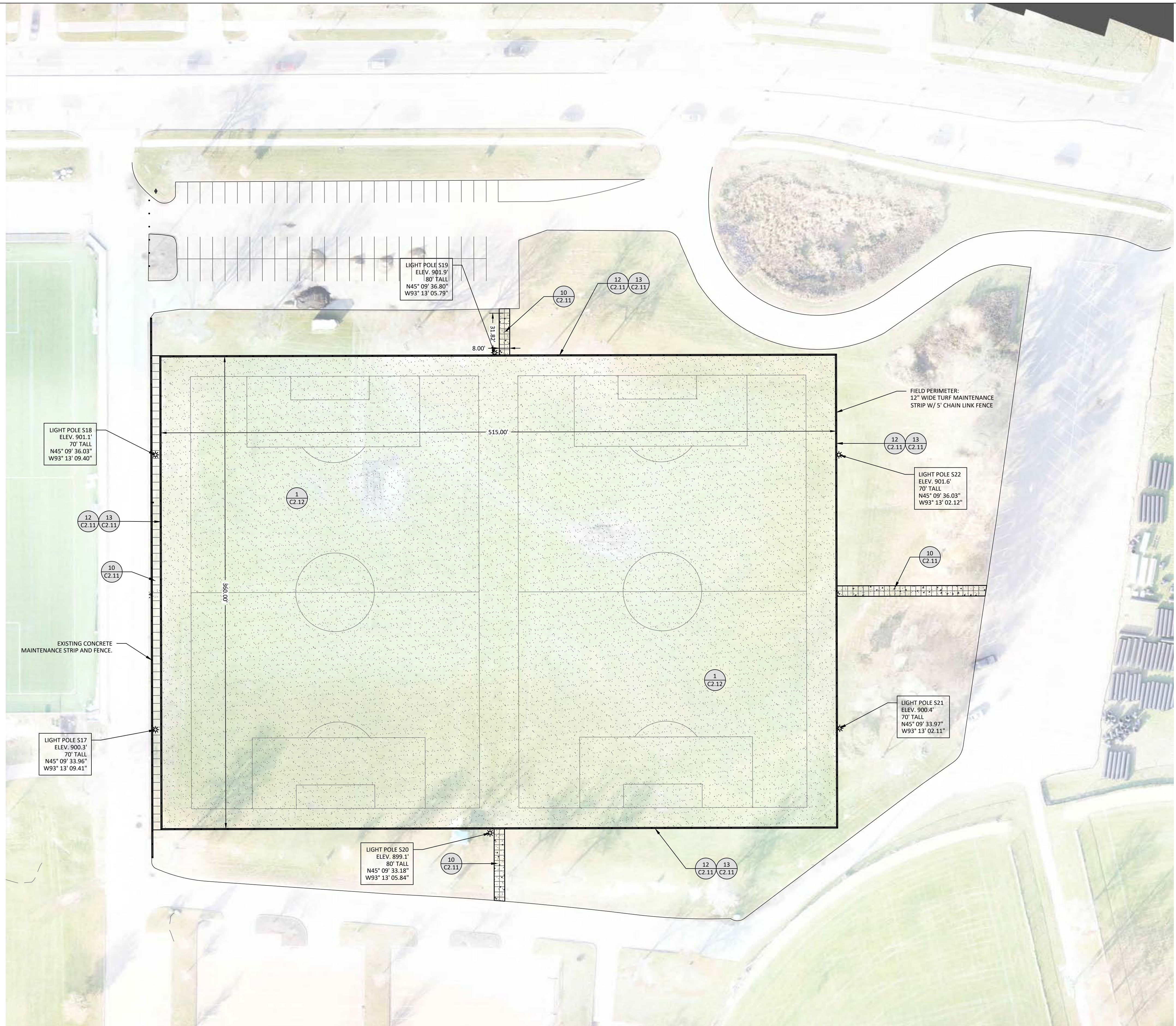
NATIONAL SPORTS CENTER, MINNESOTA

FIELDS 55 & 56

EXISTING CONDITION AND REMOVALS PLAN

SHEET

C1.31



NOTES:

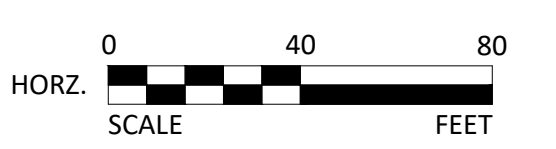
- REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- SYNTHETIC TURF FIELD
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- FENCING KEY NOTE
- PROPOSED MANHOLE (MH)

FENCING KEY NOTES

- 5' HIGH CHAIN LINK FENCE WITH TOP AND BOTTOM RAIL
- 4' WIDE, 5' HIGH SINGLE SWING GATE WITH LOCKING DEVICE
- 14' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD
- 20' WIDE, 5' HIGH DOUBLE SWING GATE WITH LOCKING DEVICE AND PLUNGER ROD



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132235_C1.3_FL0555-56.dwg 6/19/2024 3:48:52 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERAY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.32



GENERAL NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED SILT FENCE (SF)
- PROPOSED SEDIMENT CONTROL LOG

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\DC_P\0113223\CAD\C1.3_110555-56.dwg 6/3/2024 3:48:02 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POM...
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
GRADING AND EROSION CONTROL PLAN

SHEET
C1.33

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

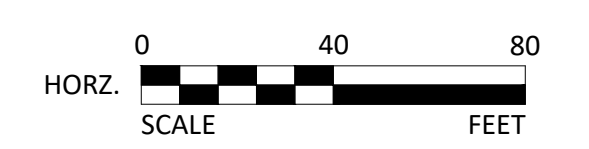


NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
3. ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
4. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - b. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - i. FERCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - ii. PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - iii. OR APPROVED EQUAL.
5. INSTALL MANHOLES, CATCH BASINS, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR SIMILAR).
6. LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
7. STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- CONNECT DRAIN TILE TO STRUCTURE AND PROVIDE BACKWATER VALVE



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\PROJECTS\2023\CAD\CAD1\23235_C1_3_FLDSS5-56.dwg 6/3/2024 3:48:10 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF MINNESOTA.

JAY R. POM...
LIC. NO. 23543 DATE 06/03/24

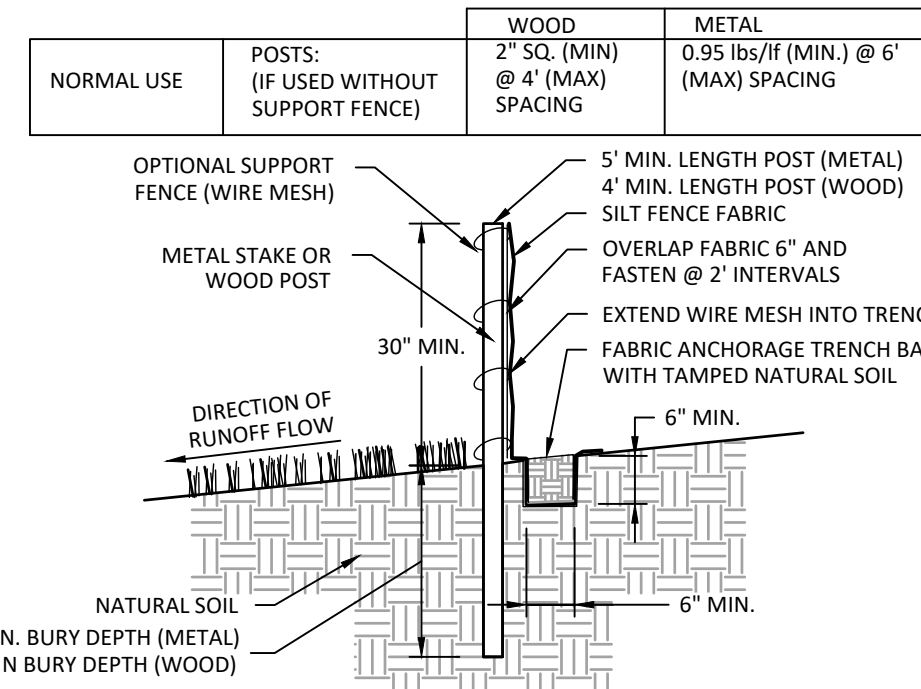


7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

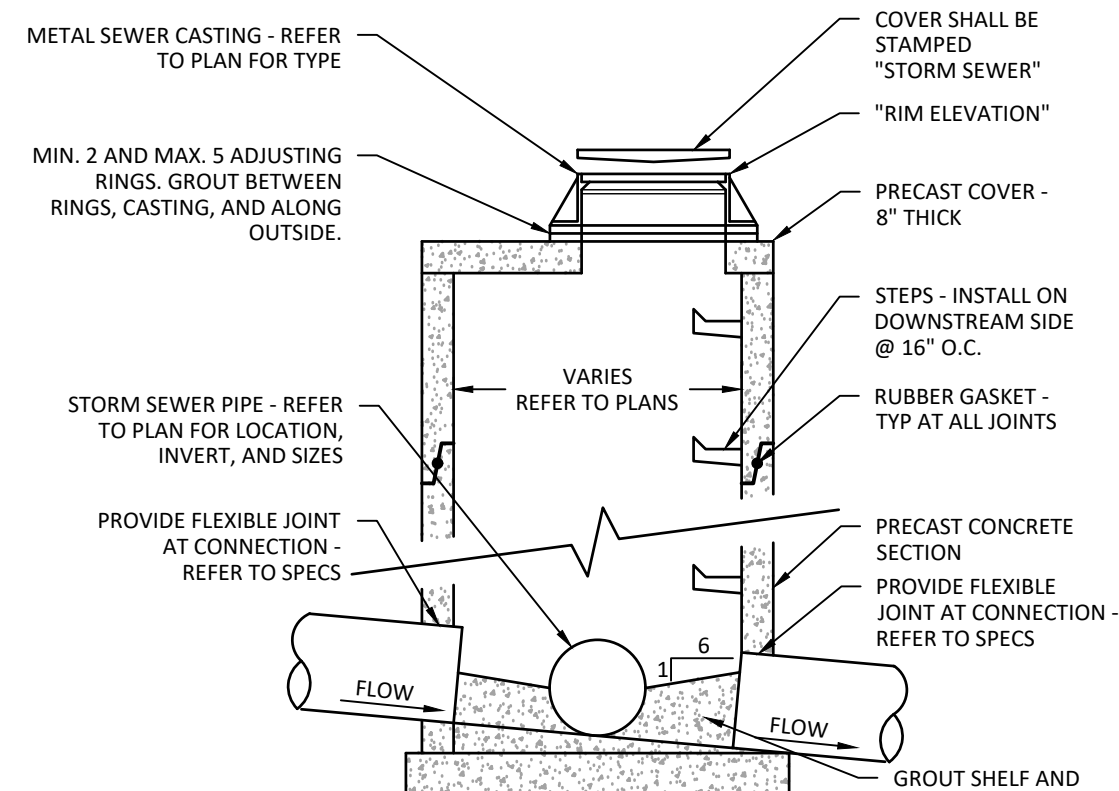
NATIONAL SPORTS CENTER, MINNESOTA
FIELDS 55 & 56
DRAIN TILE AND STORM SEWER PLAN

SHEET
C1.34



1
C2.11 **SILT FENCE**

NOT TO SCALE

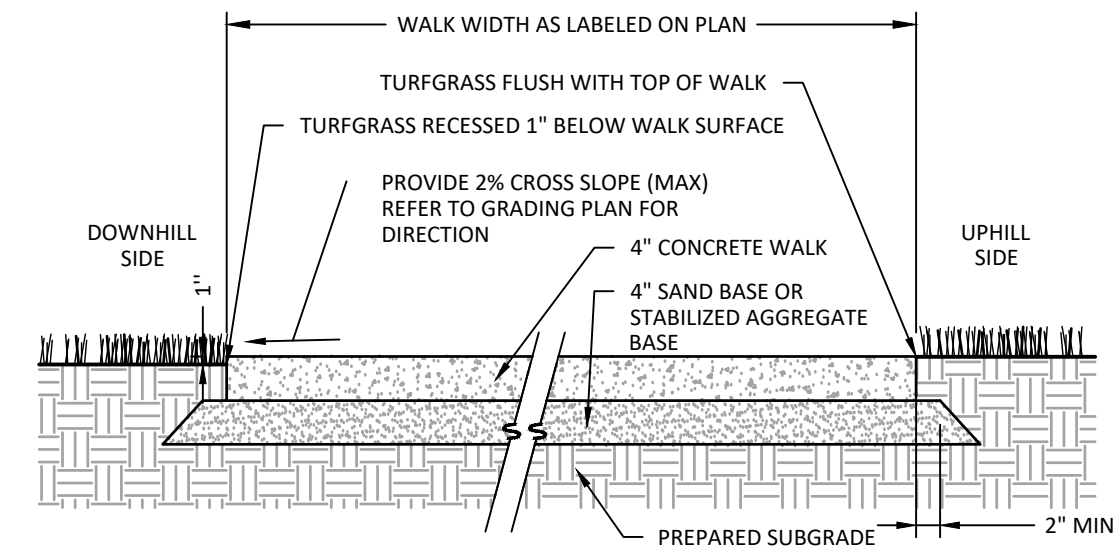


4
C2.11 **STORM SEWER MANHOLE**

NOT TO SCALE

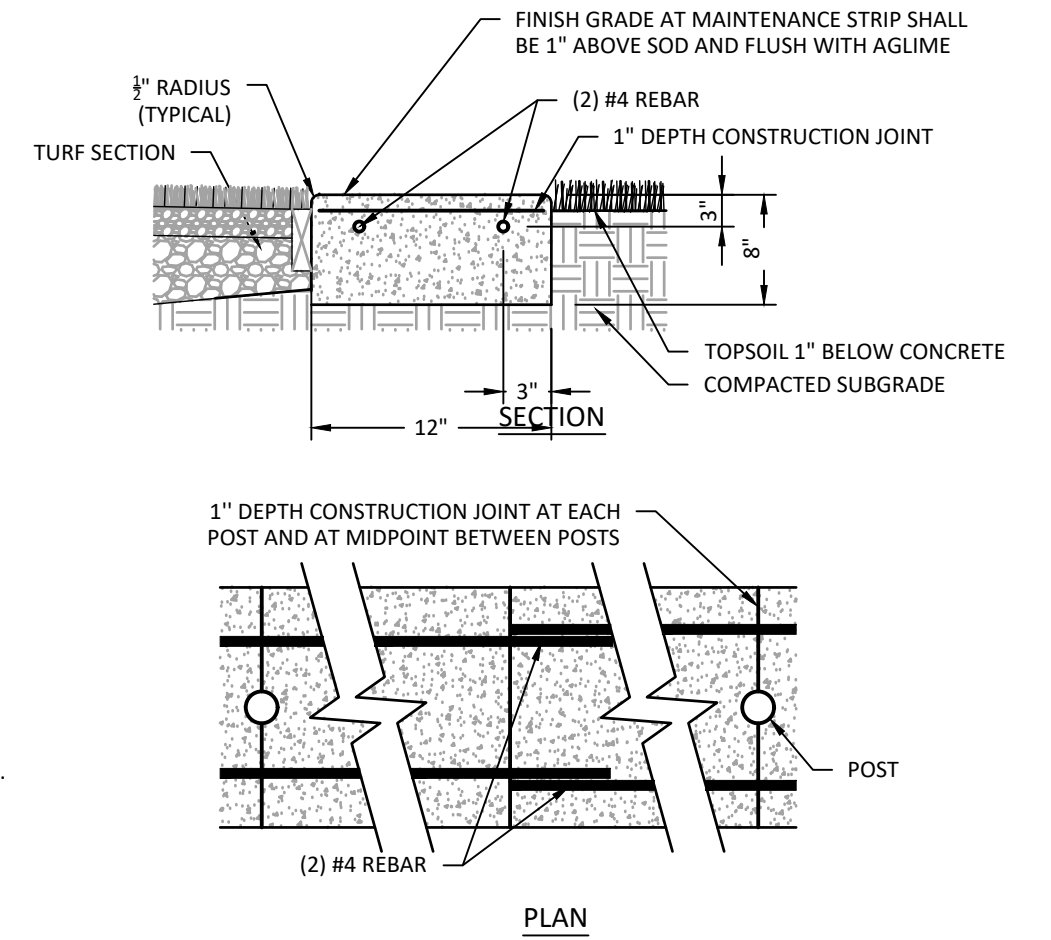
7
C2.11 **NOT USED**

NOT TO SCALE



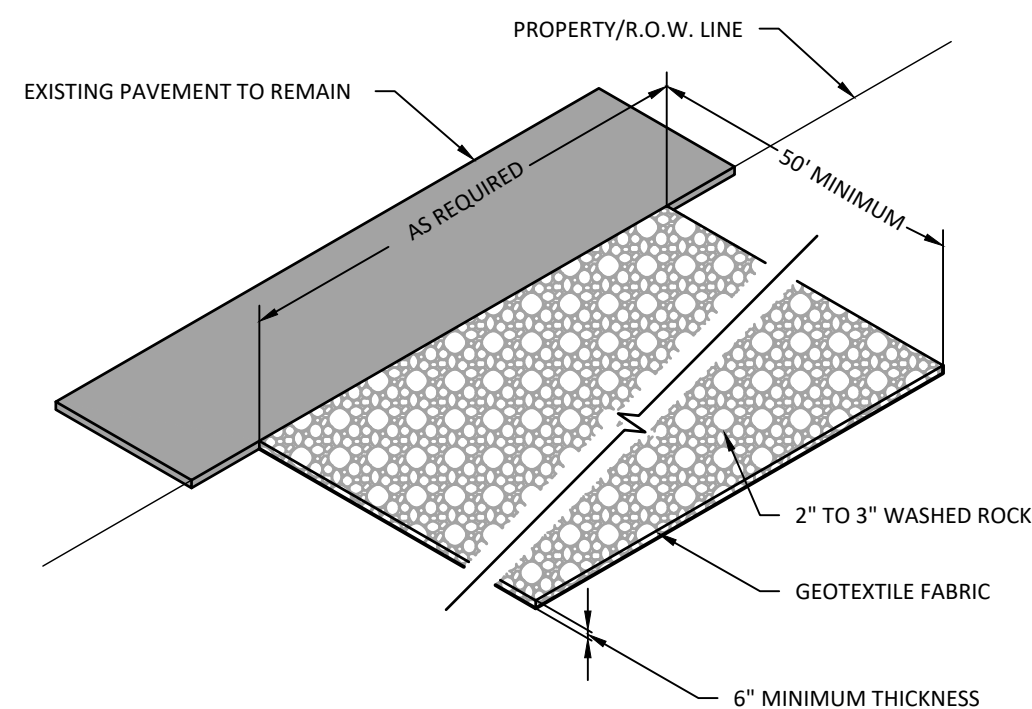
10
C2.11 **CONCRETE WALK**

NOT TO SCALE



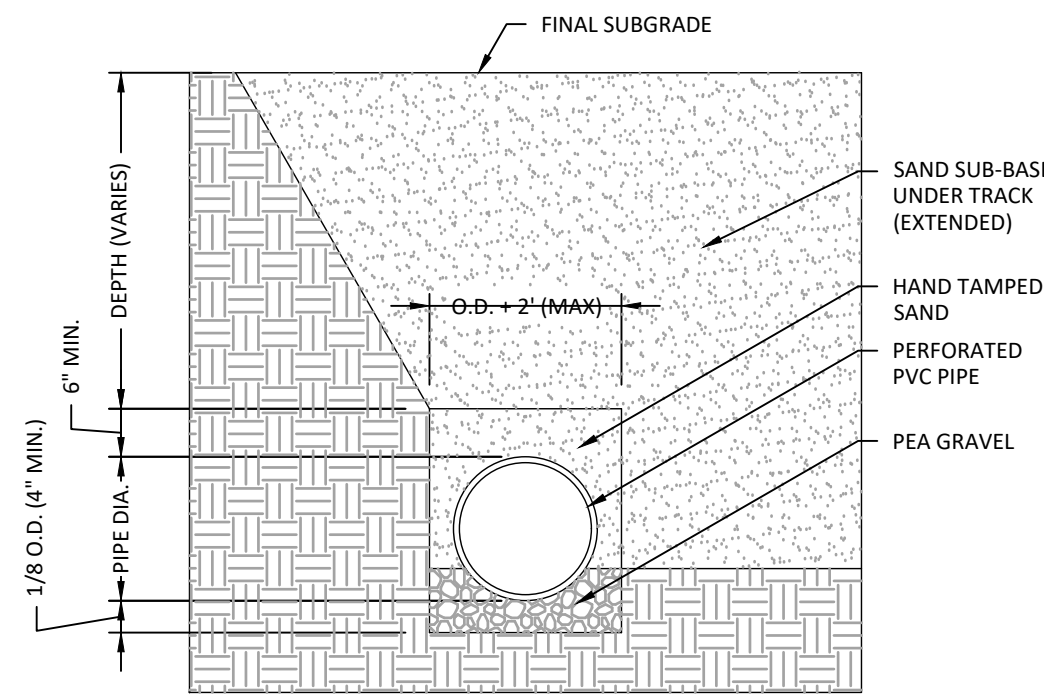
13
C2.11 **CONCRETE MAINTENANCE STRIP**

NOT TO SCALE



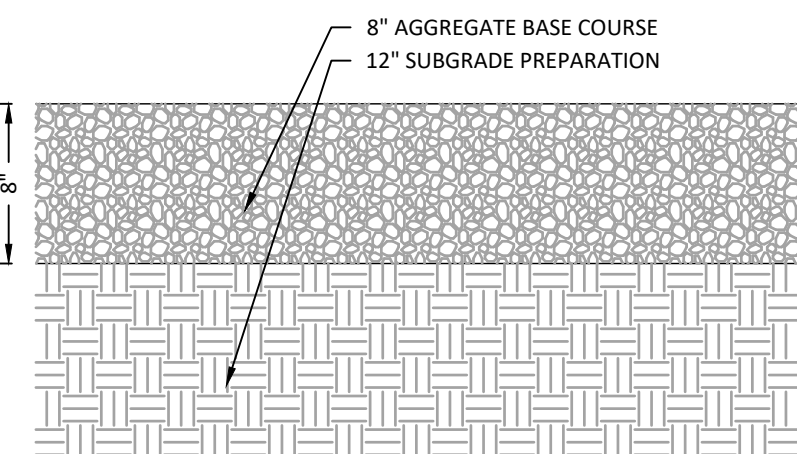
2
C2.11 **ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



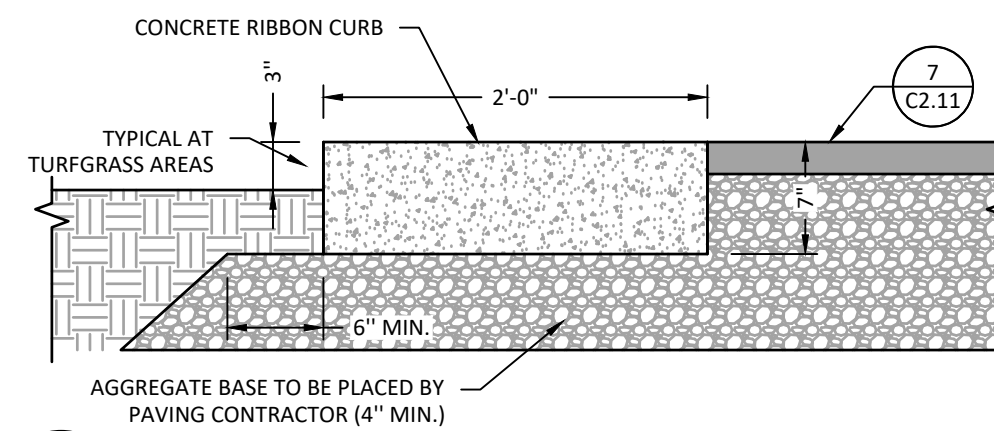
5
C2.11 **PIPE BEDDING PERFORATED PVC**

NOT TO SCALE



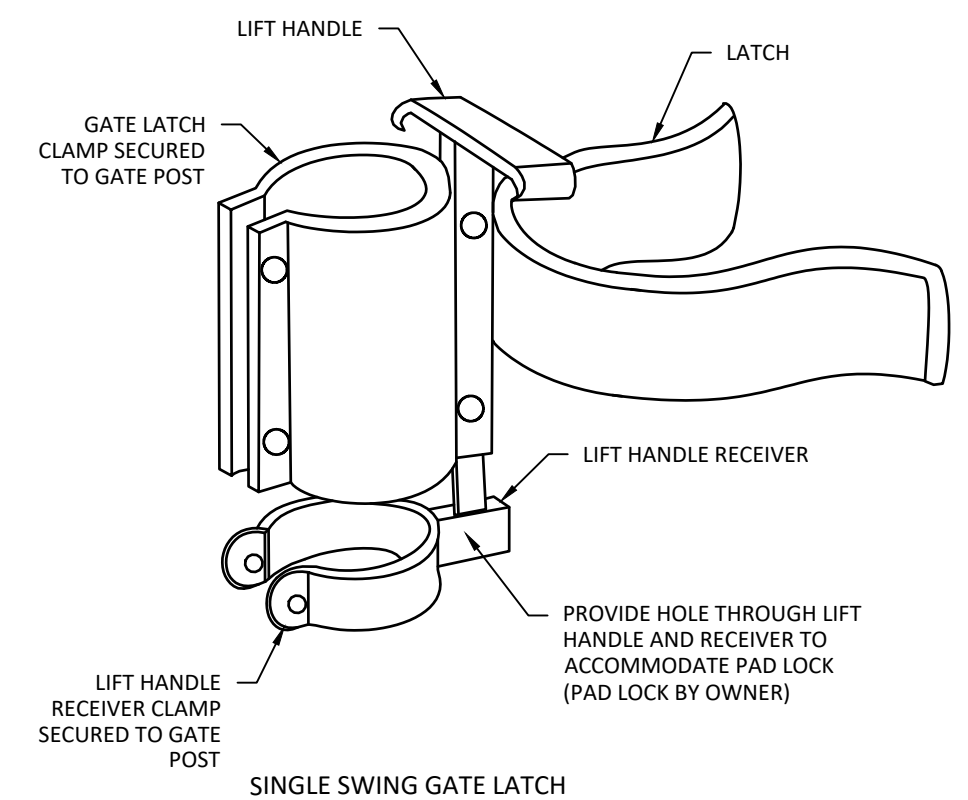
8
C2.11 **GRAVEL PAVEMENT**

NOT TO SCALE



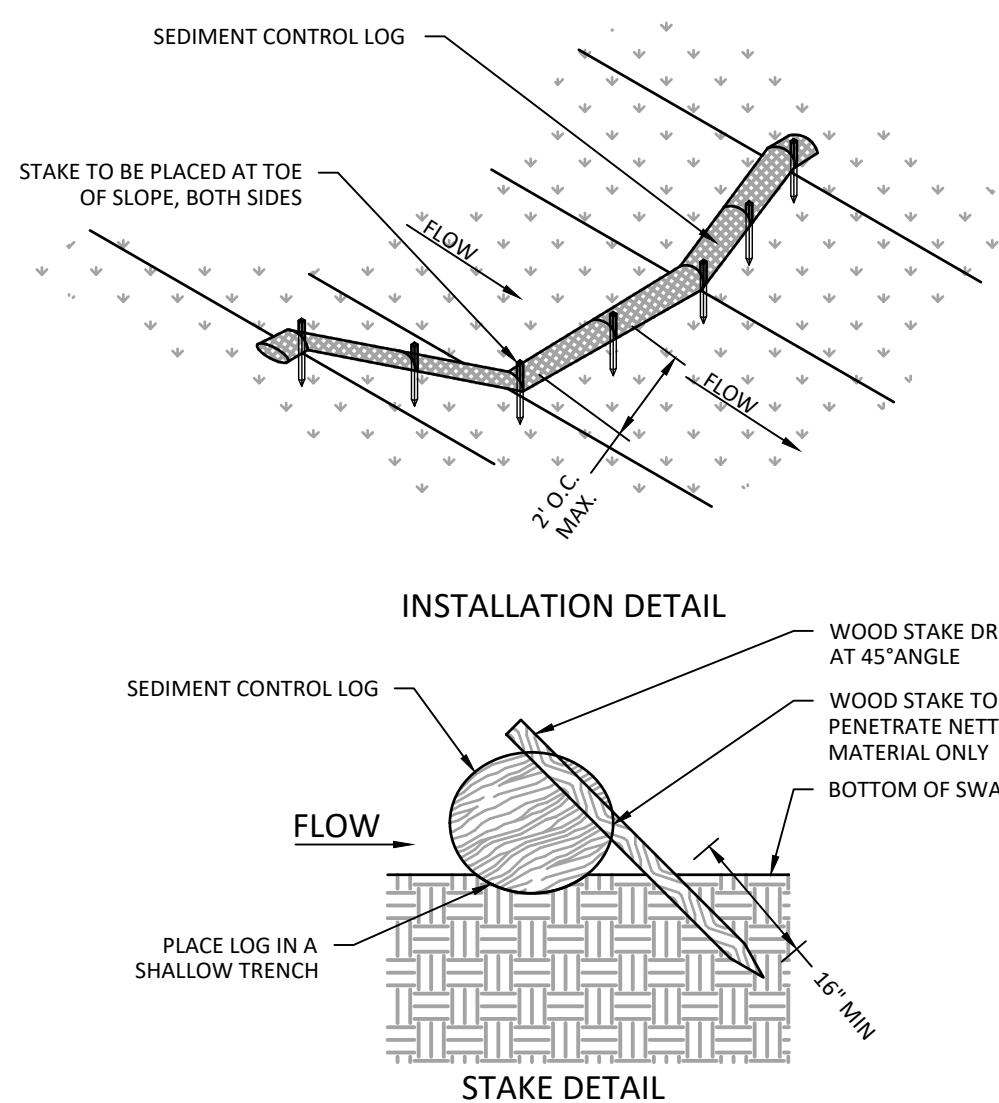
11
C2.11 **CONCRETE RIBBON CURB**

NOT TO SCALE



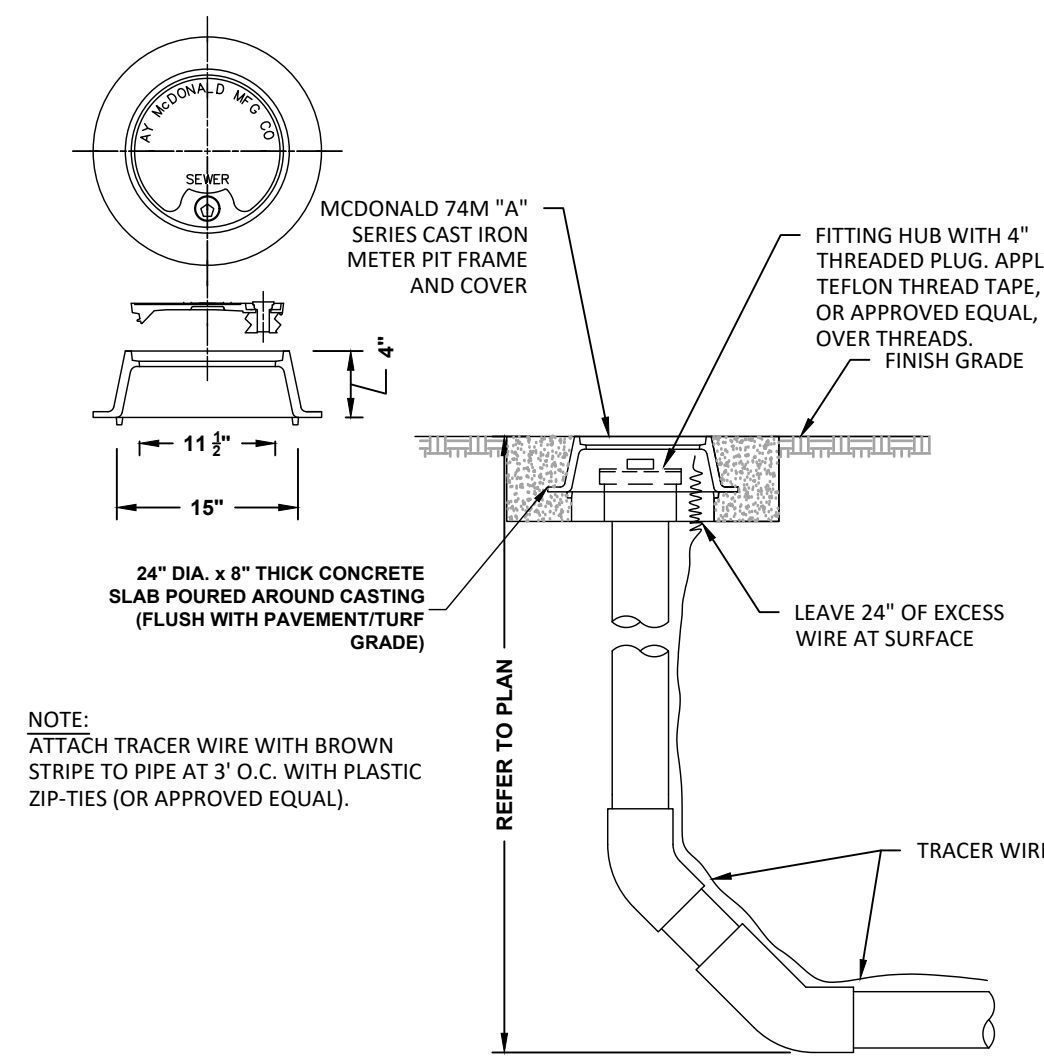
14
C2.11 **GATE LATCH**

NOT TO SCALE



3
C2.11 **SEDIMENT CONTROL LOG**

NOT TO SCALE

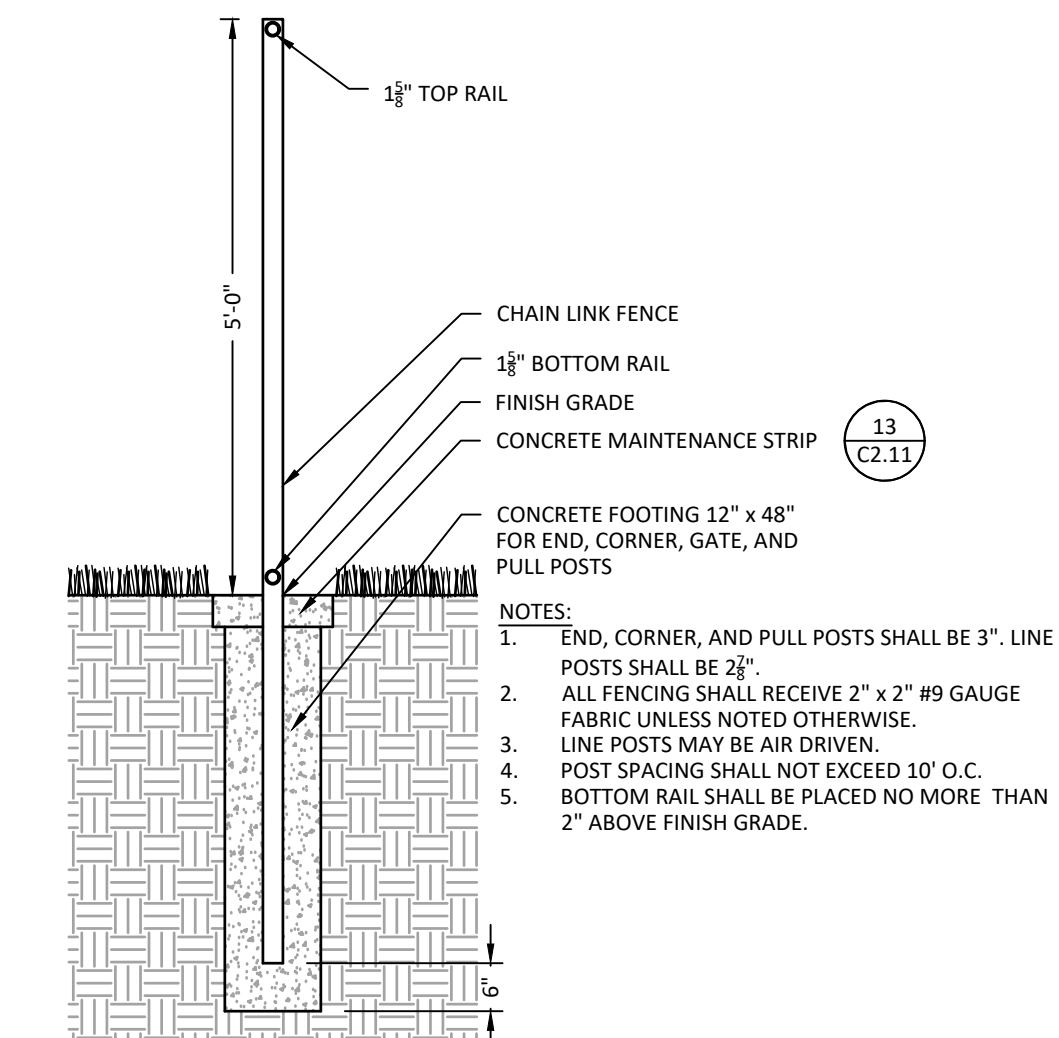


6
C2.11 **CLEANOUT ASSEMBLY**

NOT TO SCALE

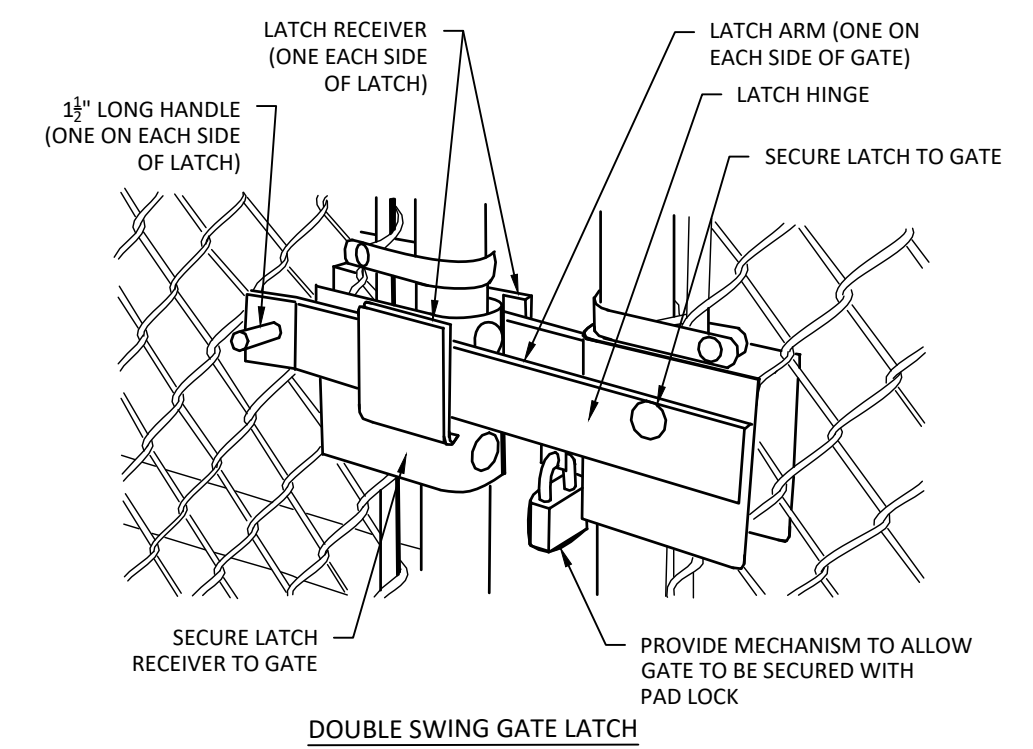
9
C2.11 **NOT USED**

NOT TO SCALE



12
C2.11 **CHAIN LINK FENCE WITH MAINTENANCE STRIP**

NOT TO SCALE



NOTE: PROVIDE ADEQUATE SPACE BETWEEN GATE POST AND GATE SUCH THAT GATE IS IN LINE WITH FENCING WHEN FULLY CLOSED AND LATCHED.

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\131223\CAD\C2.11 DETAIL.dwg 6/19/2024 3:49:23 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24

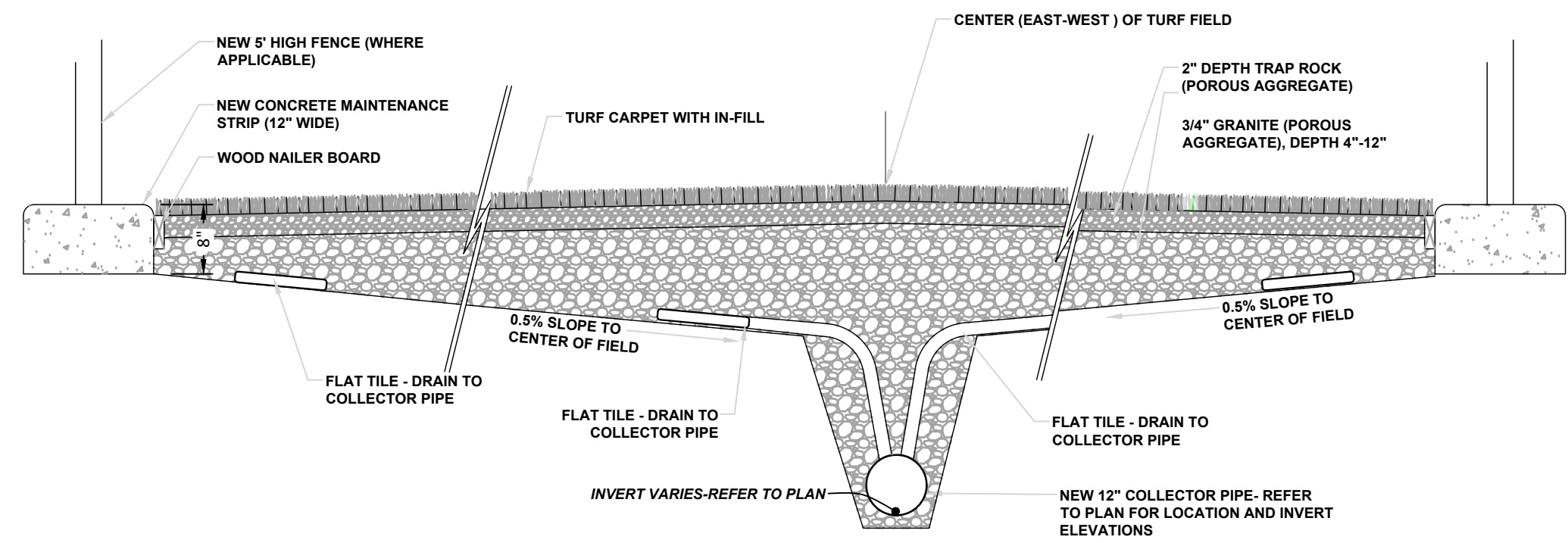


7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

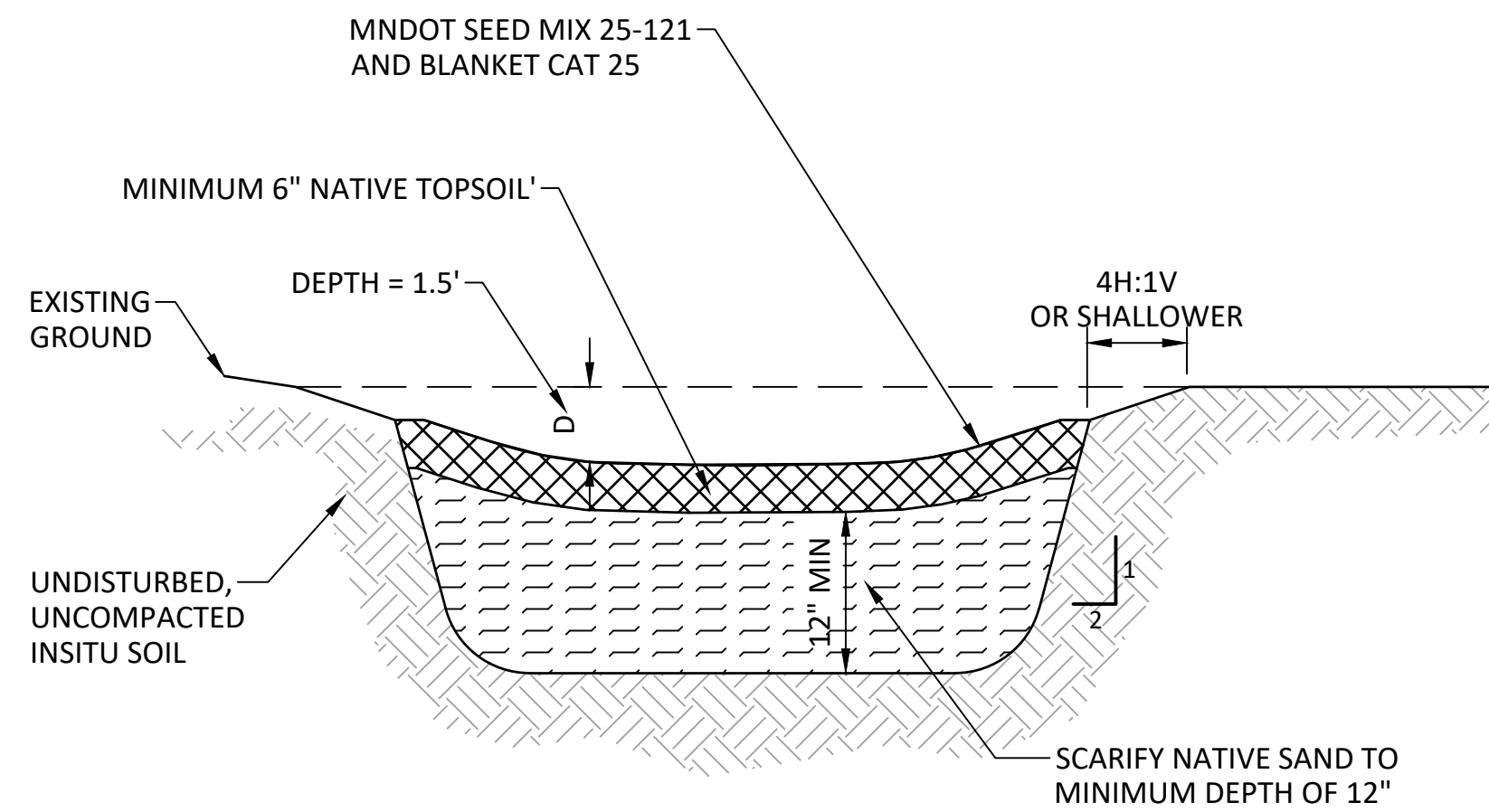
NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SITE DETAILS

SHEET
C2.11



1
C2.12
TURF FIELD CROSS SECTION

NOT TO SCALE

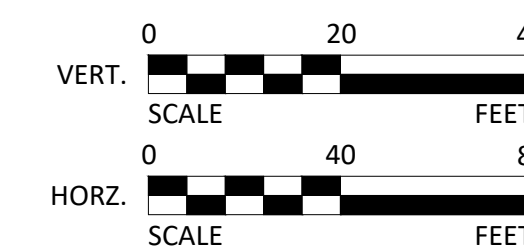
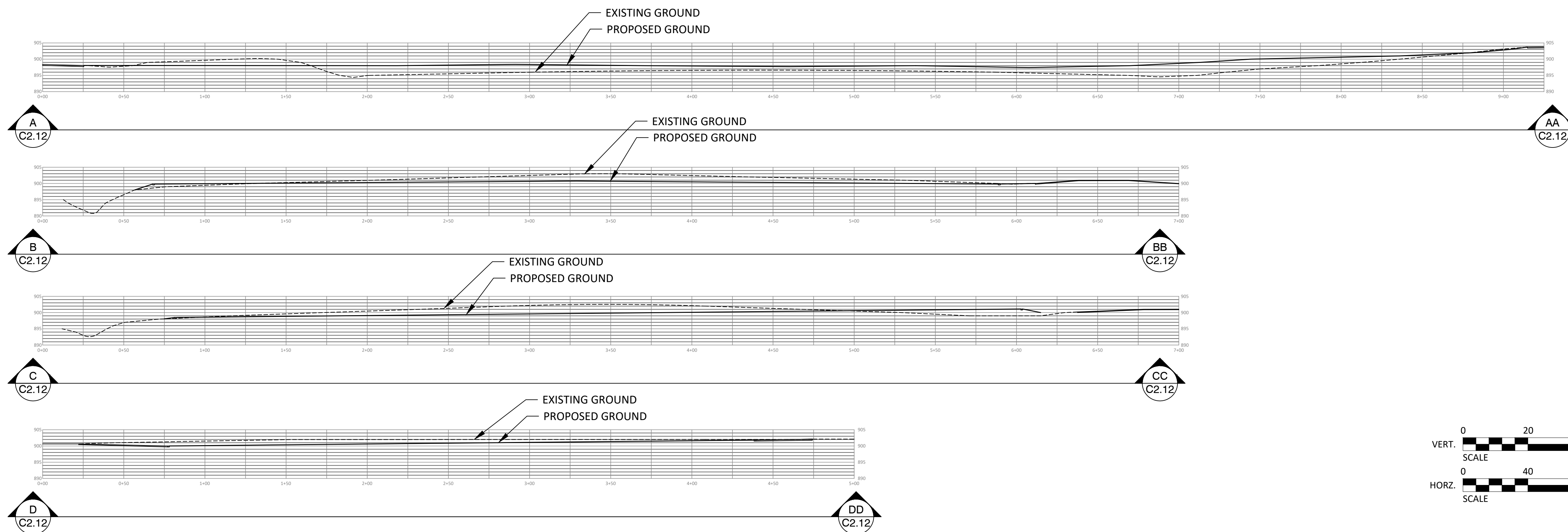


2
C2.12
STORMWATER INFILTRATION BASIN
BASINS 1 & 2

NOT TO SCALE

STORMWATER INFILTRATION BASIN NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
2. PERFORM WEEKLY INSPECTIONS, INCLUDING AFTER EACH RAINFALL EVENT.
3. ROUGH GRADE THE SITE.
4. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
5. COMPLETE GRADING AND STABILIZATION OF INFILTRATION AREA ONLY AFTER THE CONTRIBUTING DRAINAGE AREA'S VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION, OR PLACEMENT OF SOIL STABILIZATION AND APPROVED BY ENGINEER, AND BEFORE CONSTRUCTION AND INSTALLING VEGETATION IN INFILTRATION AREAS.
6. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA AFTER VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION.
7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
8. SUBGRADE SHALL BE PREPARED SO THAT THE AREA BENEATH THE BASINS AND EMBANKMENTS IS STRIPPED OF ALL VEGETATION, TOPSOIL, AND ORGANIC MATTER.
9. INSTALLATION WITH DRY SOIL CONDITIONS IS CRITICAL TO PREVENT SMEARING AND COMPACTION. SCHEDULE WORK FOR PERIODS OF DRY WEATHER. DO NOT WORK IF SOIL CONDITIONS ARE WET. EXCAVATION, SOIL PLACEMENT AND RAPID STABILIZATION OF PERIMETER SLOPES WITH METHODS SHOWN ON PLAN MUST BE COMPLETED BEFORE THE NEXT PRECIPITATION EVENT.
10. REMOVAL OF ACCUMULATED SEDIMENT AND DEBRIS SHALL BE DONE BY HAND OR, IF SELF-PROPELLED EQUIPMENT IS REQUIRED, FROM OUTSIDE THE PERIMETER OF THE INFILTRATION AREAS.



© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\13223\CAD\C2.12\C2.12.DWG 6/3/2024 3:49:28 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POM...
LIC. NO. 23543 DATE 06/03/24



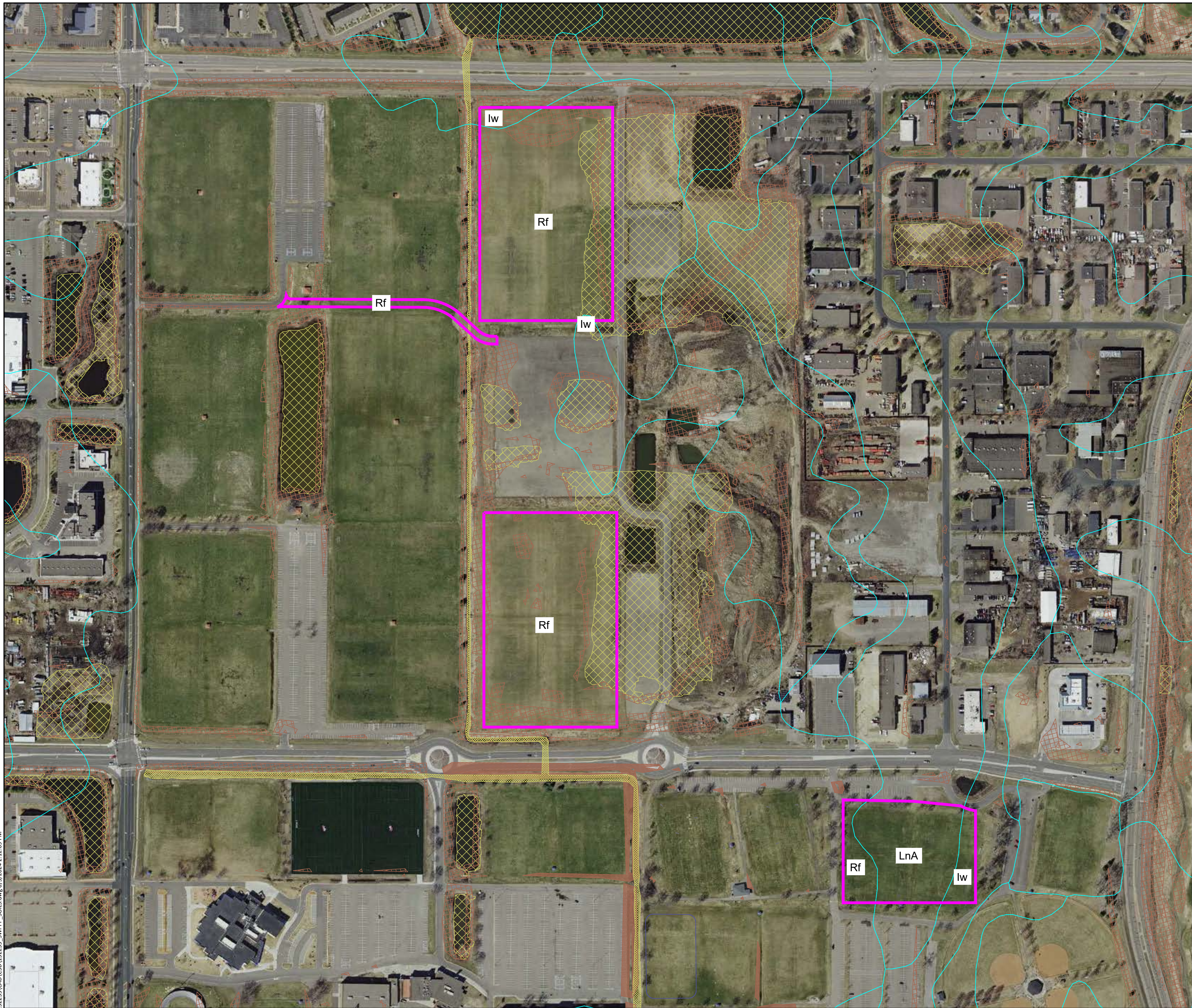
7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			






NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SITE DETAILS

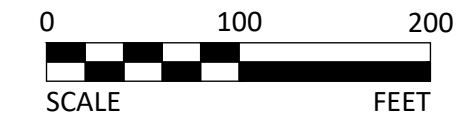
SHEET
C2.12

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



LEGEND

-  PROJECT BOUNDARY
-  SOIL TYPE
-  IMPAIRED, SPECIAL OR PROTECTED WATERS
-  NATIONAL WETLANDS INVENTORY
-  STEEP SLOPES (>33.3%)



SOIL TYPE SUMMARY

Map Unit Symbol	Soil Name	Hyd. Soil Group
lw	Isanti fine sandy loam	A/D
Rf	Rifle mucky peat	A/D
LnA	Lino loamy fine sand, 0 to 4 percent slopes	A/D

© Bolton & Menk, Inc. 2024. All Rights Reserved. A:\DIMKE\DC_PROJ\13223\CAD\C3D1\2235_SNPPP_SOILS.dwg 07/2024 2:12:08 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMERANCE
 LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
 MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
 MASC - COB FIELDS
 SWPPP - SOILS MAP

SHEET
C3.12

PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R100001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	24 hours
--	----------

SITE INSPECTION INTERVAL:

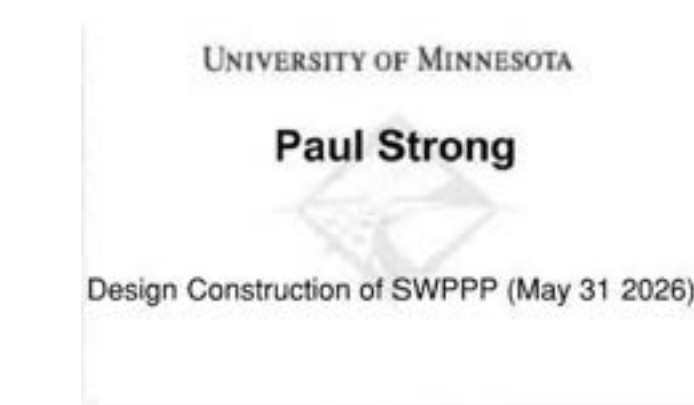
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
--	-----------------

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1) Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2) Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3) Does any portion of this site discharge to a Calcareous fen.	NO
4) Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5) Have any Karst features have been identified in the project vicinity?	NO
6) Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7) Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	In Progress

SWPPP DESIGNER TRAINING DOCUMENTATION:



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JRP

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

NATIONAL SPORTS CENTER, MINNESOTA
MASC - COB FIELDS
SWPPP - NARRATIVE

SHEET

C3.13

NATIONAL SPORTS CENTER

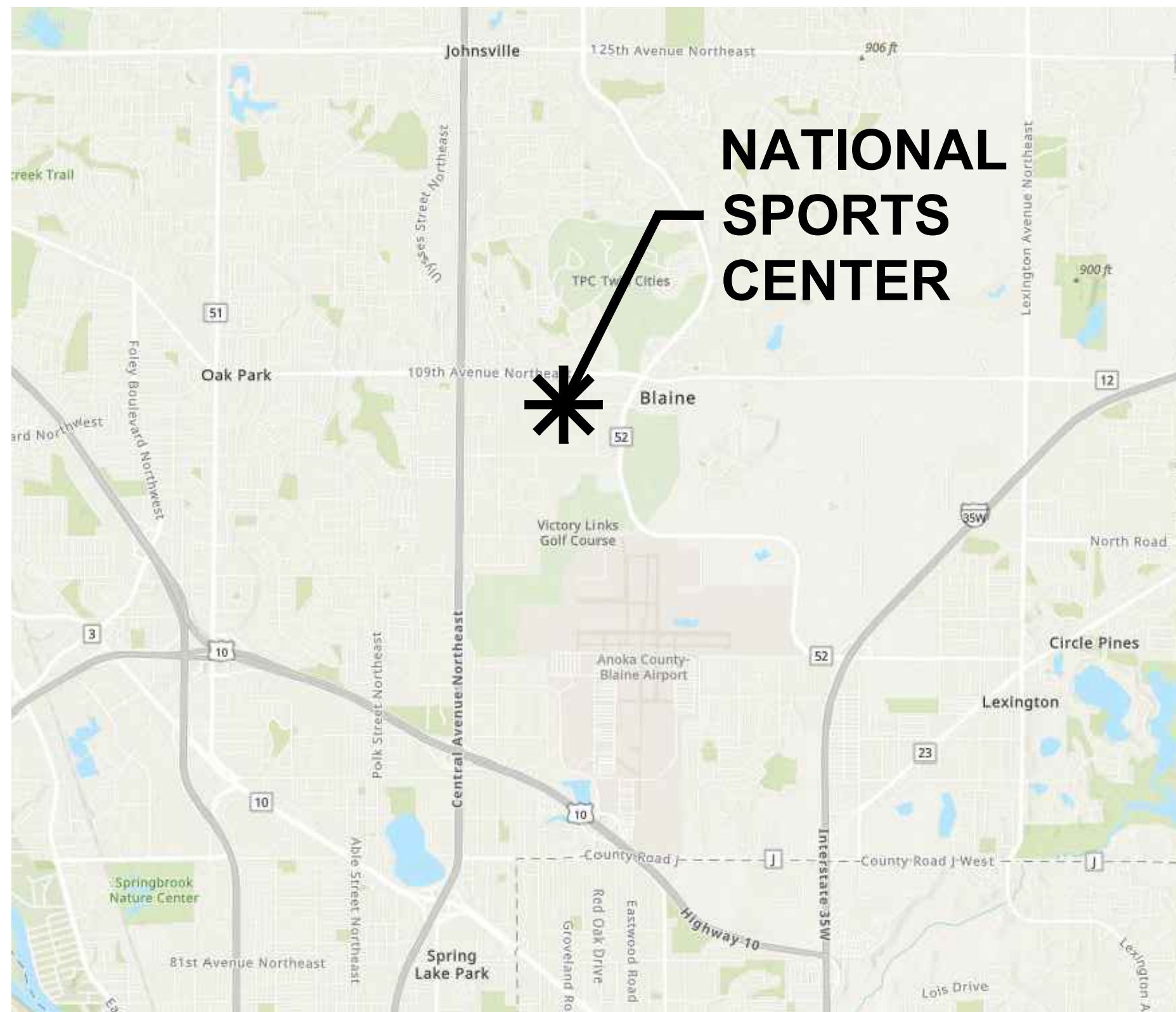


NSC ENTRY PLAZA & FIELDS 50 & 51

BLAINE, MN
1700 105TH AVE, BLAINE, MN, 55449



VICINITY MAP



GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
- OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY AND WATERSHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
- INSPECT SITE TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, SHEET C3.12, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
- MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS SHOWN TYPICALLY AS 99.1 OR 99 SHALL BE UNDERSTOOD TO MEAN 899.1 OR 899.
- SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- NO FINISHED SLOPES SHALL EXCEED 3' HORIZONTAL TO 1' VERTICAL (3:1), UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE TURF, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED. REFER TO FINISHING PLANS FOR SEED LOCATIONS. ALL AREAS NOT DESIGNATED FOR SOD OR A SPECIFIC SEED MIX, WHICH ARE DISTURBED BY CONSTRUCTION, SHALL BE SEEDED WITH SEED MIX #1.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL STORM SEWER PIPE SHALL BE PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - OR APPROVED EQUAL.
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. BEFORE BEGINNING CONSTRUCTION.
- STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER.
- ALL DISTURBED AREAS INCLUDING SOIL STOCKPILE SHALL BE STABILIZED WITH VEGETATION WITHIN SEVEN (7) DAYS OF ROUGH GRADING OR 24 HOURS OF INACTIVITY.

DRAWING INDEX

NATIONAL SPORTS CENTER	
C0.01	TITLE SHEET
ENTRY PLAZA & FIELDS 50 & 51	
C1.11	EXISTING CONDITIONS AND REMOVALS PLAN
C1.21	SITE LAYOUT AND FINISHING PLAN
C1.31	GRADING AND UTILITY PLAN
C1.41	EROSION CONTROL PLAN
SITE DETAILS	
C2.11	SITE DETAILS
C2.12	SITE DETAILS
STORM WATER POLLUTION PREVENTION PLANS	
C3.11	SWPPP - PROJECT DESCRIPTION
C3.12	SWPPP - NARRATIVE
C3.13	SWPPP - SOILS MAP

PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CD\132864_C1.dwg 6/19/2024 2:24:50 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

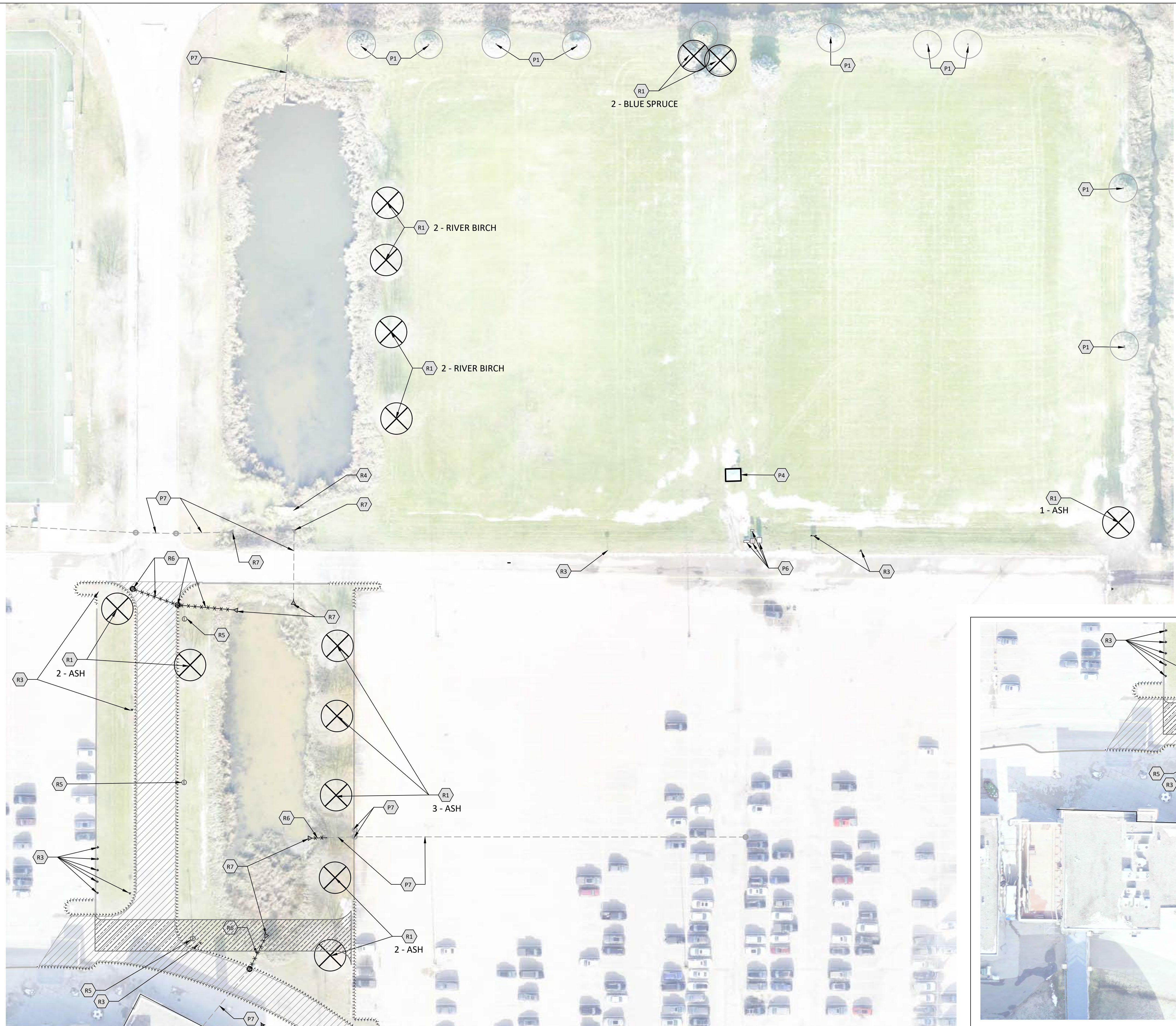


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	OV1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
TITLE SHEET

SHEET
C0.01



LEGEND

- CONCRETE CURB AND GUTTER REMOVALS
- x x x x x x x x x x x x x x x x - UNDERGROUND UTILITIES REMOVAL
- ////// ASPHALT PAVEMENT REMOVALS
- ⊗ TREE REMOVAL
- R1 REMOVALS KEY NOTE
- P1 PROTECTION KEY NOTE

NOTES

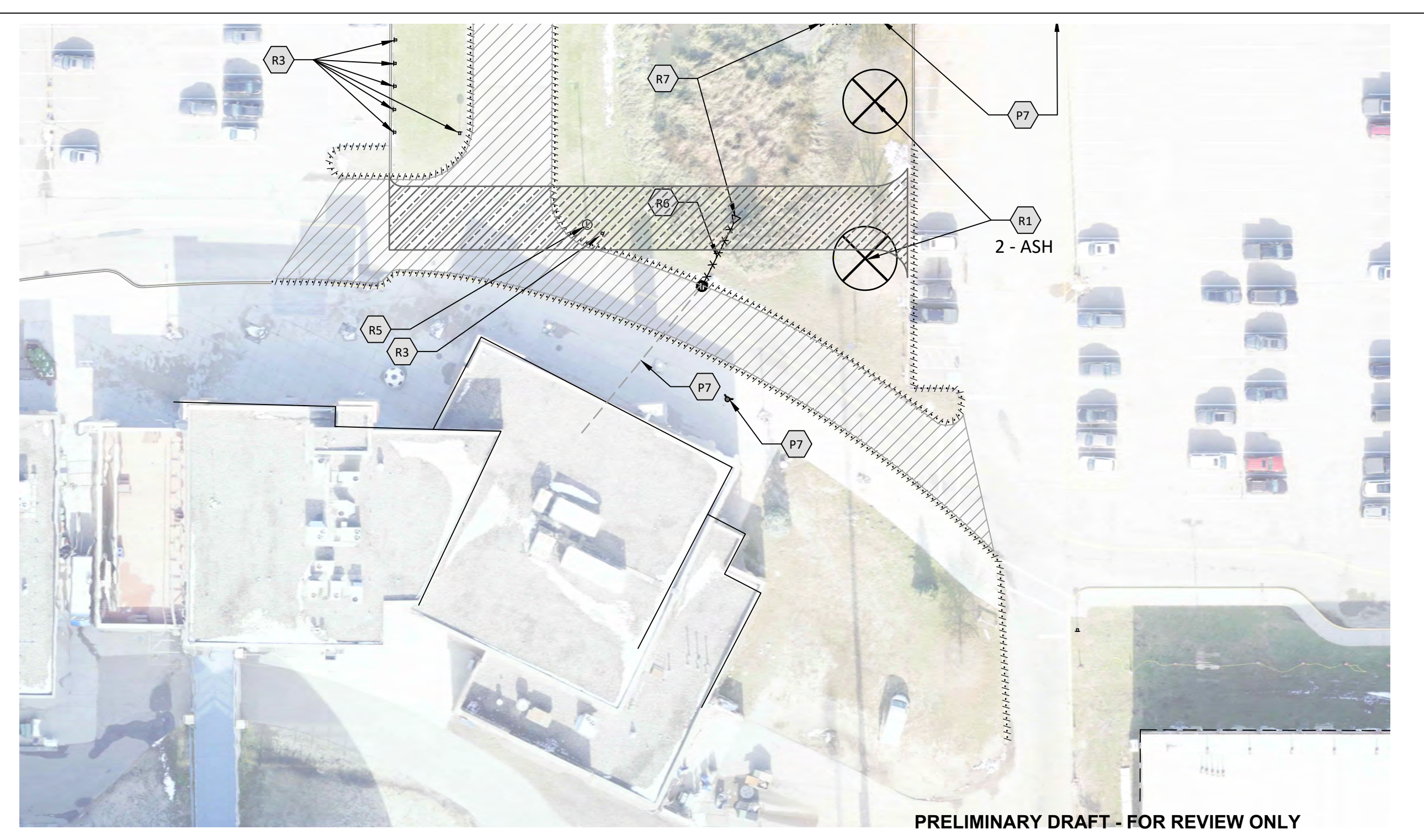
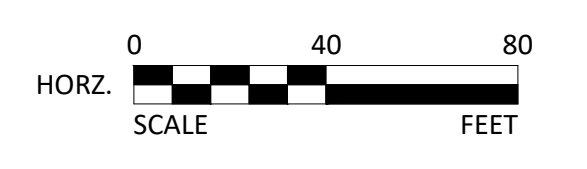
1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

KEY NOTE LEGEND

- R1 REMOVE TREE, INCLUDING STUMP
- R2 REMOVE AND SALVAGE IRRIGATION
- R3 REMOVE AND SALVAGE SIGN
- R4 REMOVE EXISTING BRIDGE
- R5 REMOVE AND SALVAGE EXISTING LIGHT
- R6 REMOVE STORM SEWER PIPE/CATCH BASINS
- R7 REMOVE AND REPLACE FLARED END SECTION
- P1 PROTECT TREE & LANDSCAPING
- P2 PROTECT EXISTING PAVEMENT
- P3 PROTECT STORM SEWER STRUCTURE
- P4 PROTECT STRUCTURE (MOVE IF NECESSARY)
- P5 PROTECT SIGN
- P6 PROTECT ELECTRICAL
- P7 PROTECT EXISTING STORM SEWER

TREE REMOVALS LEGEND

- 8 ASH (NOT REQUIRED TO REPLACE)
- 4 RIVER BIRCH
- 2 BLUE SPRUCE
- 6 TOTAL REPLACEMENT TREES



© Bolton & Menk, Inc. 2024. All Rights Reserved. PL010132864.CAD (3/11/2024 2:25:00 PM)



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

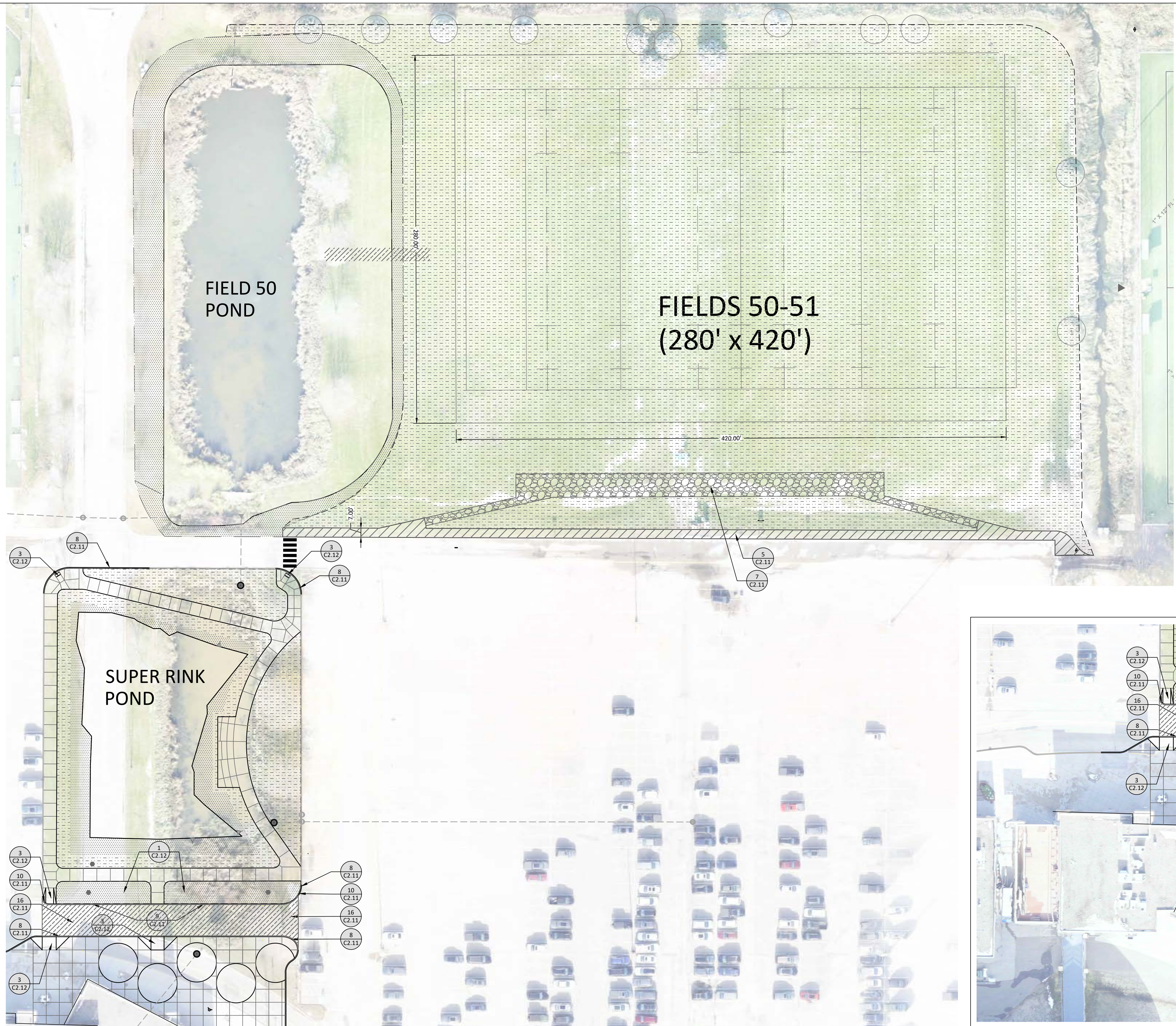


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
EXISTING CONDITIONS & REMOVALS PLAN

SHEET
C1.11

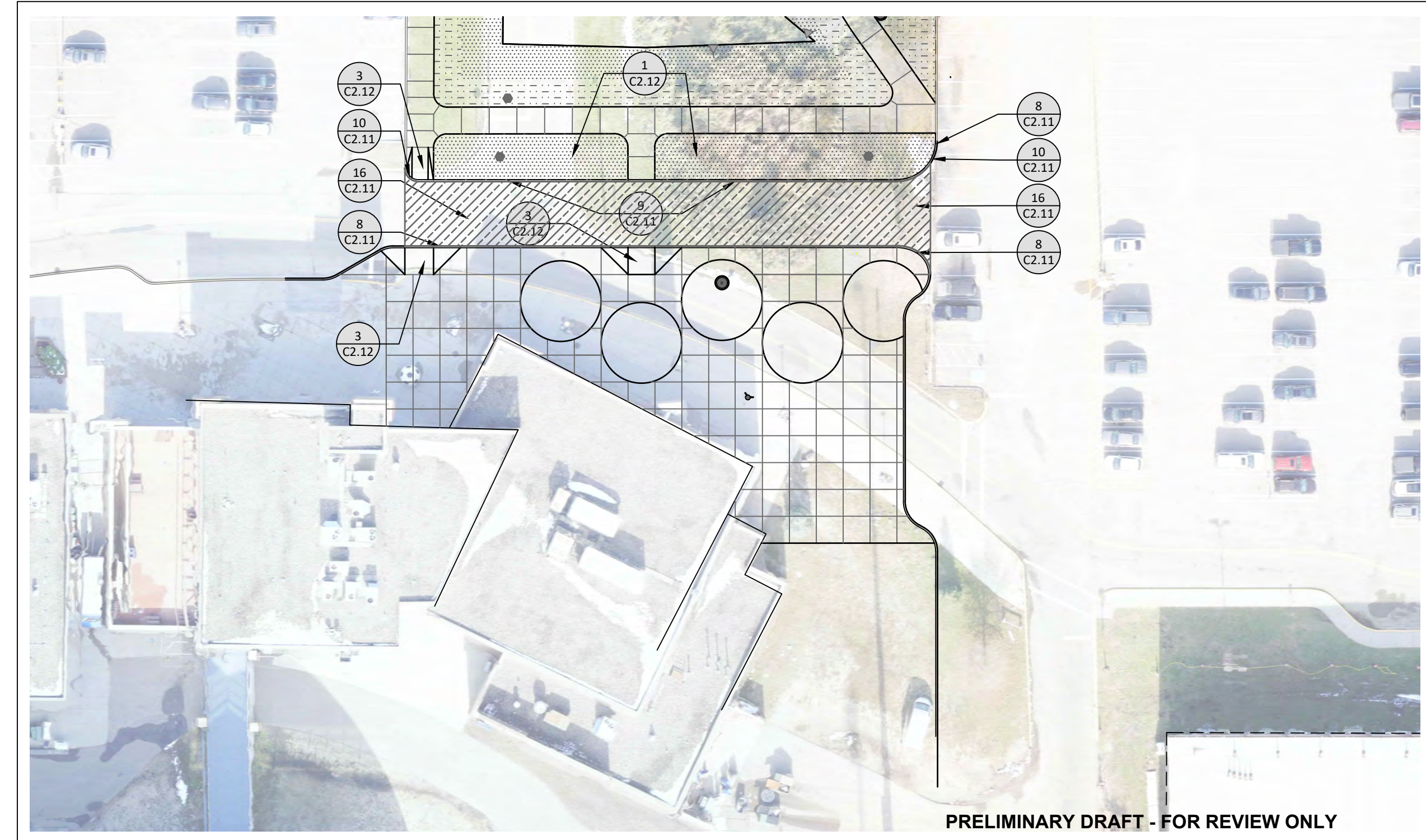
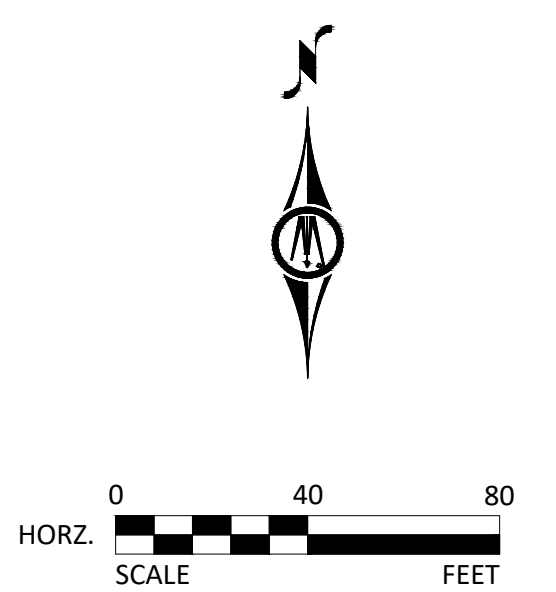


NOTES:

1. REFER TO SHEET C1.0 - TITLE SHEET FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. ALL DISTURBED AREAS WHICH ARE NOT WITHIN THE FIELDS SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED.
4. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
5. SIX (6) TREES WILL NEED TO BE REPLACED. TREE LOCATIONS TO BE DETERMINED IN THE FIELD, AS REQUIRED.

LEGEND

1 C2.11	REFERENCE KEY TO SITE DETAILS DETAIL I.D. NUMBER (TOP) DETAIL SHEET NUMBER (BOTTOM)
6 C2.11	PROPOSED CONCRETE WALK
16 C2.11	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
5 C2.11	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
7 C2.11	PROPOSED GRAVEL SURFACE
7 C2.11	PROPOSED TURF SEED MIX
7 C2.11	PROPOSED NATIVE SEED MIX



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\C1.1\FLDS50-51.dwg 6/3/2024 2:25:11 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

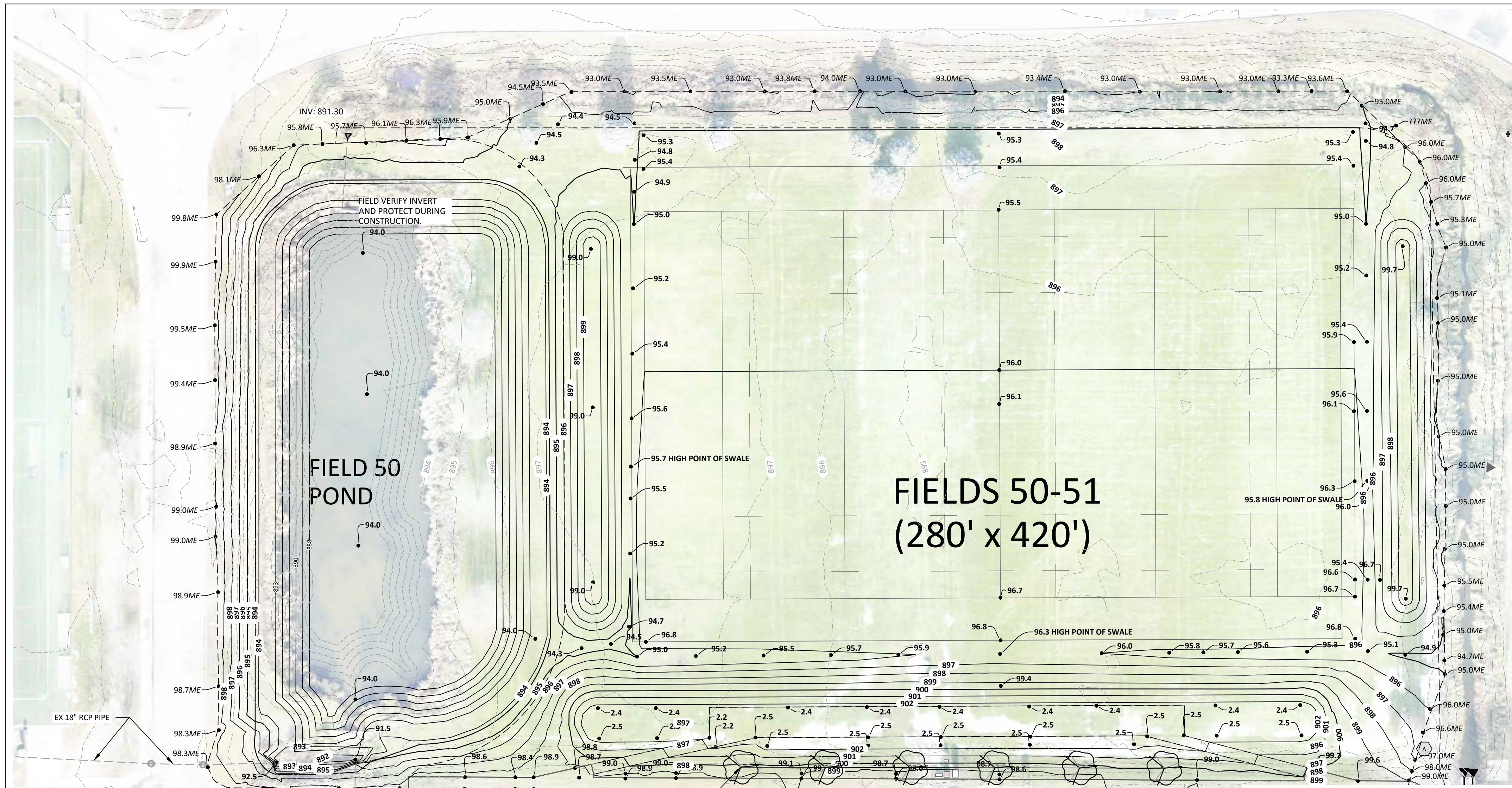


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
SITE LAYOUT AND FINISHING PLAN

SHEET
C1.21

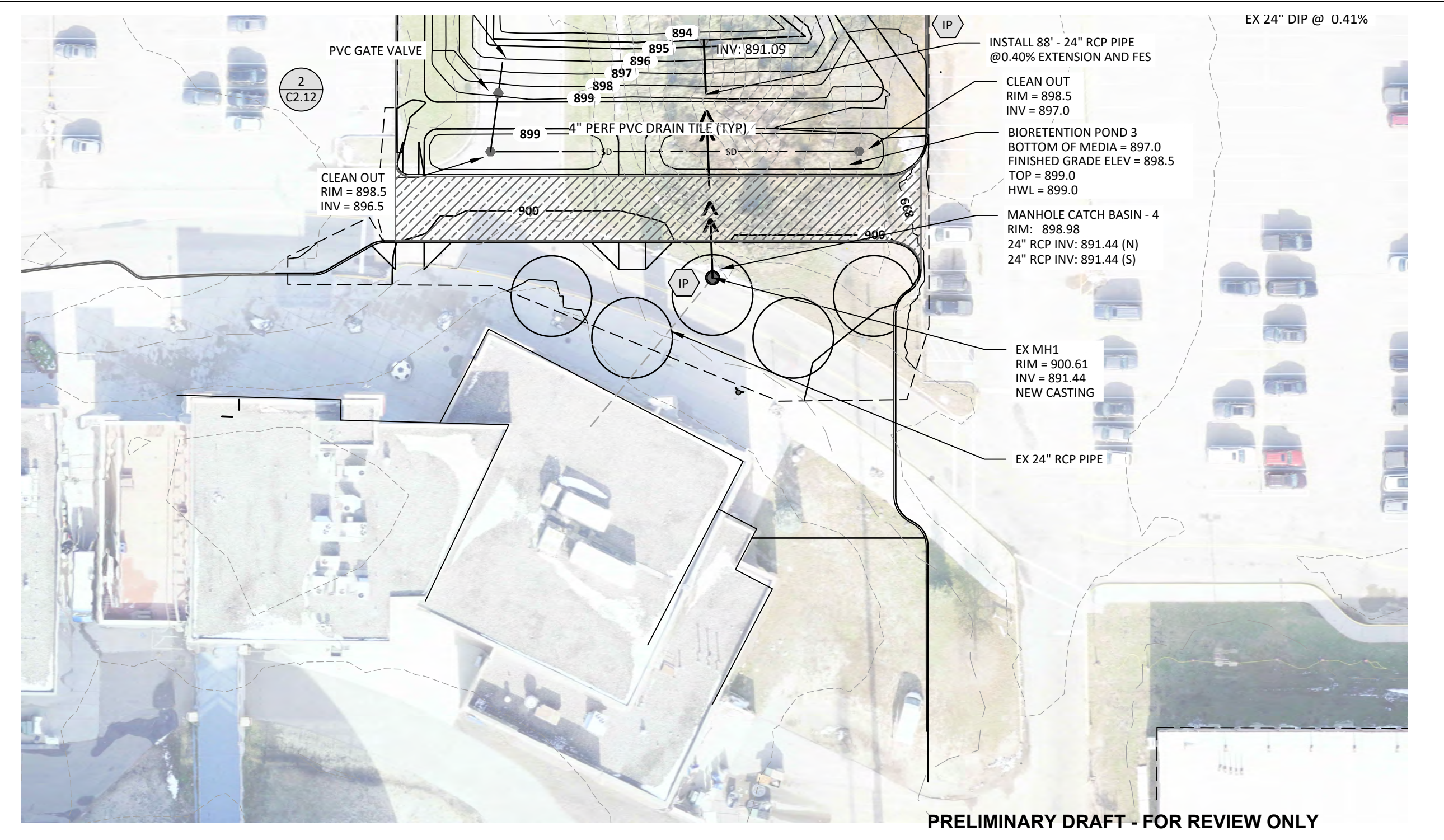
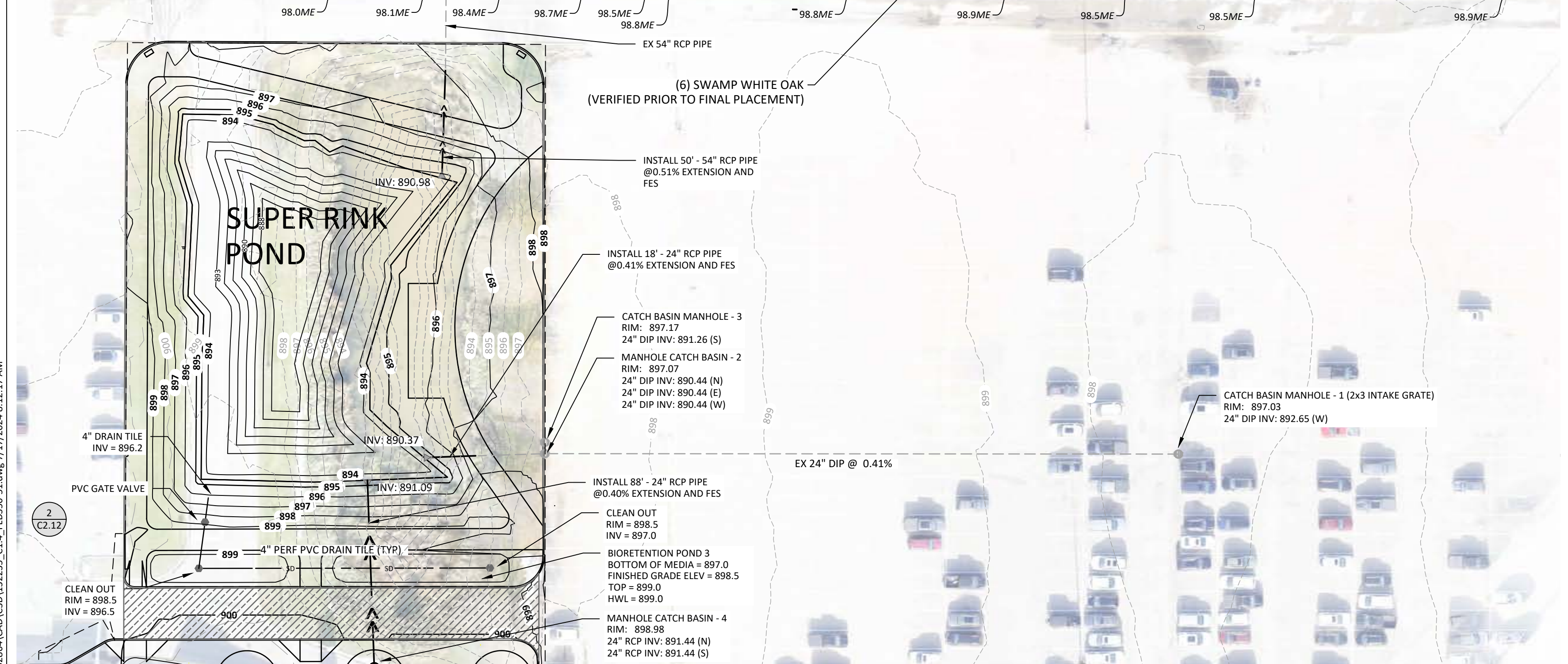
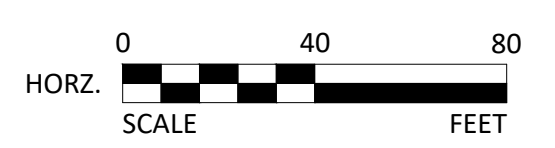


LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
TC = TOP OF CURB
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / SUBSURFACE DRAINS (SD)
- PROPOSED MANHOLE (MH) 11
C2.11
- PROPOSED FLARED END SECTION (FES) 13
C2.11

UTILITY NOTES

1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. ALL STORM SEWER PIPE SHALL BE RCP, CLASS III (MIN.), WITH FLEXIBLE WATERTIGHT JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
3. ALL STORM SEWER PIPE CROSSING WATERMAIN, OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, SHALL BE ASTM D2665, SCHEDULE 40 PVC WITH SOLVENT WELD JOINTS.
4. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - b. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - i. FERNO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - ii. PRESS-SEAL, WATERSTOP GROUTING RINGS"
 - iii. OR APPROVED EQUAL.
5. INSTALL MANHOLES, CATCH BASINS, STORM SEWER, DRAIN TILE, AND OTHER POTENTIAL SOURCES OF CONTAMINATION AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MN PLUMBING CODE. THIS ISOLATION DISTANCE IS MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURE OR SIMILAR).
6. LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
7. MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER, INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, AND SIMILAR. DO NOT REMOVE EXISTING STORM SEWER UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.
8. STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS, AND MANHOLES. ADJUST GATE VALVE AND MANHOLE LOCATIONS TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. STAKE CURB AND GUTTER ALIGNMENTS TO ALLOW CURB INLET TYPE CATCH BASINS TO PROPERLY ALIGN WITH CURB AND GUTTER



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\132864_C1_1_FLD50-51.dwg 7/17/2024 8:12:17 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Tim Olson

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024

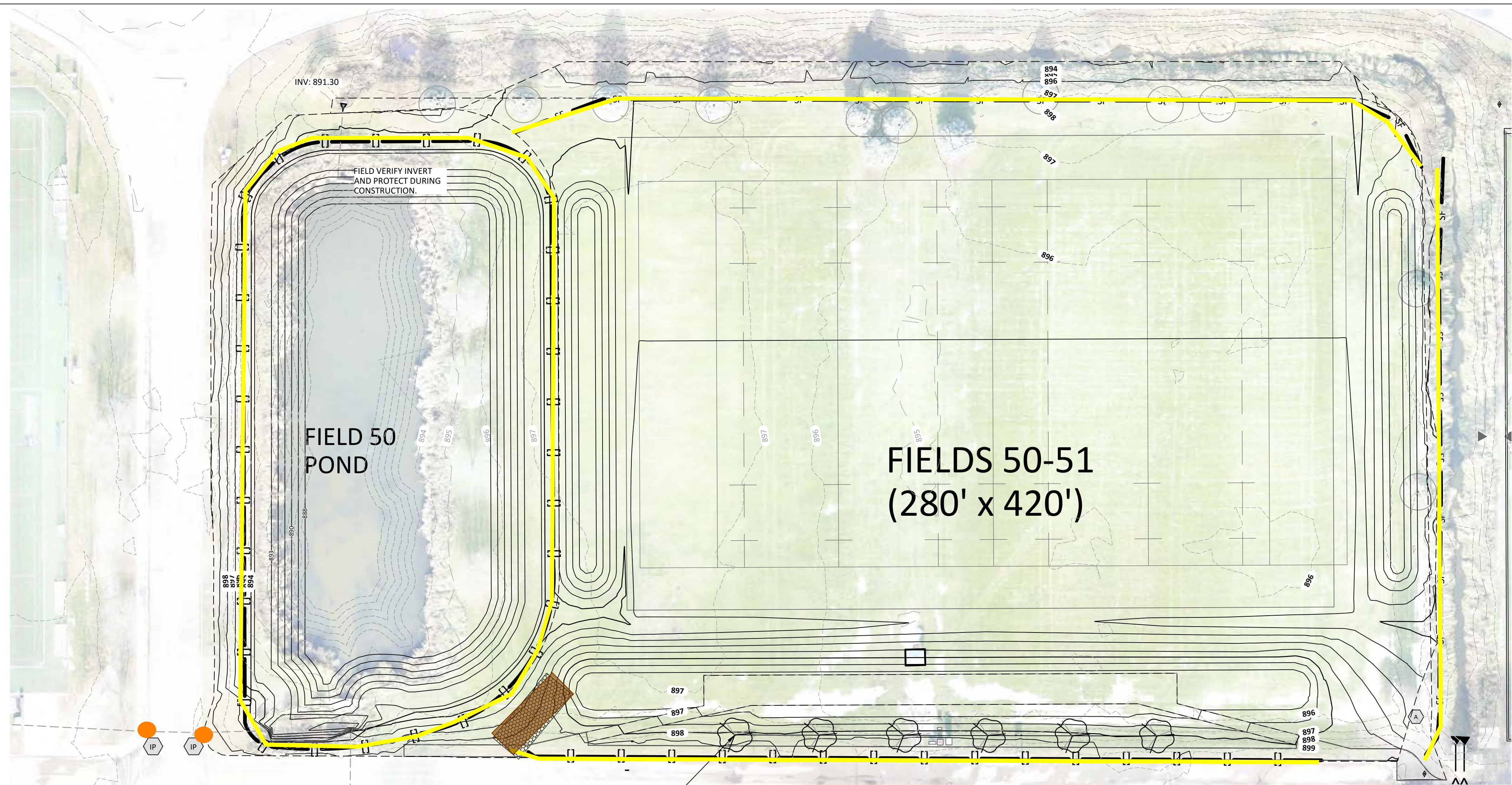


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
GRADING AND UTILITY PLAN

SHEET
C1.31

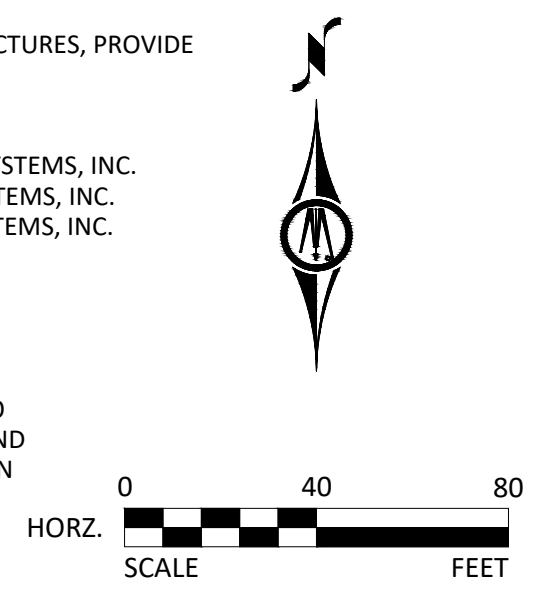


LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D. NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
TC = TOP OF CURB
TW = FINISH GRADE AT HIGH SIDE OF WALL
BW = FINISH GRADE AT LOW SIDE OF WALL
- INLET PROTECTION DEVICE AT STORM SEWER INLET
- PROPOSED GRADING LIMITS
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG
- PROPOSED ROCK CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET

NOTES

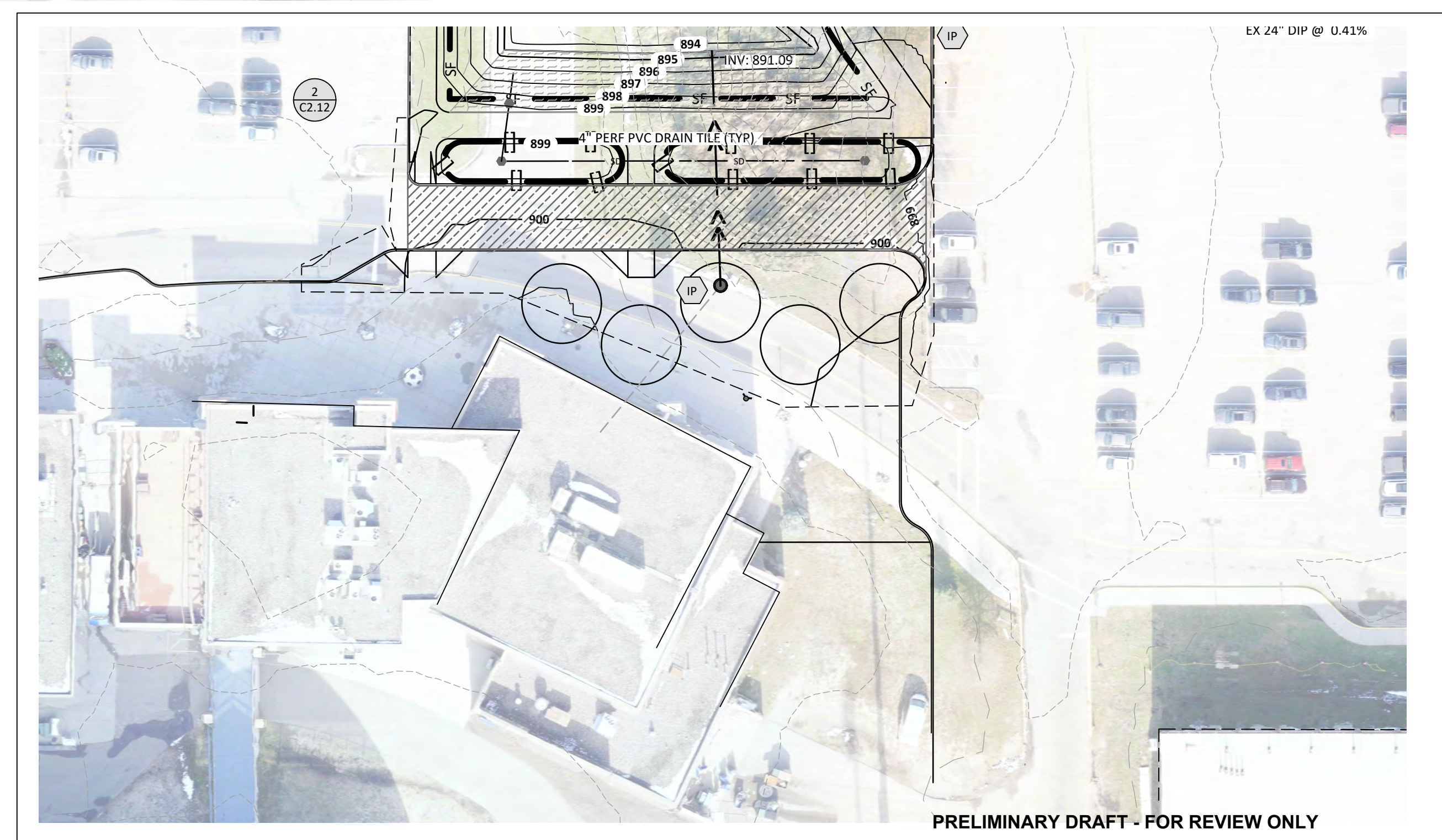
1. REFER TO SHEET C0.01, TITLE SHEET, FOR GENERAL NOTES.
2. REFER TO SWPPP NARRATIVE, SHEET C3.12, FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
3. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
4. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
5. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND OTHER LOCAL REGULATIONS.
6. IF EROSION AND SEDIMENT CONTROL MEASURES TAKEN ARE NOT ADEQUATE AND RESULT IN DOWNSTREAM SEDIMENTATION, CLEAN OUT DOWNSTREAM STORM SEWERS AND OTHER CONVEYANCE DEVICES AS NECESSARY, INCLUDING ASSOCIATED RESTORATION.
7. INLET PROTECTION DEVICE AT STORM SEWER INLETS. AT THE INLETS TO ALL STORM SEWER STRUCTURES, PROVIDE A PRODUCT FROM THE FOLLOWING LIST OF APPROVED PRODUCTS:
 - a. ROAD DRAIN "TOP SLAB", MANUFACTURED BY WIMCO
 - b. ROAD DRAIN "CURB & GUTTER", MANUFACTURED BY WIMCO
 - c. INFRASAFE "SEDIMENT CONTROL BARRIER", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - d. INFRASAFE "DEBRIS COLLECTION DEVICE", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - e. INFRASAFE "CULVERT INLET PROTECTOR", MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS, INC.
 - f. DANDY SACK, MANUFACTURED BY DANDY PRODUCTS, INC.
 - g. DANDY CURB SACK, MANUFACTURED BY DANDY PRODUCTS, INC.
 - h. OR APPROVED EQUAL.
8. PRIOR TO CONSTRUCTION, DELINEATE TURF AND VEGETATED AREAS NOT TO BE DISTURBED WITH ORANGE SNOW FENCE. DO NOT ALLOW CONSTRUCTION TRAFFIC, EQUIPMENT, OR MATERIALS TO UTILIZE, ACCESS, OR OTHERWISE ENTER THE DELINEATED AREAS. MINIMIZE SOIL COMPACTION AND DISRUPTION OF TOPSOIL IN AREAS OUTSIDE THE CONSTRUCTION LIMITS TO COMPLY WITH THE MN CONSTRUCTION STORMWATER PERMIT.



(6) SWAMP WHITE OAK
(VERIFIED PRIOR TO FINAL PLACEMENT)

EX 24" DIP @ 0.41%

PLANT SCHEDULE							
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HABIT/Form	QTY	REMARKS
TREES							
BR	BETULA NIGRA	RIVER BIRCH	10' HT.	CONT.	MULTI-STEM	7	
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	B&B		5	



PRELIMINARY DRAFT - FOR REVIEW ONLY

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\132864-01.dwg 7/17/2024 8:19:04 AM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT IN THE STATE OF MINNESOTA.

JAY R. POMEROY
LIC. NO. 23543 DATE 05/31/2024

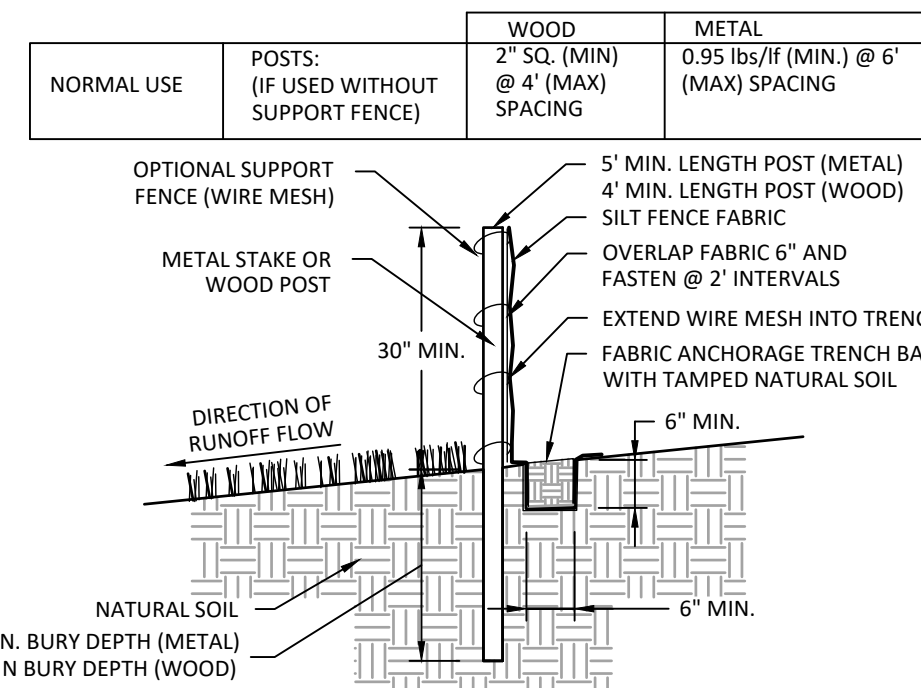


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

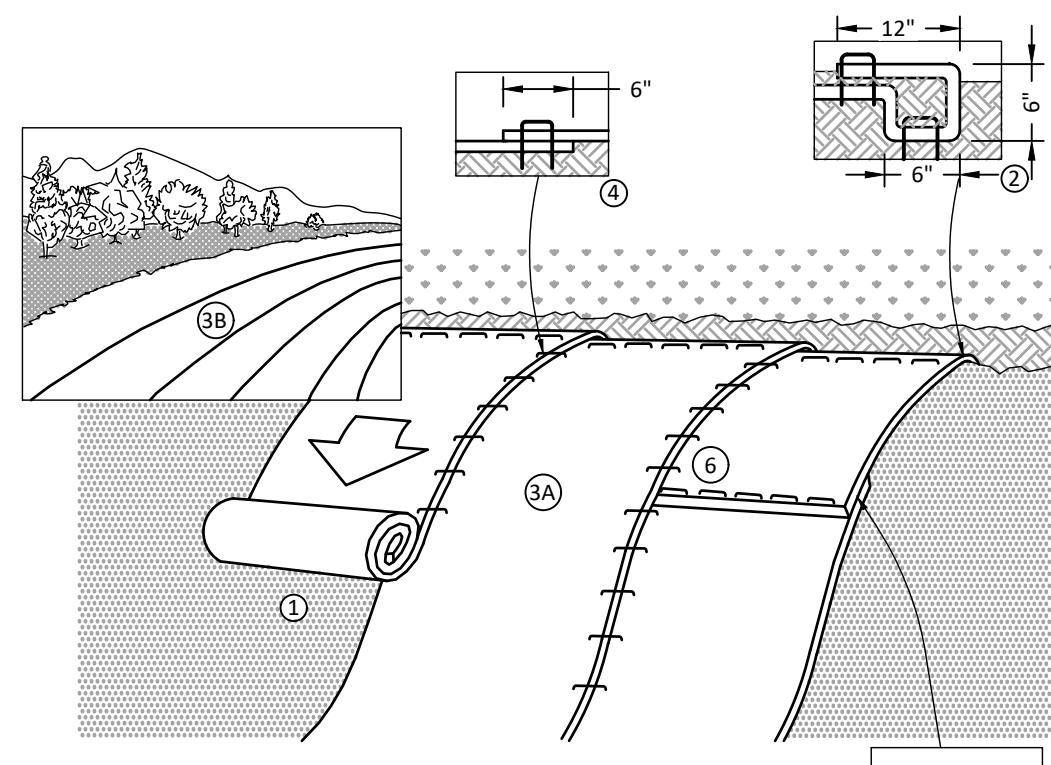
NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY PLAZA & FIELDS 50 & 51
EROSION CONTROL PLAN

SHEET
C1.41



1
C2.11
SILT FENCE

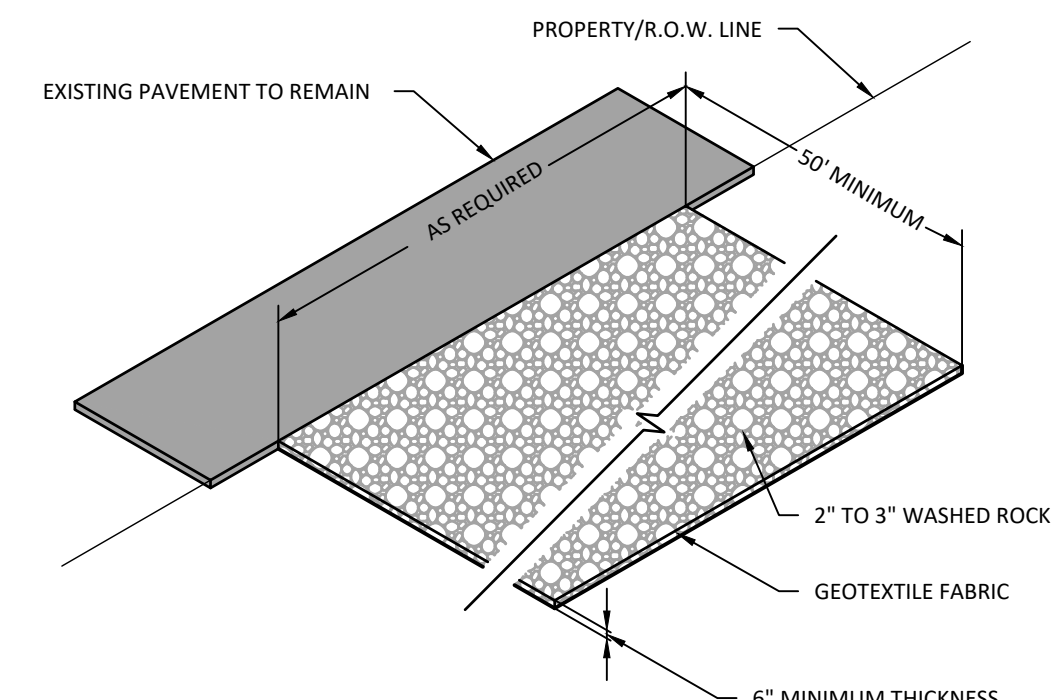
NOT TO SCALE



- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS SHALL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - BLANKET SHALL BE STAPLED AS PER MANUFACTURER'S RECOMMENDATION.

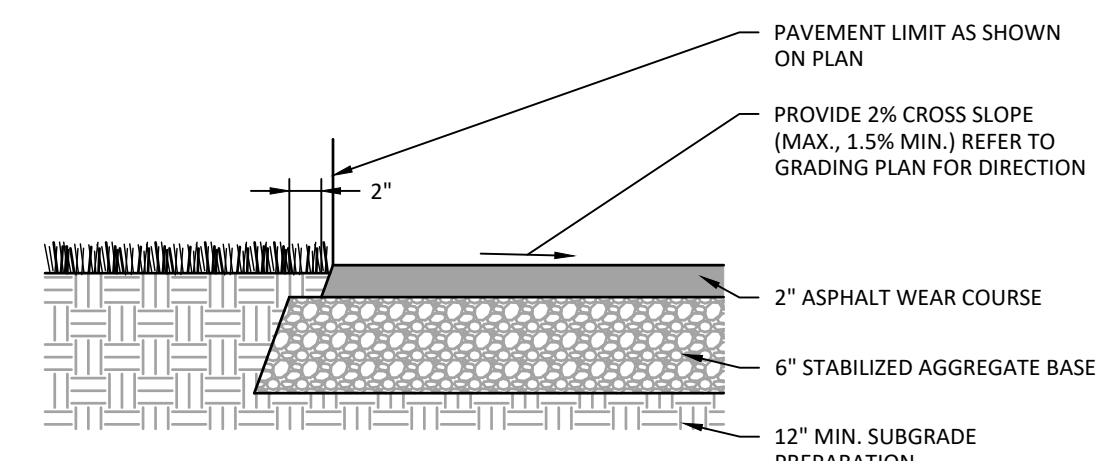
4
C2.11
EROSION CONTROL BLANKET

NOT TO SCALE



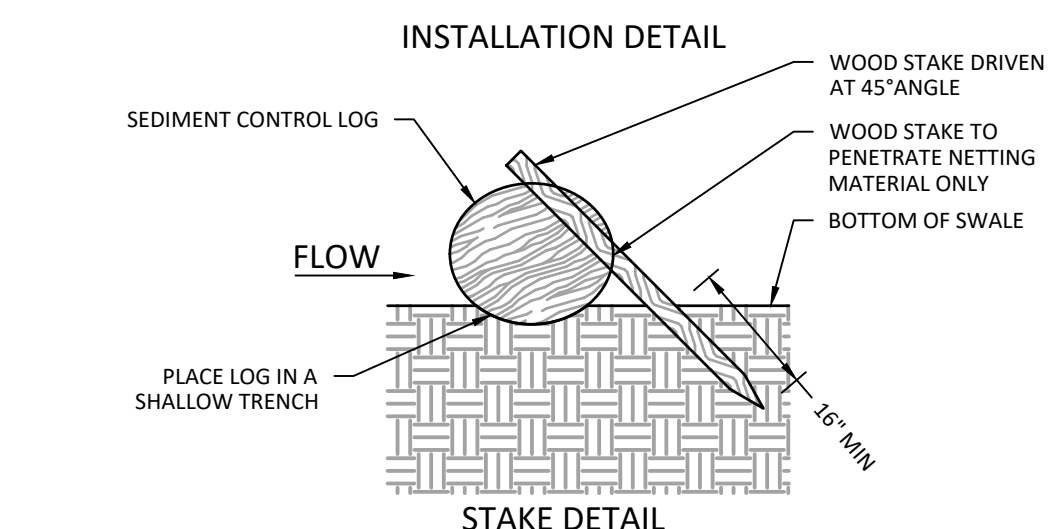
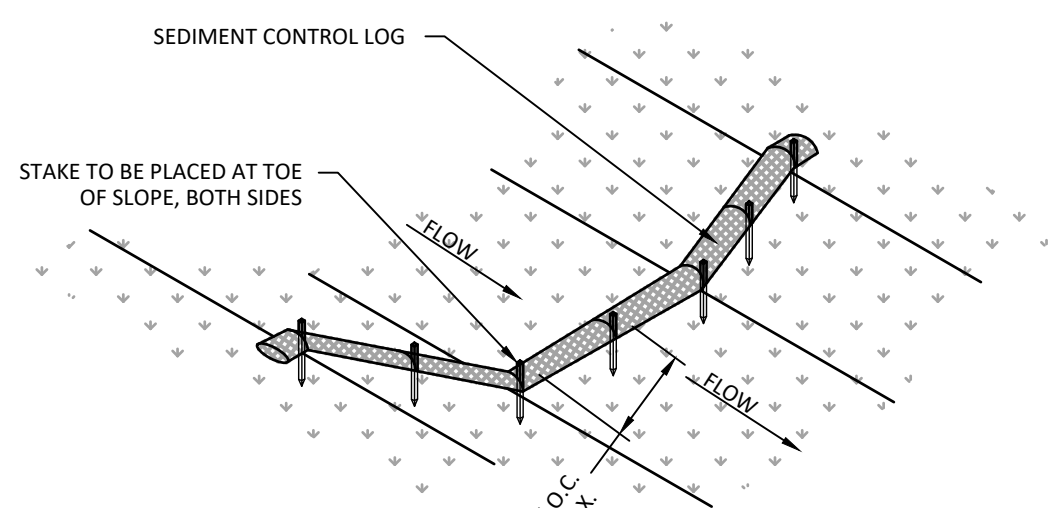
2
C2.11
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



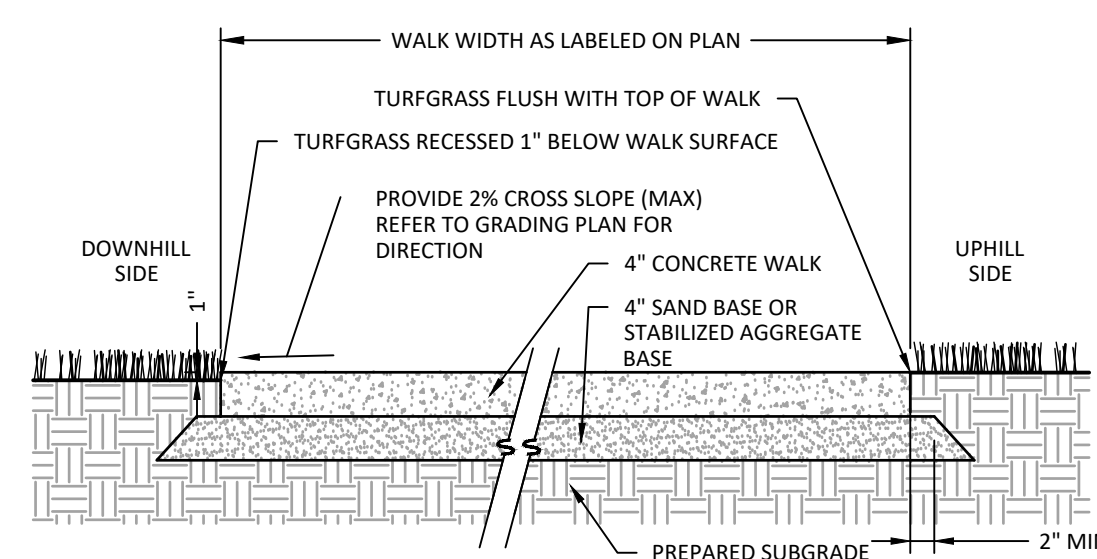
5
C2.11
LIGHT DUTY ASPHALT PAVEMENT

NOT TO SCALE



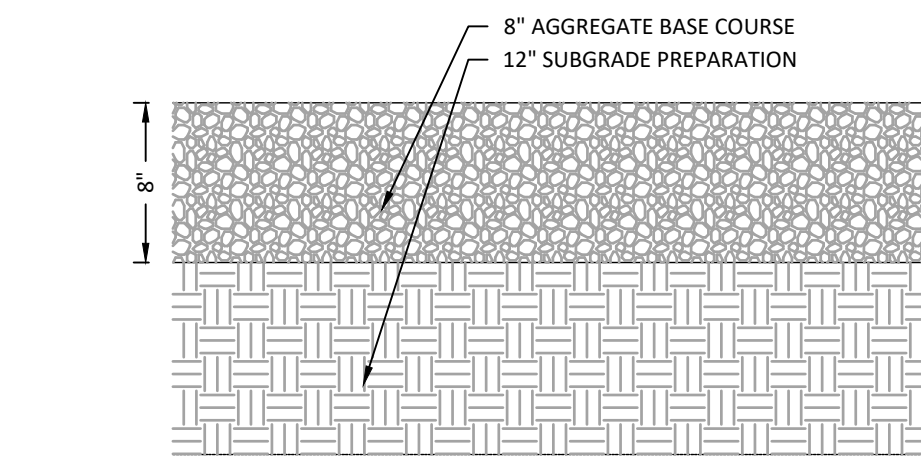
3
C2.11
SEDIMENT CONTROL LOG

NOT TO SCALE



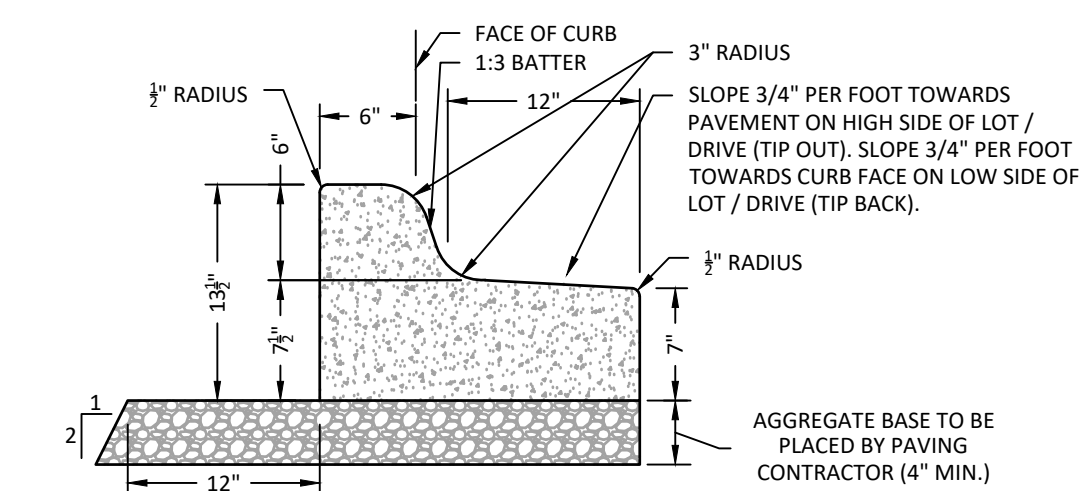
6
C2.11
CONCRETE WALK

NOT TO SCALE



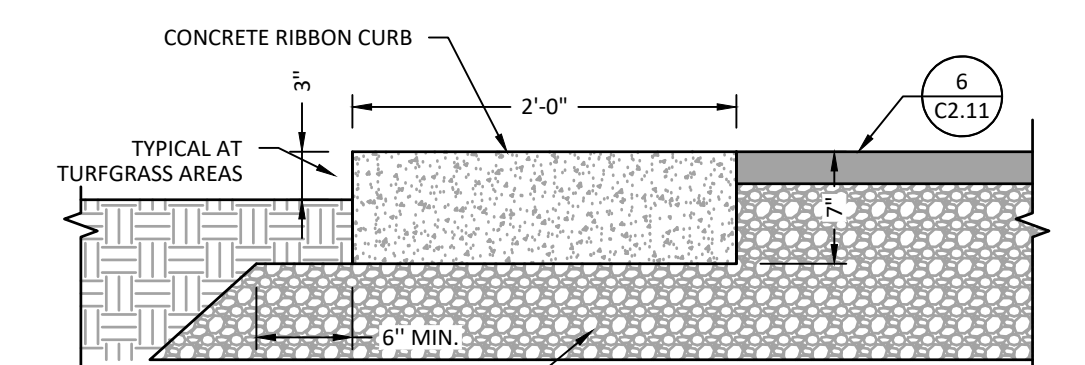
7
C2.11
GRAVEL PAVEMENT

NOT TO SCALE



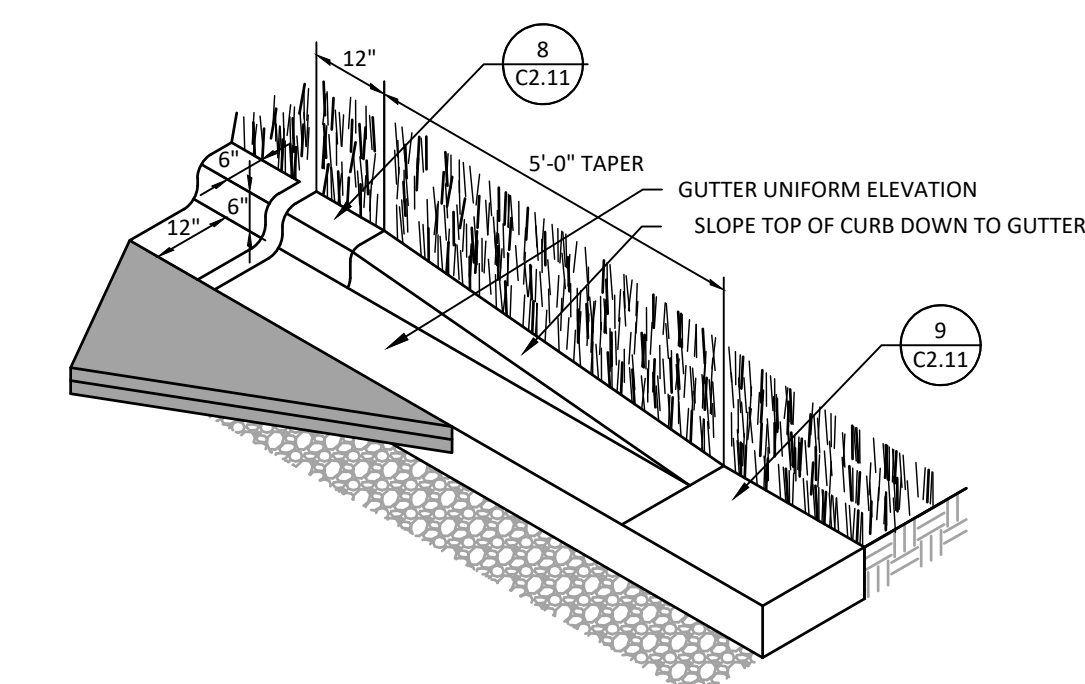
8
C2.11
B-612 CURB AND GUTTER

NOT TO SCALE



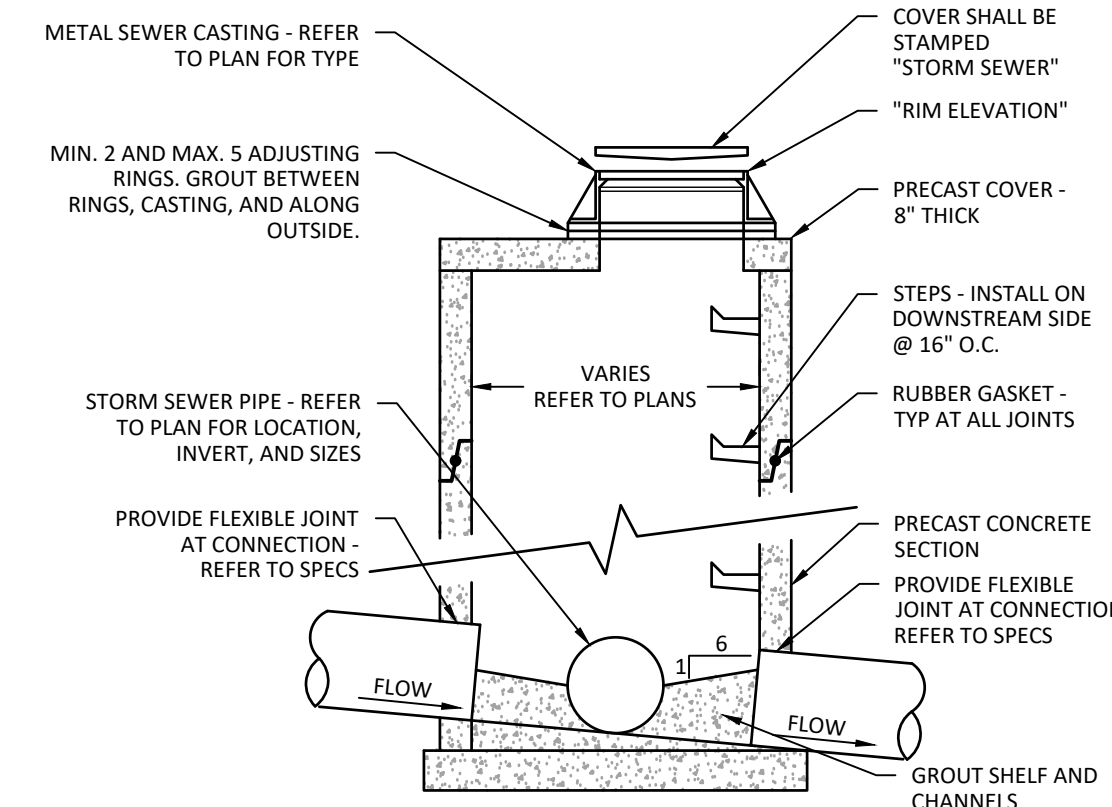
9
C2.11
CONCRETE RIBBON CURB

NOT TO SCALE



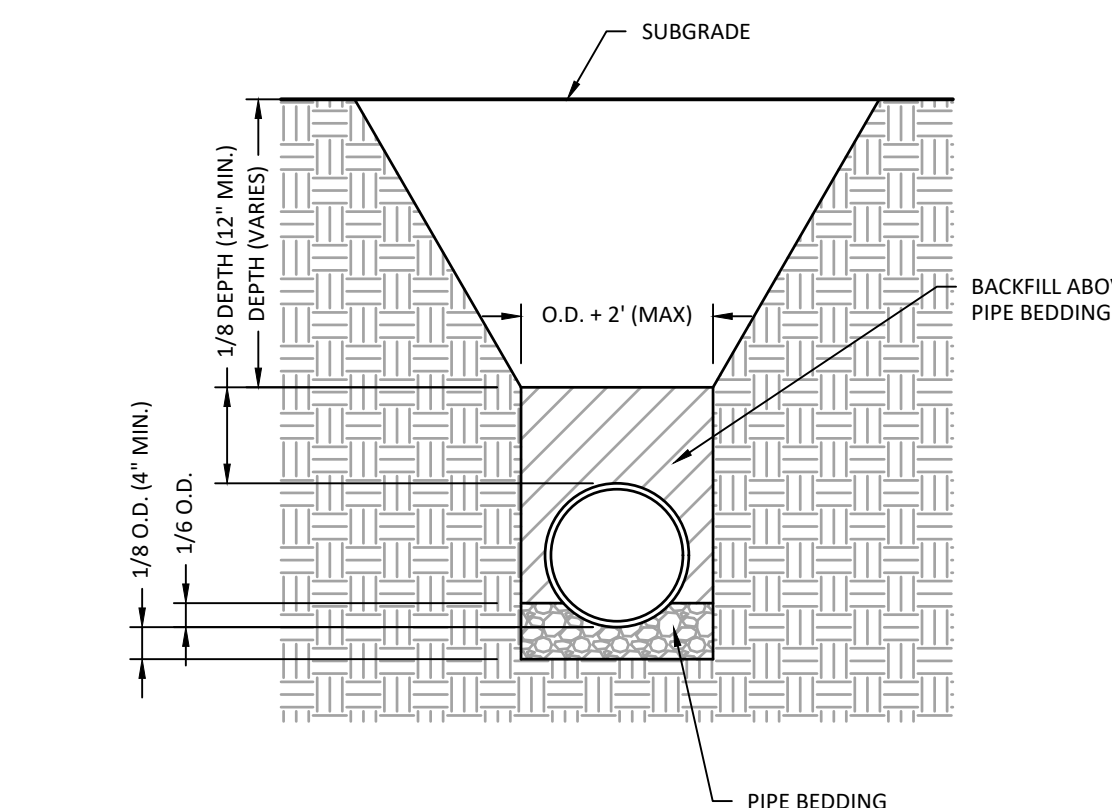
10
C2.11
CURB TRANSITION B-612 TO RIBBON CURB

NOT TO SCALE



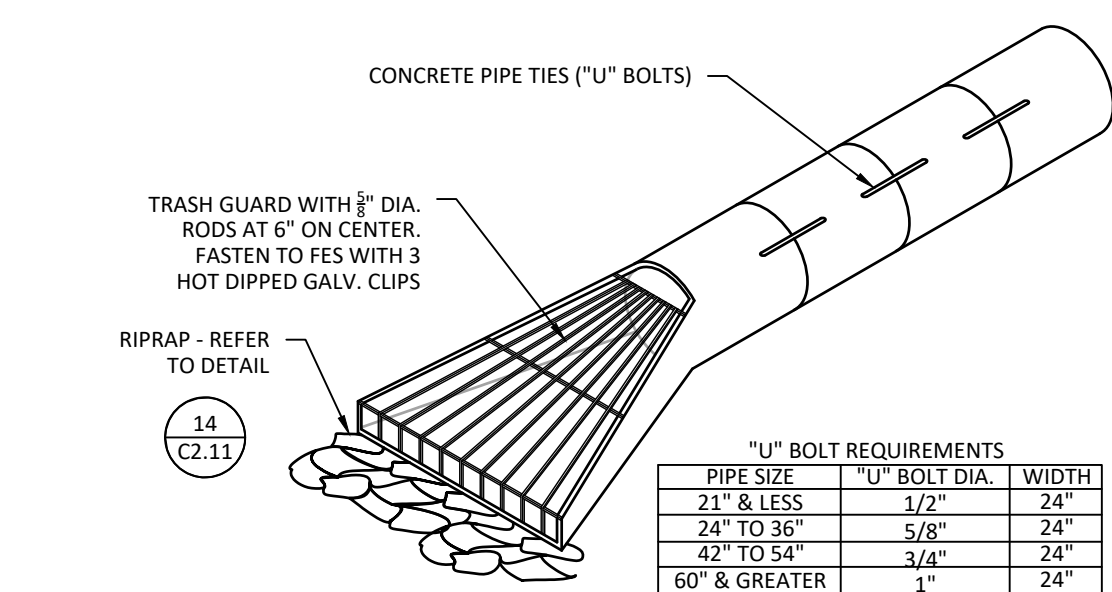
11
C2.11
STORM SEWER MANHOLE

NOT TO SCALE



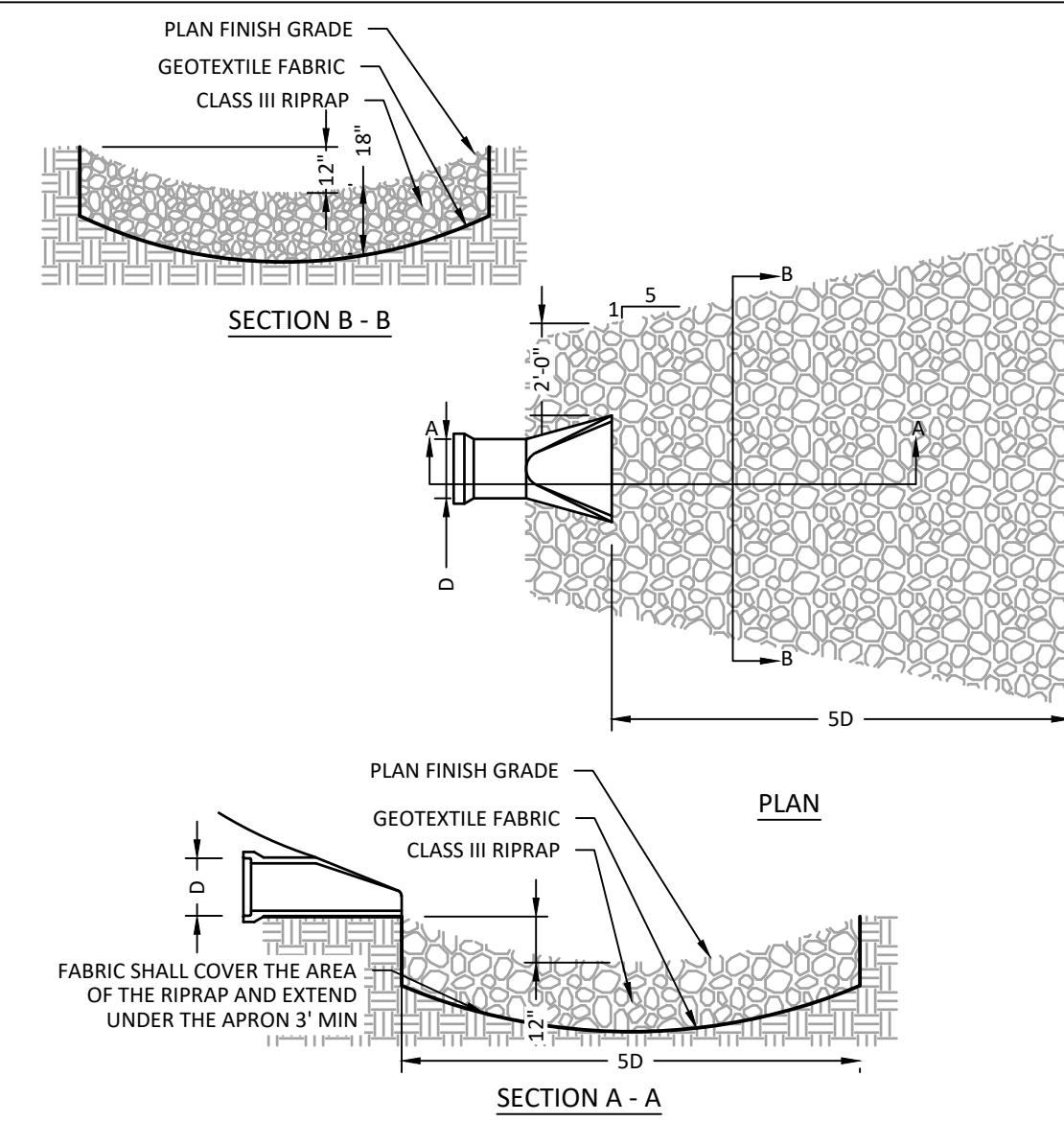
12
C2.11
PIPE BEDDING - RCP & DIP

NOT TO SCALE



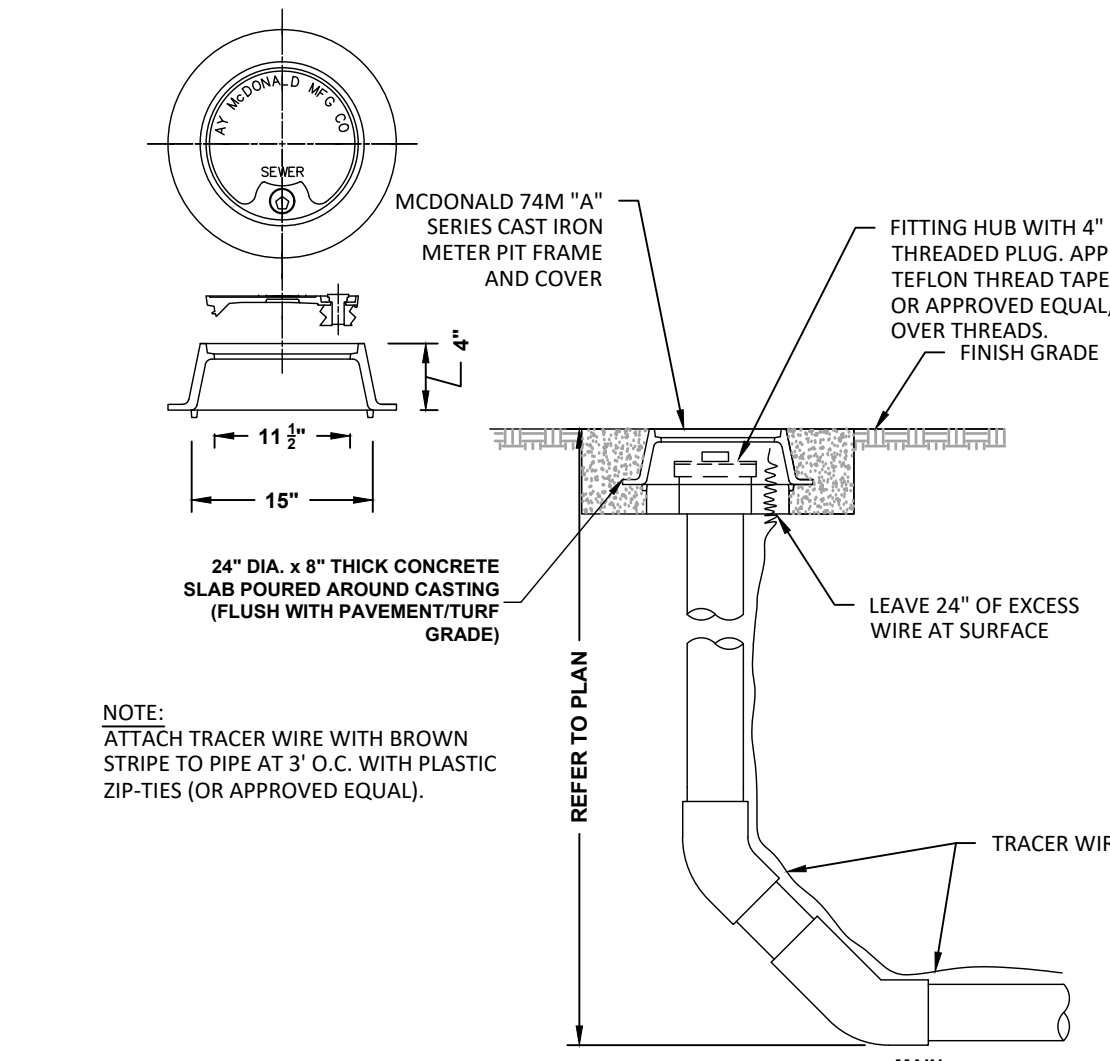
13
C2.11
RCP FLARED END SECTION (FES)

NOT TO SCALE



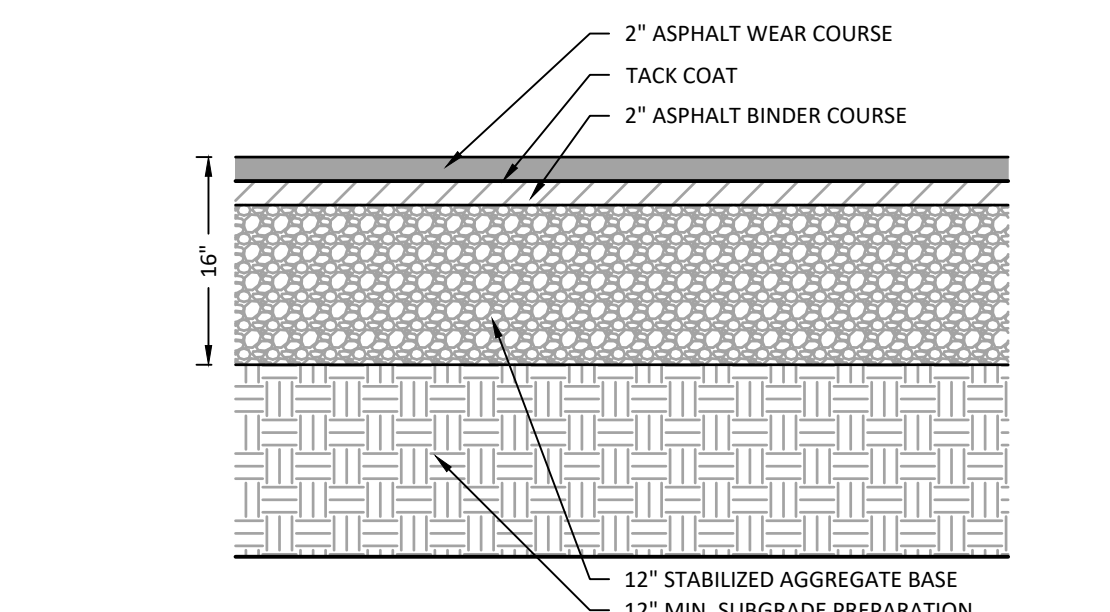
14
C2.13
RIPRAP AT FLARED END SECTION

NOT TO SCALE



15
C2.11
CLEANOUT ASSEMBLY

NOT TO SCALE



16
C2.11
HEAVY DUTY ASPHALT PAVEMENT

NOT TO SCALE

PRELIMINARY DRAFT - FOR REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024

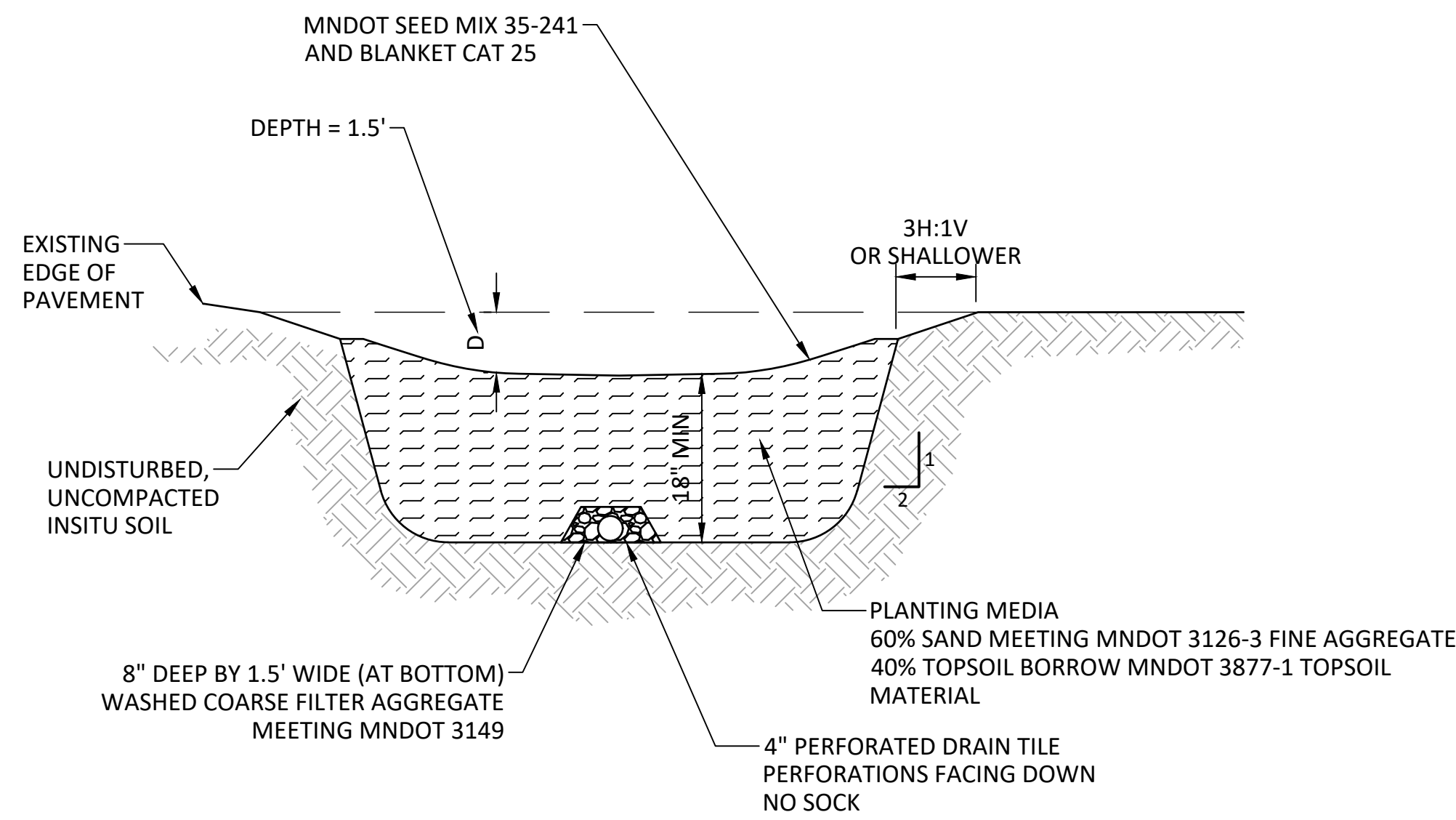


3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY DRIVE & PLAZA, FIELDS 50 & 51
SITE DETAILS

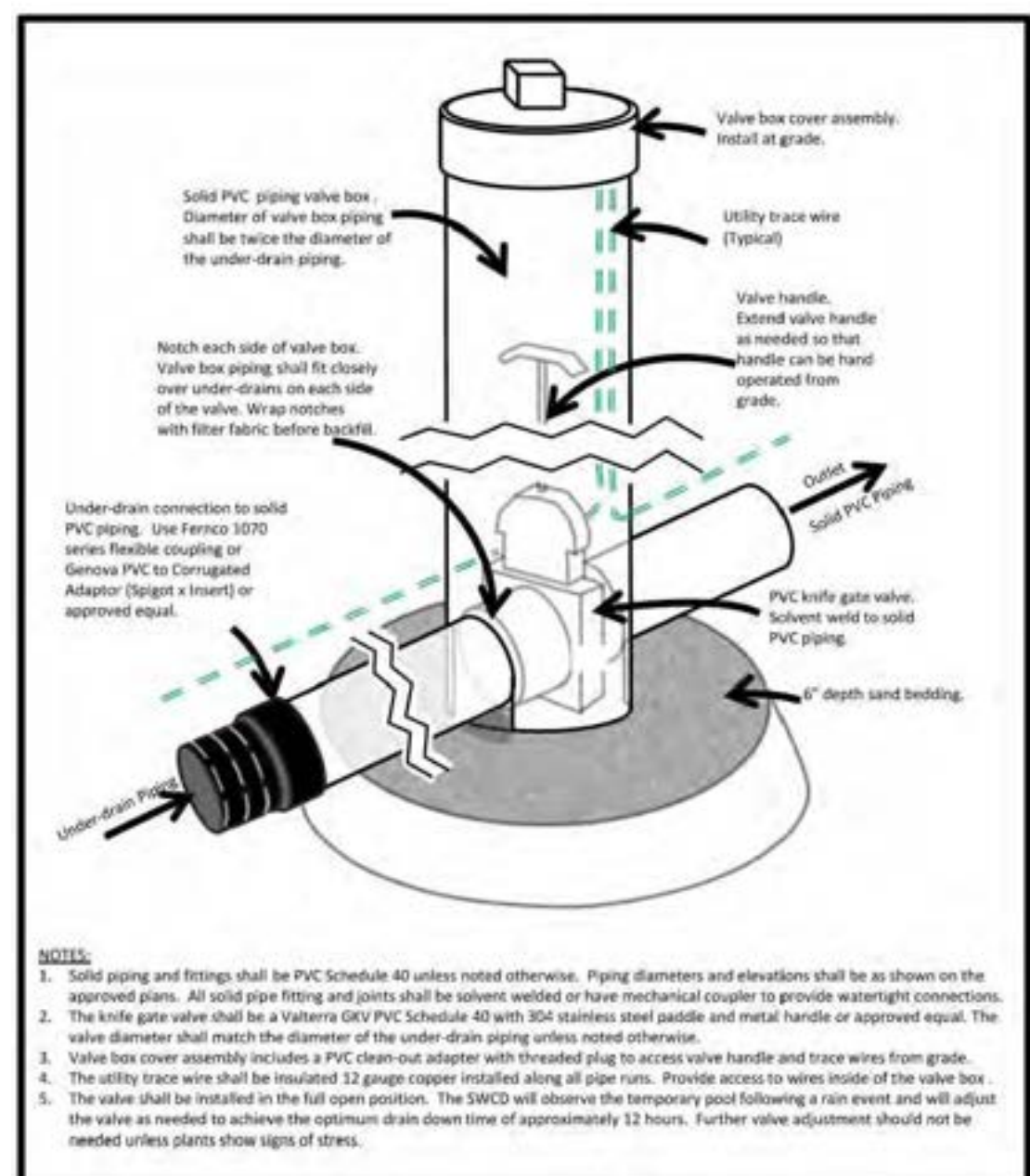
SHEET
C2.11



1
C2.12
BIORETENTION POND 3
NOT TO SCALE

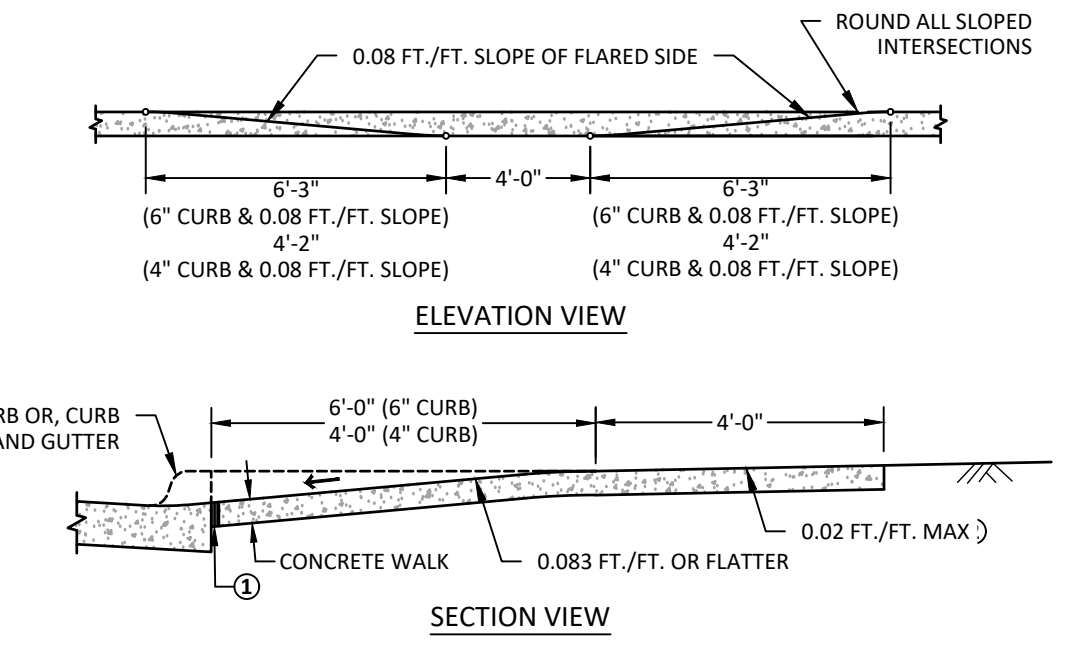
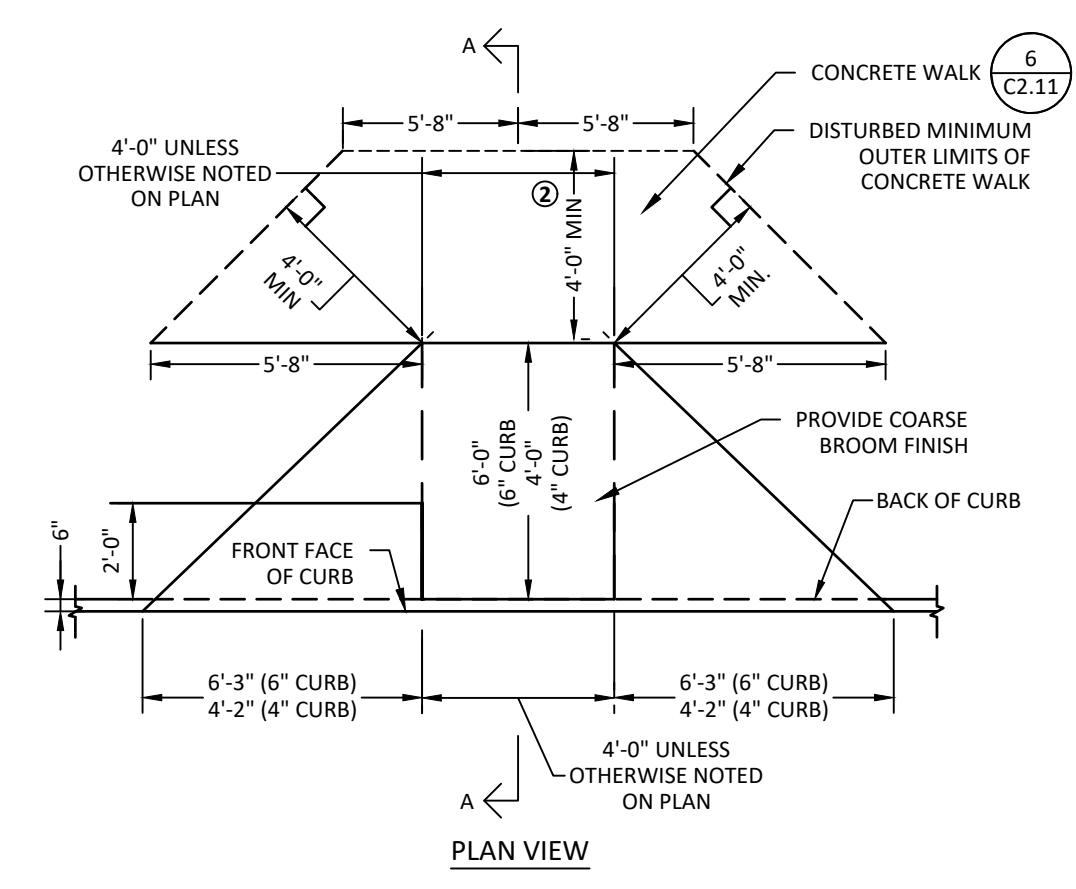
BIORETENTION POND 3 NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE FILTRATION AREA DURING CONSTRUCTION.
2. PERFORM WEEKLY INSPECTIONS, INCLUDING AFTER EACH RAINFALL EVENT.
3. ROUGH GRADE THE SITE.
4. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
5. COMPLETE GRADING AND STABILIZATION OF FILTRATION AREA ONLY AFTER THE CONTRIBUTING DRAINAGE AREA'S VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION, OR PLACEMENT OF SOIL STABILIZATION AND APPROVED BY ENGINEER, AND BEFORE CONSTRUCTION AND INSTALLING VEGETATION IN FILTRATION AREAS.
6. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA AFTER VEGETATION HAS REACHED 70% GROWTH OF PERMANENT PERENNIAL VEGETATION.
7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
8. SUBGRADE SHALL BE PREPARED SO THAT THE AREA BENEATH THE BASINS AND EMBANKMENTS IS STRIPPED OF ALL VEGETATION, TOPSOIL, AND ORGANIC MATTER.
9. INSTALLATION WITH DRY SOIL CONDITIONS IS CRITICAL TO PREVENT SMEARING AND COMPACTION. SCHEDULE WORK FOR PERIODS OF DRY WEATHER. DO NOT WORK IF SOIL CONDITIONS ARE WET. EXCAVATION, SOIL PLACEMENT AND RAPID STABILIZATION OF PERIMETER SLOPES WITH METHODS SHOWN ON PLAN MUST BE COMPLETED BEFORE THE NEXT PRECIPITATION EVENT.
10. REMOVAL OF ACCUMULATED SEDIMENT AND DEBRIS SHALL BE DONE BY HAND OR, IF SELF-PROPELLED EQUIPMENT IS REQUIRED, FROM OUTSIDE THE PERIMETER OF THE FILTRATION AREAS.



2
C2.12
PVC GATE VALVE
NOT TO SCALE

- NOTES:**
1. Solid piping and fittings shall be PVC Schedule 40 unless noted otherwise. Piping diameters and elevations shall be as shown on the approved plans. All solid pipe fitting and joints shall be solvent welded or have mechanical coupler to provide watertight connections.
 2. The knife gate valve shall be a Valterra GKV PVC Schedule 40 with 304 stainless steel paddle and metal handle or approved equal. The valve diameter shall match the diameter of the under-drain piping unless noted otherwise.
 3. Valve box cover assembly includes a PVC clean-out adapter with threaded plug to access valve handle and trace wires from grade.
 4. The utility trace wire shall be insulated 12 gauge copper installed along all pipe runs. Provide access to wires inside of the valve box.
 5. The valve shall be installed in the full open position. The SWCD will observe the temporary pool following a rain event and will adjust the valve as needed to achieve the optimum drain down time of approximately 12 hours. Further valve adjustment should not be needed unless plants show signs of stress.



3
C2.12
PEDESTRIAN CURB RAMP
NOT TO SCALE

- NOTES:**
1. 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.
 2. PROVIDE A PATH OF TRAVEL 4'-0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP.

© Bolton & Menk, Inc. 2024. All Rights Reserved. P:\DIMKE\CD\01132864\CAD\C2.12\DETAIL.dwg 6/3/2024 2:25:56 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Timothy Olson

TIM OLSON
LIC. NO. 49129 DATE 05/31/2024



3300 FERNBROOK LANE N, SUITE 300
PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

PRELIMINARY DRAFT - FOR REVIEW ONLY

NATIONAL SPORTS CENTER, MINNESOTA
NSC ENTRY DRIVE & PLAZA, FIELDS 50 & 51
SITE DETAILS

SHEET
C2.12

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R100001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	24 hours
--	----------

SITE INSPECTION INTERVAL:

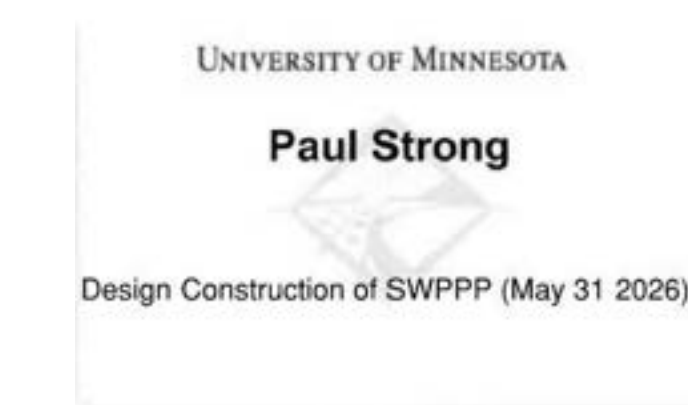
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
--	-----------------

SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

1) Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2) Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3) Does any portion of this site discharge to a Calcareous fen.	NO
4) Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5) Have any Karst features have been identified in the project vicinity?	NO
6) Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7) Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	In Progress
Watershed Permit	CCWD	In Progress

SWPPP DESIGNER TRAINING DOCUMENTATION:



PRELIMINARY DRAFT - FOR AGENCY REVIEW ONLY



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JRP

JAY R. POMEROY
LIC. NO. 23543 DATE 06/03/24



7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN, 55427

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.131841			

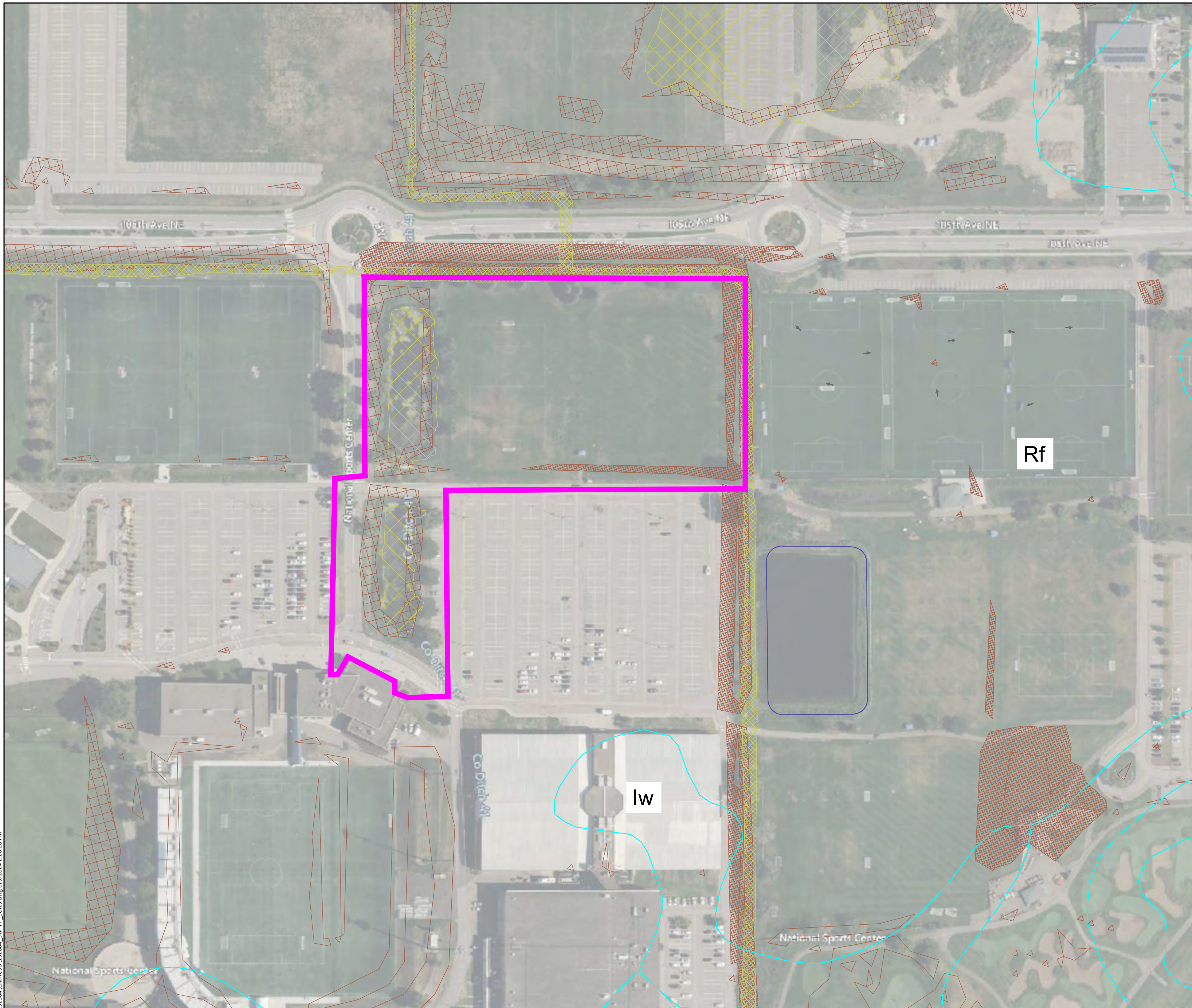
NATIONAL SPORTS CENTER, MINNESOTA

NSC ENTRY PLAZA & FIELDS 50 & 51






SWPPP - NARRATIVE

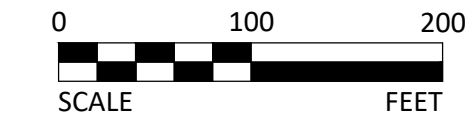
SHEET

C3.12



LEGEND

-  PROJECT BOUNDARY
-  SOIL TYPE
-  IMPAIRED, SPECIAL OR PROTECTED WATERS
-  NATIONAL WETLANDS INVENTORY
-  STEEP SLOPES (>33.3%)



SOIL TYPE SUMMARY

Map Unit Symbol	Soil Name	Hyd. Soil Group
Rf	Rifle mucky peat	A/D
lw	Isanti fine sandy loam	A/D

© Bolton & Menk, Inc. 2024. All Rights Reserved. A:\DIMKE\CAD\132864\SWPPP_SOILS.dwg 05/31/2024 2:26:26 PM



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT OF THE STATE OF MINNESOTA.

JAY R. POMEROY
 LIC. NO. 23543 DATE 05/31/2024



3300 FERNBROOK LANE N, SUITE 300
 PLYMOUTH, MN, 55447

DESIGNED	RWK	NO.	ISSUED FOR	DATE
DRAWN	RWK			
CHECKED	JRP			
CLIENT PROJ. NO.	0V1.132864			

PRELIMINARY DRAFT - FOR REVIEW ONLY

NATIONAL SPORTS CENTER, MINNESOTA
 NSC ENTRY PLAZA & FIELDS 50 & 51
 SWPPP - SOILS MAP

SHEET
C3.13

Permit Application Review Report
Date: 8/7/2024

Board Meeting Date: 8/12/2024
Agenda Item: 16

Applicant/Landowner:

Lakeshore Management LLC
Attn: Lakeshore Management
8800 Bronx Avenue Suite 200
Skokie, IL 60077

Project Name: Park of Four Seasons

Project PAN: P-23-068

Project Purpose: Construct 8 new mobile home pads with paved private parking, concrete patio, and utility connections, along with associated stormwater management practices.

Project Location: Area A: on vacant land north of community center. Area B: southeast corner of property., Park of Four Seasons 50 113th Avenue, Blaine

Site Size: size of parcel - 107.0 acres; size of disturbed area - 1.13 acres; size of regulated impervious surface - 0.31

Applicable District Rule(s): Rule 2, Rule 3, Rule 4, Rule 6

Recommendation: Approve with 3 Conditions and 4 Stipulations

Description: The applicant proposes the construction of 6 new mobile home pads and associated infiltration basins in 2 locations at the Park of Four Seasons mobile home park. This project will disturb 1.13 acres and create 0.31 of new impervious. The area drains to County Ditch 39. The relevant water resource concerns are stormwater management, erosion and sediment control and floodplain, which corresponds to District Rules 3, 4, and 6. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,565.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Rule 4.0 – Soils and Erosion Control

3. Update the erosion and sediment control plan to include the following:

- a. After initial grading, surround the proposed infiltration basin with erosion control measures to prevent the basin from clogging.
- b. A note that soils and soil stockpiles will be stabilized within 7 days of inactivity.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

- 1. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
- 2. Completion of post construction infiltration tests on Bioretention #1 and Bioretention #2 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
- 3. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.
- 4. The applicant must apply for coverage under the Minnesota Pollution Control Agency's (MPCA's) Construction Stormwater Permit (Permit No: MNR100001).

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
Addendum	Element	05/30/2024	07/09/2024
Geotechnical Report	Element	08/03/2023	10/23/2023
Stormwater Management Design & Calculations	Independence Engineering LLC		07/09/2024
Construction Plans	Independence Engineering LLC	07/08/2024	07/09/2024

Findings

Fees and Escrows (Rule 2.7):

The applicant has submitted a \$7,010.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Single Family/Multifamily Residential Development project of 107.0 acres (\$7,000.00). The applicant will be required to submit a performance escrow in the amount of \$2,565.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (1.13 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG B. Curve Numbers have been shifted down one classification to account for the impacts of grading on soil structure.

Rate Control: Peak stormwater flow rate at point 2 of site discharge increases from the pre-development condition for the 24-hour precipitation event with a return frequency of 2 and 10 years as shown in Table 1. This increase is due to uncaptured front yard/driveway drainage that is infeasible to direct towards the infiltration basins. The project will not impact Drainage Sensitive Use areas. The rate control standard is met to the maximum extent practicable.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed

1	2.06	1.48	4.07	2.58	8.59	6.67
2	0	0.2	0.01	0.33	0.8	0.382

Table 1.

Volume Control: The proposed project is new development; therefore, the volume reduction requirement is equal to 1.1 inches over the area of all impervious surface. The amount of proposed impervious required to be treated is 13,411 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
untreated	9,331	none	0	855	0
Basin 2	1,200	bioretention basin 2	1	110	2,445
Basin 1	2,880	bioretention basin 1	1	264	3,358
Totals:	13,411			1,229	5,803

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
bioretention basin 2	vegetated filter strip	80
bioretention basin 1	vegetated filter strip	80

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

Due to the infeasibility of routing front yard/driveway drainage, the volume control standard has been met to the maximum extent practicable.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
2	100
1	100

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is new development which includes buildings and habitable structures. Therefore, SMPs must be designed such that the lowest basement floor elevations are at least 2 feet above the 100-yr high water level and 1 foot above the emergency overflow. The lowest basement floor elevations proposed are 895.8 and 909.6 ft MSL. The applicable 100-year high water levels are 894.6 and 906.2 ft MSL and the applicable emergency overflows are

at 894.5 and 906.5 ft MSL. The freeboard requirement is met.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to County Ditch 39. The soils affected by the project include Rifle, Markey and Sartell which do not have a soil erodibility factor of 0.15 or greater. Disturbed areas are not proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes perimeter control, rock construction entrance, inlet protection and street sweeping. The erosion control plan does not meet District requirements because soils and soil stockpiles are not proposed to be stabilized within 7 days of inactivity and infiltration basins do not have perimeter control. See attached Figure 3: Erosion and Sediment Control Plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

Rule 6.0 applies to the proposed project because it includes land disturbing activities within or adjacent to the boundary of the 100-year flood elevation as mapped and modeled by the District.

The regulatory floodplain elevation is 893.1 ft MSL. The application proposes the placement of 6.8 cubic yards of fill within the floodplain. This is a one-time deposition of less than 50 cubic yards, therefore compensatory storage is not required. See attached Figure 5: Floodplain Impacts.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

The proposed project is not requesting a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

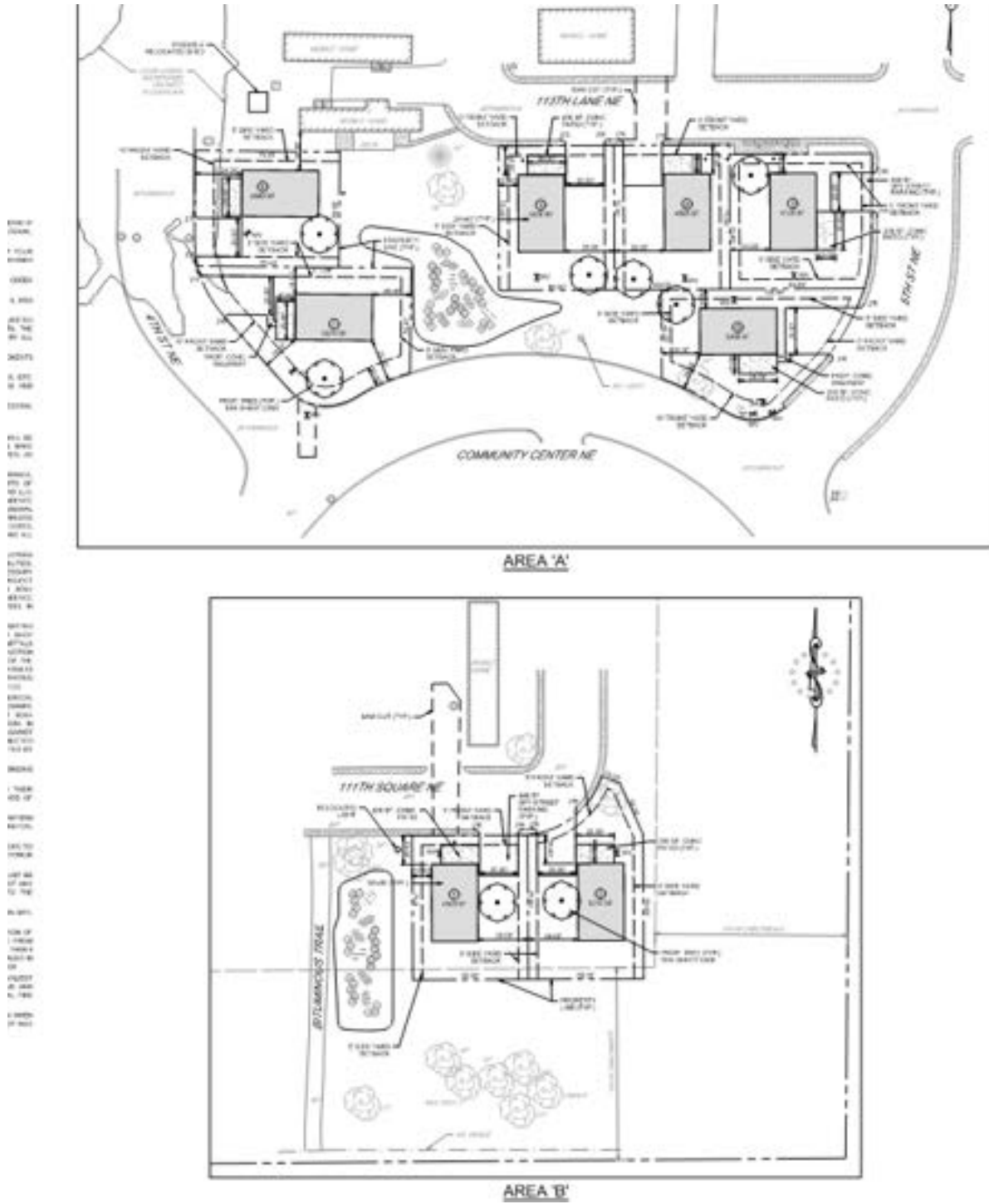
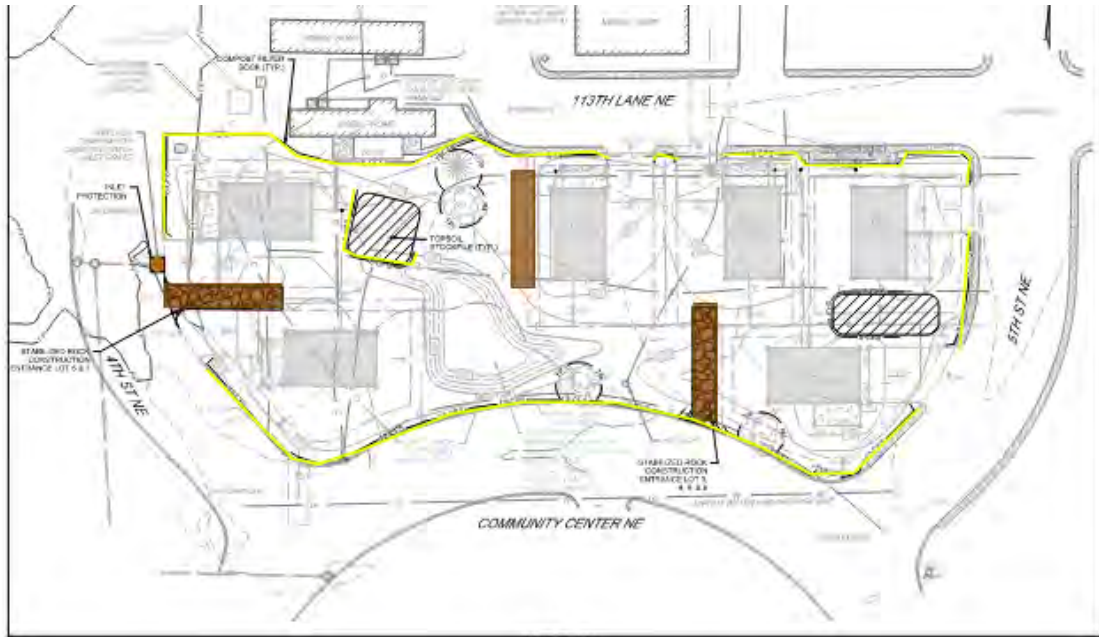


Figure 2: Site Plan



AREA 'A'

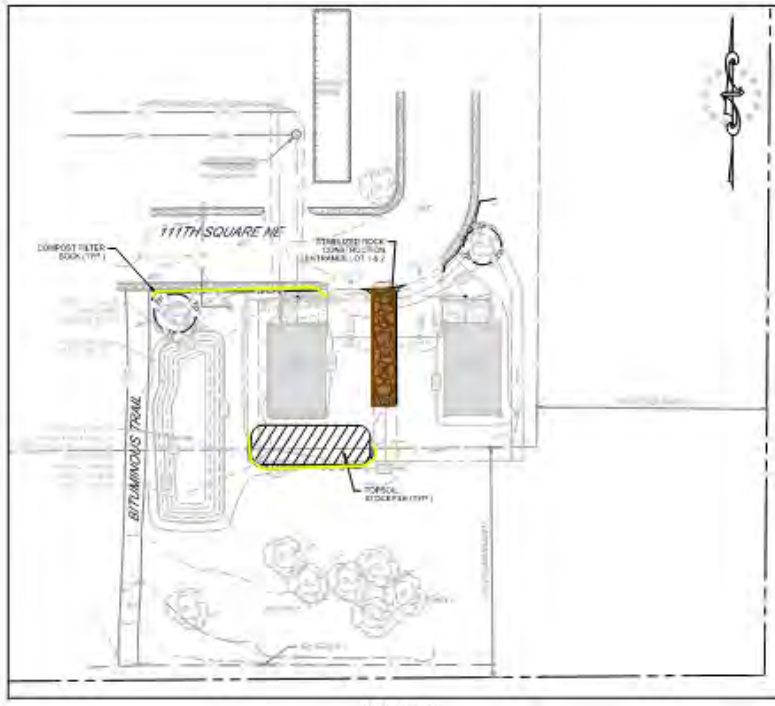


Figure 3: Erosion and Sediment Control Plan

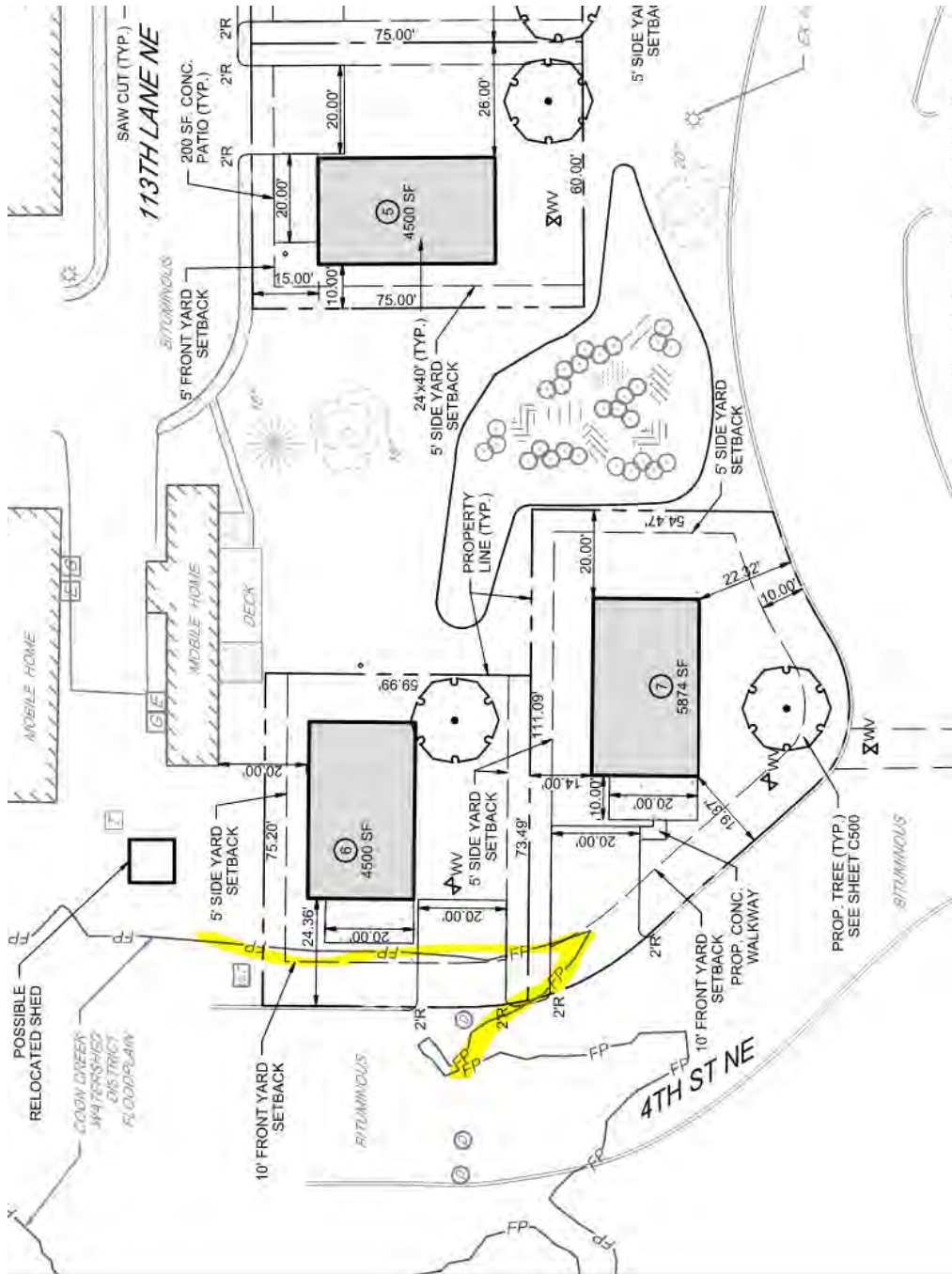


Figure 4: Floodplain Impact

PRELIMINARY PLAT

FOR

LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS

50 113TH AVENUE NORTHEAST, CITY OF BLAINE

ANOKA COUNTY, MINNESOTA 55434

PROPERTY:
 50 113TH AVENUE NE
 CITY OF BLAINE
 ANOKA COUNTY, MINNESOTA 55434

PARCEL ID: 18-31-23-22-0001
 18-31-23-23-0001
 18-31-23-32-0001
 18-31-23-32-0002

AREA: 4,660,920 SF (107 AC.)
ZONING USE: R-4 (MANUFACTURED HOMES)

OWNER / APPLICANT:
 LAKESHORE MANAGEMENT, INC.
 8800 BRONX AVENUE, SUITE 200
 SKOKIE, ILLINOIS 60077

ENGINEER:
 INDEPENDENCE ENGINEERING LLC
 1777 SENTRY PARKWAY WEST
 BUILDING 12, SUITE 103
 BLUE BELL, PENNSYLVANIA 19422
 PHONE: (215) 798-4450

SURVEYOR:
 NORTHSTAR SURVEYING
 310 EAST DEPOT STREET
 LITCHFIELD, MINNESOTA 55355
 PHONE: (320) 693-3710

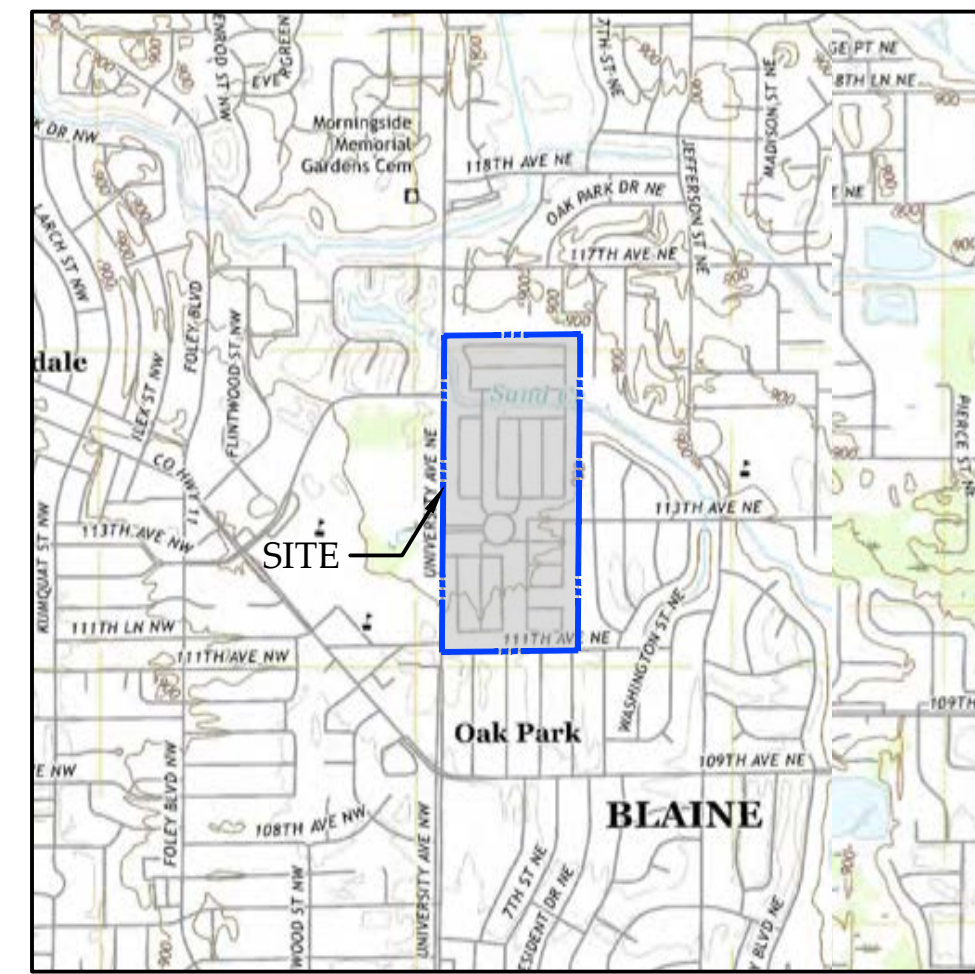
DEVELOPMENT DESCRIPTION:
 THIS DEVELOPMENT PROPOSES THE CONSTRUCTION OF EIGHT NEW MOBILE HOME PAD SITES, EACH COMPLETE WITH A PAVED DRIVEWAY AND PARKING AREA, CONCRETE PATIO, AND UTILITY CONNECTIONS.

MANUFACTURED HOMES STANDARDS PER § 29.125:

R-4: MANUFACTURED HOME RESIDENTIAL	REQUIRED	EXISTING	PROVIDED
MINIMUM MH PARK AREA (ACRES):	20	107	107
IMPERVIOUS SURFACE (ACRES):	N/A	45.6	0.31
MAXIMUM IMPERVIOUS COVER (PERCENT):	N/A	42.6%	42.9%
MINIMUM NET LOT AREA:	4,500 SF	N/A	4,500 SF
MINIMUM LOT WIDTH AND FRONTAGE:	60 FT	N/A	60 FT
FRONT SETBACK CURB:	10 FT	N/A	10 FT
FRONT SETBACK SIDEWALK:	5 FT	N/A	5 FT
SIDE SETBACK:	5 FT	N/A	5 FT
MINIMUM DISTANCE BETWEEN MOBILE HOMES:	20 FT	N/A	20 FT
MINIMUM DRIVEWAY SETBACK:	5 FT	N/A	5 FT
MINIMUM SETBACK ABUTTING ANOTHER RESIDENTIAL DISTRICT:	100 FT	N/A	100 FT

PARKING REQUIREMENTS:

OFF-STREET PARKING:	ONE 440 SF AREA / MOBILE HOME LOT
---------------------	-----------------------------------



USGS QUAD MAP - CIRCLE PINES
 SCALE: 1" = 2,000'



AERIAL MAP
 SCALE: 1" = 1,000'

SHEET INDEX

SHEET NO.	REFERENCE	SHEET TITLE
1	C000	COVER SHEET
2	C300	EXISTING CONDITIONS PLAN
3	C310	DEMOLITION PLAN
4	C400	SITE PLAN
5	C500	GRADING & LANDSCAPING PLAN
6	C600	UTILITY PLAN
7	C800	DETAIL SHEET
8	C2000	SOIL EROSION & SEDIMENT CONTROL PLAN
9	C2010	SOIL EROSION & SEDIMENT CONTROL DETAILS

REV	DATE	DESCRIPTION	BY
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS	KAL
2	07/16/2024	REVISED PER CWD REVIEW COMMENTS	ESC

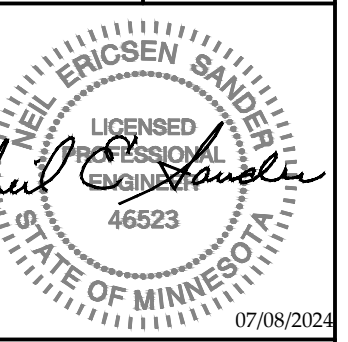
Independence
 ENGINEERING LLC
 1777 SENTRY PARKWAY WEST
 BUILDING 12, SUITE 103
 BLUE BELL, PENNSYLVANIA 19422
 INDEPENDENCE ENGINEERING
 NEW JERSEY * PENNSYLVANIA * MASSACHUSETTS

PRELIMINARY PLAT
COVER SHEET
 FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
 50 113TH AVENUE NE, CITY OF BLAINE
 ANOKA COUNTY, MINNESOTA 55434



PROJECT
 029-014
 DATE
 09/27/23

SCALE AS NOTED	DRAWN JEH
DESIGNED KAL	CHECKED JWJ

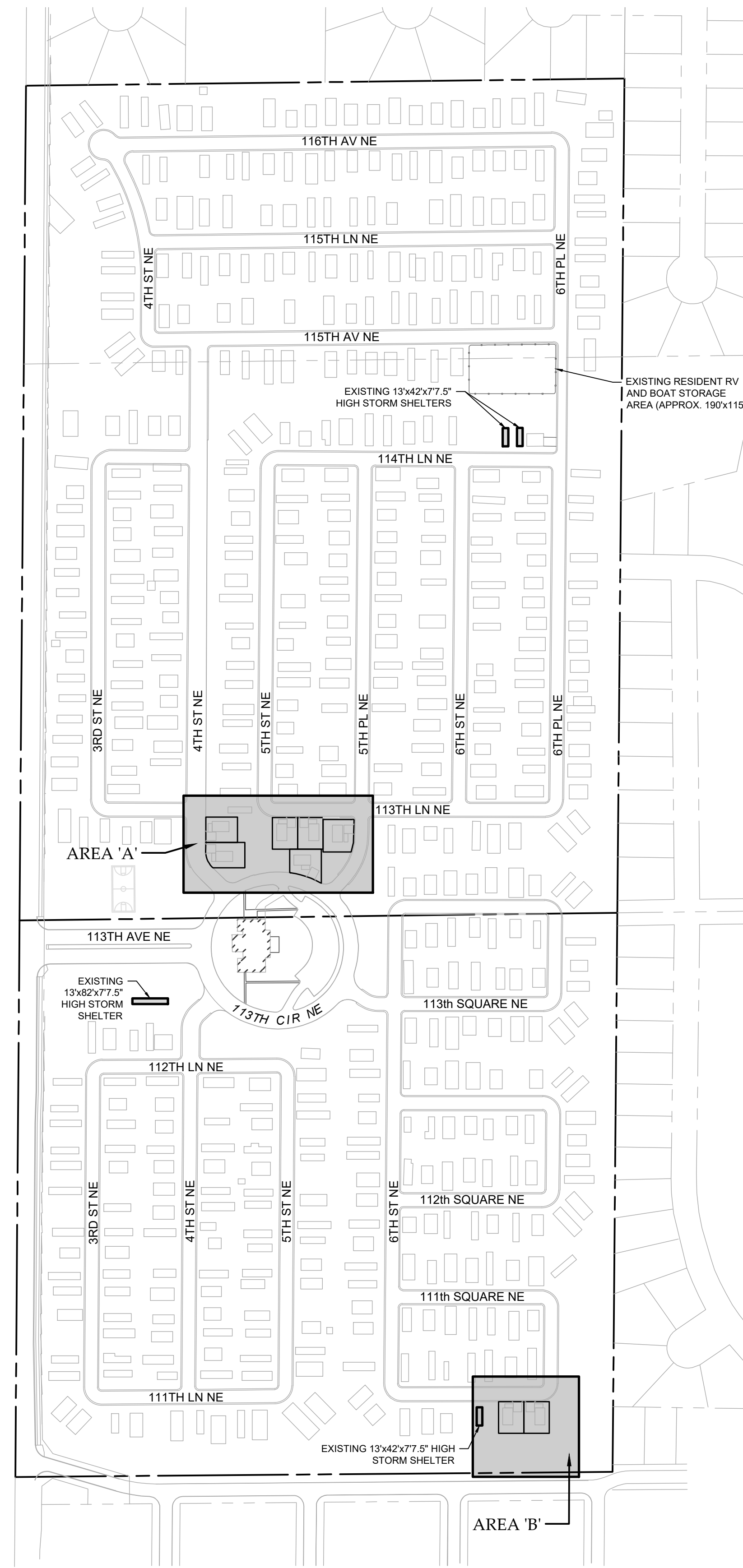


C000
 SHEET 1 OF 9



N:\029 LAKESHORE MANAGEMENT\04 FOUR SEASONS\IMPROVEMENT\PROJECT ENGINEERING\DRAWINGS\029014\SC000 - COVER - ANDREW ROTH - 2024\07.dwg

N:\029 LAKESHORE MANAGEMENT\014 FOUR SEASONS\PROJECT ENGINEERING\DRAWINGS\2024\14-SE-EXISTING - ANDREW ROTH\2024-07-08



OVERALL PLAN



PROPERTY:
50 113TH AVENUE NE
CITY OF BLAINE
ANOKA COUNTY, MN 55434

PARCEL ID: 18-31-23-22-0001
18-31-23-23-0001
18-31-23-32-0001
18-31-23-32-0002

AREA: 4,660,920 SF (107 AC.)
ZONING USE: R-4 (MANUFACTURED HOMES)

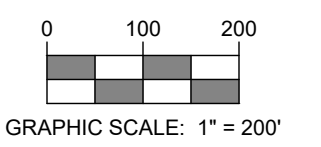
UNIT COUNT:
24' x 40': 8
EX. TO REMAIN: 572
TOTAL NEW: 8
TOTAL: 580

STORM SHELTER SCHEDULE:
13' x 42': 3
13' x 82': 1

TOTAL: 4
TOTAL COMBINED AREA: 2,704 SF

STORM SHELTER CALCULATIONS:
MINNESOTA RULES 1370 SPACE REQUIREMENTS:
MINIMUM 4 SQUARE FEET PER PARK RESIDENT.

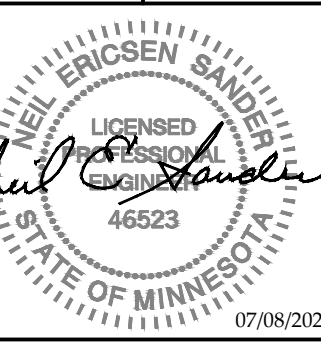
PARK RESIDENTS: 1600 PERSONS
STORM SHELTER SPACE REQ: 1600 x 4 SF / PERSON
= 6,400 SF



PROJECT
029-014
DATE
09/27/23

SCALE
1" = 200'
DESIGNED
KAL

DRAWN
ESC
CHECKED
JWJ



C300
SHEET 2 OF 9

Independence
ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE#INDEPENDENCE ENGINEERING
NEW JERSEY * PENNSYLVANIA * MASSACHUSETTS

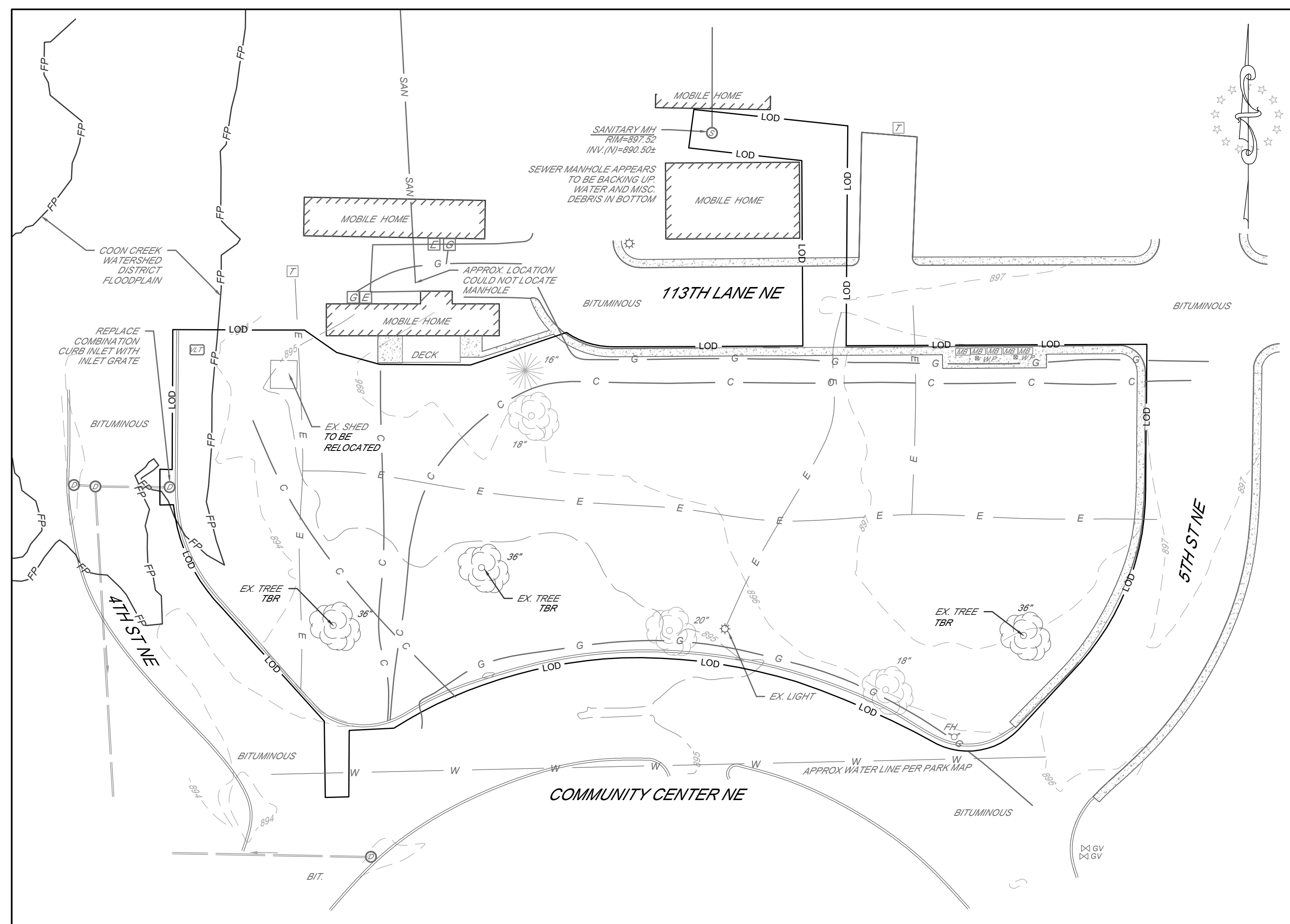
PRELIMINARY PLAN
EXISTING CONDITIONS PLAN
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/08/2024	REVISED PER CWD REVIEW COMMENTS

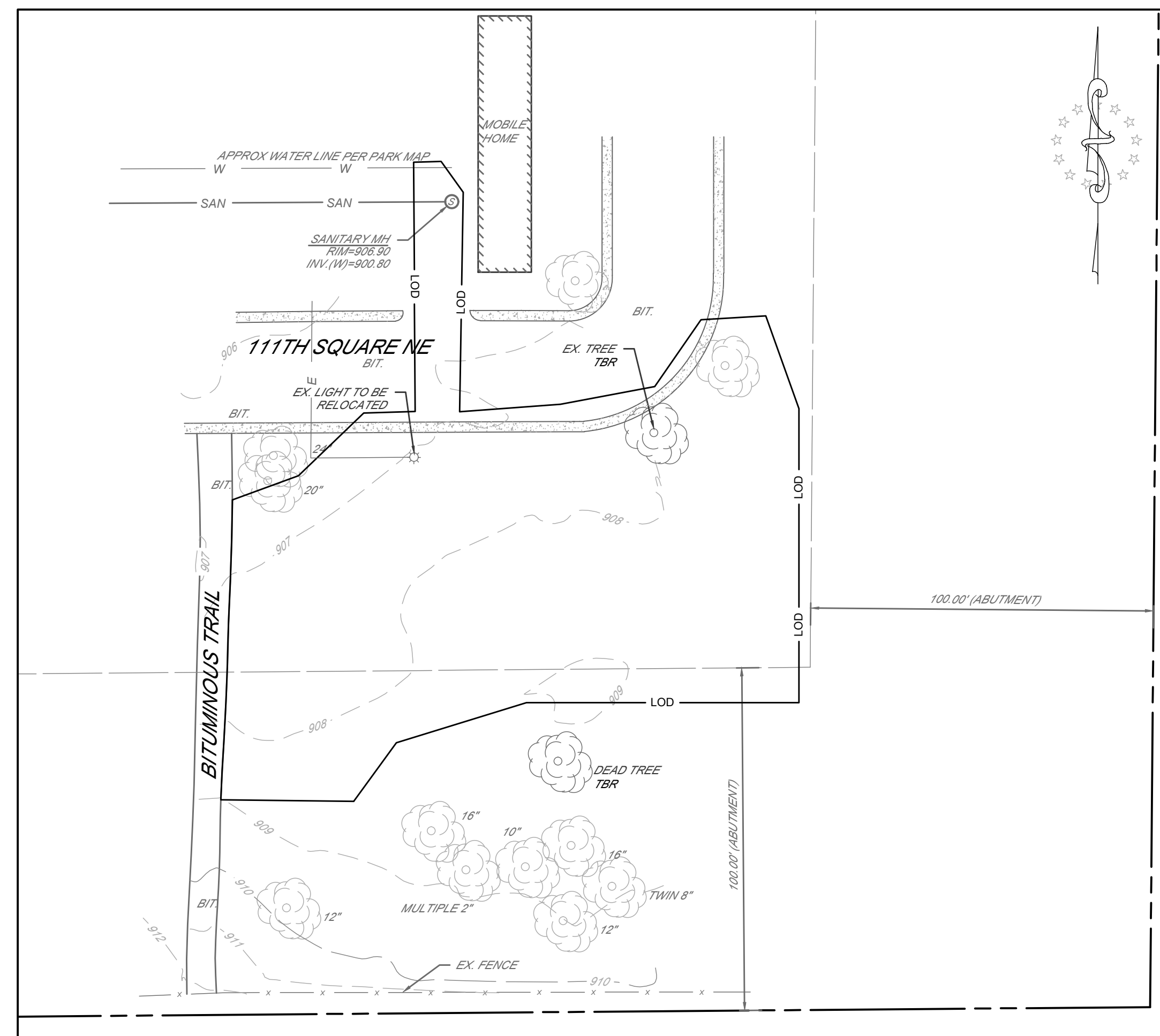
BY	DATE	DESCRIPTION
KAL		
ESC		

GENERAL DEMOLITION NOTES:

- ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "PARK OF FOUR SEASONS" PREPARED BY NORTHSTAR SURVEYING, 310 EAST DEPOT STREET, MN 55355, DATED JULY 28TH, 2023, REVISED NOVEMBER 28TH, 2023.
- UTILITIES SHOWN HEREON ARE REFERENCED FROM A PRIVATE UTILITY LOCATE SURVEY PERFORMED AND PREPARED BY GPRS, 11299 UNIVERSITY AVE NE, MINNEAPOLIS, MN, DATED NOVEMBER 3RD, 2023, AND SHOWN ON THEIR PLAN ENTITLED "GPRS FINDINGS MAP" SURVEYED UTILITIES CANNOT BE GUARANTEED, AND MUST BE VERIFIED BY THE CONTRACTOR AND 811 PRIOR TO DIGGING.
- ADDITIONAL SIDEWALK INFORMATION TAKEN FROM GIS DATA, FLOOD PLAIN LINES TAKEN FROM COON CREEK WATERSHED DISTRICT.
- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 FOR UTILITY MARK OUT PRIOR TO ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ANY EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- DEMOLITION SHALL PROCEED FROM THE TOP OF THE STRUCTURE TO THE GROUND.
- ALL DEMOLITION WORK SHALL BE COMPLETED ON A GIVEN FLOOR OF A BUILDING BEFORE ANY STRUCTURAL ELEMENTS OF THE LOWER FLOORS ARE DISTURBED.
- CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS.
- STRUCTURAL MEMBERS SHALL BE REMOVED AND LOWERED TO THE GROUND USING HOISTS, DERRICKS, AND/OR OTHER INDUSTRY-ACCEPTED METHODS.
- CONCRETE SLABS-ON-GRADE SHALL BE BROKEN UP UNLESS OTHERWISE DIRECTED.
- DEMOLITION EQUIPMENT SHALL BE LOCATED SPARSELY THROUGHOUT THE STRUCTURE AND MATERIALS REMOVED IN A MANNER TO AVOID THE IMPOSITION OF EXCESSIVE LOADS ON REMAINING STRUCTURAL ELEMENTS.
- INTERIOR AND EXTERIOR SHORING, BRACING, AND/OR SUPPORTS SHALL BE PROVIDED TO PREVENT MOVEMENT, SETTLEMENT, AND COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES.
- ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE FOOTPRINT OF THE FUTURE STRUCTURE SHALL BE DEMOLISHED. ALL OTHER FOUNDATION SYSTEMS SHALL BE DEMOLISHED TO A DEPTH OF NO LESS THAN TWELVE (12) INCHES BELOW THE GRADE OF PROPOSED PAVEMENT. BASEMENT FLOOR SLABS SHALL BE BROKEN. ALL OPEN UTILITY LINES SHALL BE SEALED WITH CONCRETE.
- COVERED PASSAGEWAYS SHALL BE ERECTED ADJACENT TO AREAS OF DEMOLITION TO PROVIDE SAFE PASSAGE TO PEDESTRIANS. ALL DEMOLITION OPERATIONS SHALL BE PERFORMED TO PREVENT DAMAGE TO STRUCTURES AND ADJACENT BUILDINGS, AND INJURY TO PERSONS.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION.
- DEMOLITION SHALL BE PERFORMED TO MINIMIZE INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER WAYS. ROADS, STREETS, WALKS, AND OTHER WAYS SHALL NOT BE CLOSED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION. ALTERNATE TRAVEL ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- WATERING, TEMPORARY ENCLOSURES, AND/OR OTHER APPROPRIATE METHODS SHALL BE EMPLOYED AS NECESSARY TO MINIMIZE THE AMOUNT OF DUST LEAVING THE DEMOLITION SITE. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. ALL ADJACENT AREAS SHALL BE RETURNED TO THE CONDITIONS IN EXISTENCE AT THE COMMENCEMENT OF WORK.
- DEMOLITION SHALL BE PERFORMED TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS TO THE SITE AT ANY TIME.
- BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES AND FOUNDATIONS SHALL BE FILLED WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES LARGER THAN SIX (6) INCHES IN DIMENSION SHALL NOT BE USED. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. AREAS TO BE FILLED SHALL BE FREE STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILLING. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING SIX (6) INCHES IN LOOSE DEPTH, AND EACH COMPACTED TO 95% OPTIMUM DRY DENSITY. THE SURFACE SHALL BE GRADED TO MEET ADJACENT CONTOURS AND TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM FILL AREA.
- ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, AND HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EARLIEST POSSIBLE TIME. MATERIALS TO BE REMOVED MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND PROCEDURES ENFORCED BY THE FIRE DEPARTMENT AND OTHER AUTHORITIES HAVING JURISDICTION.
- ALL UTILITIES SERVICING STRUCTURES TO BE DEMOLISHED SHALL BE DISCONNECTED, SHUT OFF, AND SEALED IN CONCRETE PRIOR TO THE COMMENCEMENT OF DEMOLITION. ALL UTILITY, DRAINAGE, AND SANITARY LINES SHALL BE MARKED FOR POSITION PRIOR TO DISCONNECTION, AND ALL ACTIVE LINES SHALL BE PROTECTED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS. ALL UTILITY SERVICES TO BE INTERRUPTED SHALL BE CLEARLY MARKED PRIOR TO DEMOLITION, AND ALL LOCAL UTILITY AGENCIES SHALL BE NOTIFIED TO ENSURE THE CONTINUATION OF SERVICE.
- ALL EXISTING UTILITIES SHALL BE REMOVED, AS NECESSARY, IN ACCORDANCE WITH LOCAL UTILITY AGENCY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
- TEMPORARY SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.



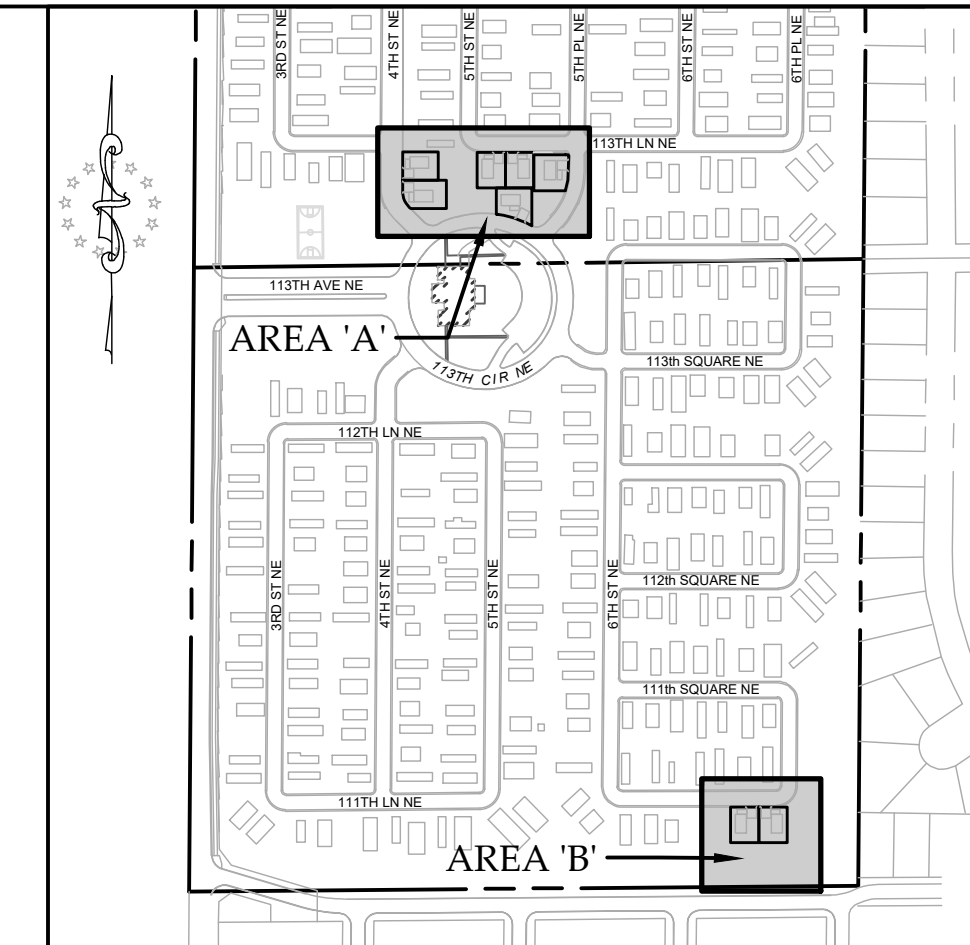
AREA 'A'



AREA 'B'

LEGEND

---	EXISTING RIGHT-OF-WAY
- - -	EXISTING PROPERTY LINE
- x - x -	EXISTING FENCE
- - - 100 - - -	EXISTING CONTOUR LINE - MAJOR
- - - 122 - - -	EXISTING CONTOUR LINE - MINOR
LOD	LIMIT OF DISTURBANCE
E	EXISTING UNDERGROUND ELECTRIC
C	EXISTING CABLE/COMMS WIRE
W	EXISTING DOMESTIC WATER SERVICE
G	EXISTING GAS SERVICE
SAN	EXISTING SANITARY PIPE
FP	EXISTING FLOOD PLAIN BOUNDARY
---	EXISTING STORM PIPE
---	EXISTING TELECOMMUNICATIONS VAULT
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	EXISTING ELECTRIC TRANSFORMER
---	EXISTING GAS METER
---	EXISTING ELECTRIC METER
GV	EXISTING GAS VALVE
FH	EXISTING FIRE HYDRANT
*	EXISTING LIGHT POLE
TBR	EXISTING FEATURE TO BE REMOVED



KEY MAP
SCALE: NTS

REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/16/2024	REVISED PER CWD REVIEW COMMENTS

Independence
ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
NEW JERSEY # PENNSYLVANIA # MASSACHUSETTS

PRELIMINARY PLAN
DEMOLITION PLAN
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

PROPERTY:
50 113TH AVENUE NE
CITY OF BLAINE
ANOKA COUNTY, MN 55434

PARCEL ID: 18-31-23-22-0001
18-31-23-23-0001
18-31-23-32-0001
18-31-23-32-0002

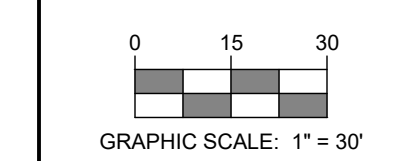
AREA: 4,660,920 SF (107 AC.)
ZONING USE: R-4 (MANUFACTURED HOMES)

UNIT COUNT:
24' x 40': 8
EX. TO REMAIN: 572
TOTAL NEW: 8
TOTAL: 580

STORM SHELTER SCHEDULE:
13' x 42': 3
13' x 82': 1
TOTAL: 4
TOTAL COMBINED AREA: 2,704 SF

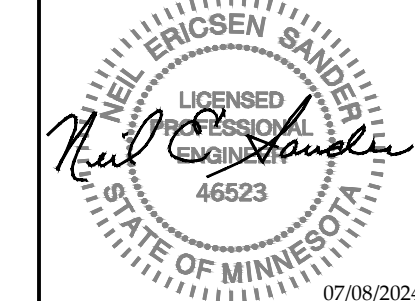
STORM SHELTER CALCULATIONS:
MINNESOTA RULES 1370 SPACE REQUIREMENTS:
MINIMUM 4 SQUARE FEET PER PARK RESIDENT.

PARK RESIDENTS: 1600 PERSONS
STORM SHELTER SPACE REQ: 1600 x 4 SF / PERSON
= 6,400 SF



PROJECT	029-014
DATE	09/27/23

SCALE	1" = 30'	DRAWN	ESC
DESIGNED	KAL	CHECKED	JWJ



C310
SHEET 3 OF 9

N:\029 LAKESHORE MANAGEMENT\04 FOUR SEASONS\PROJECT ENGINEERING\DRAWINGS\029014\SS DEMO - ANDREW ROTH\2024\07-08

SITE PLAN NOTES:

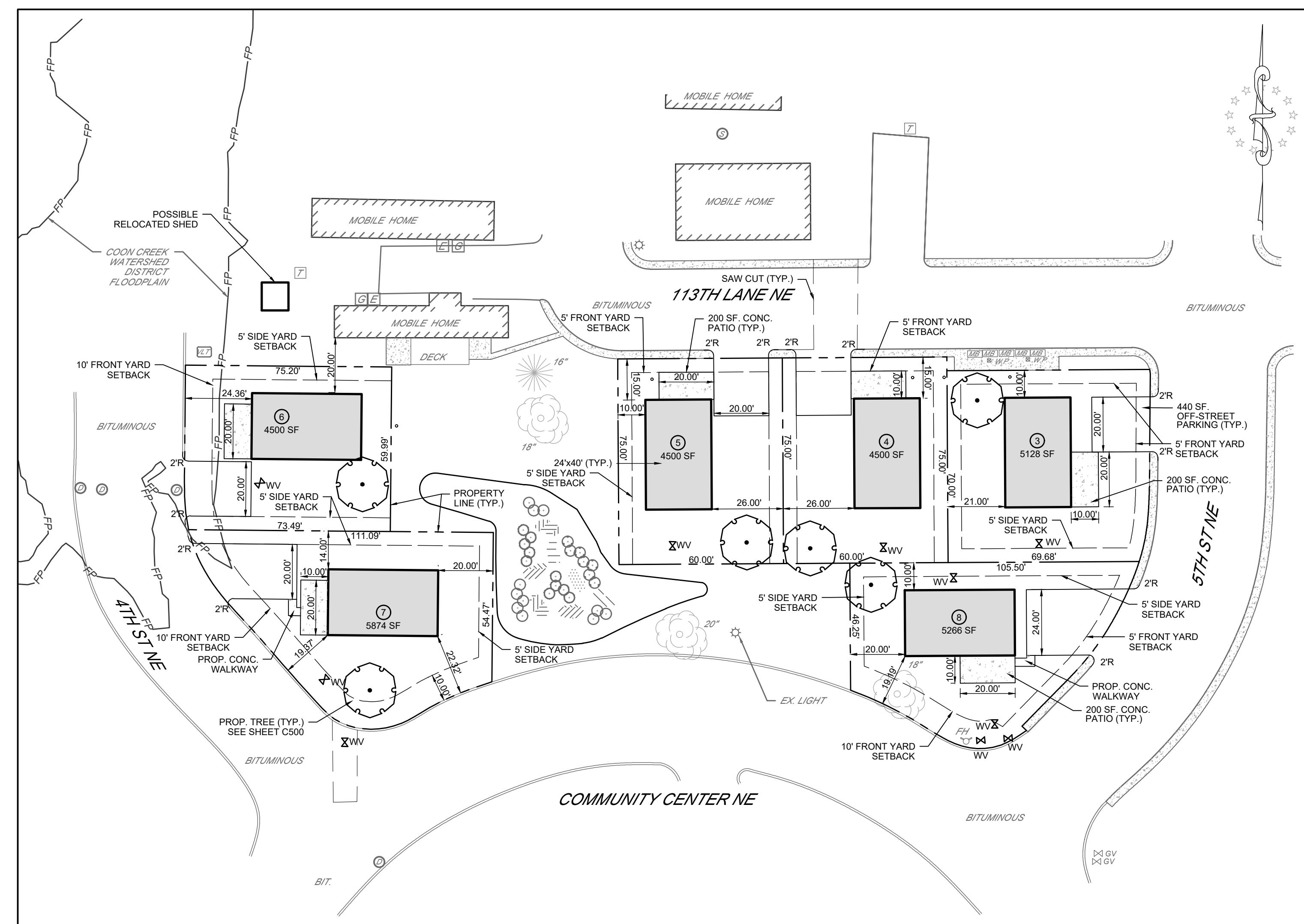
- PROPERTY:
50 113TH AVENUE NE
CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

PARCEL ID: 18-31-23-22-0001
18-31-23-23-0001
18-31-23-32-0001
18-31-23-32-0002

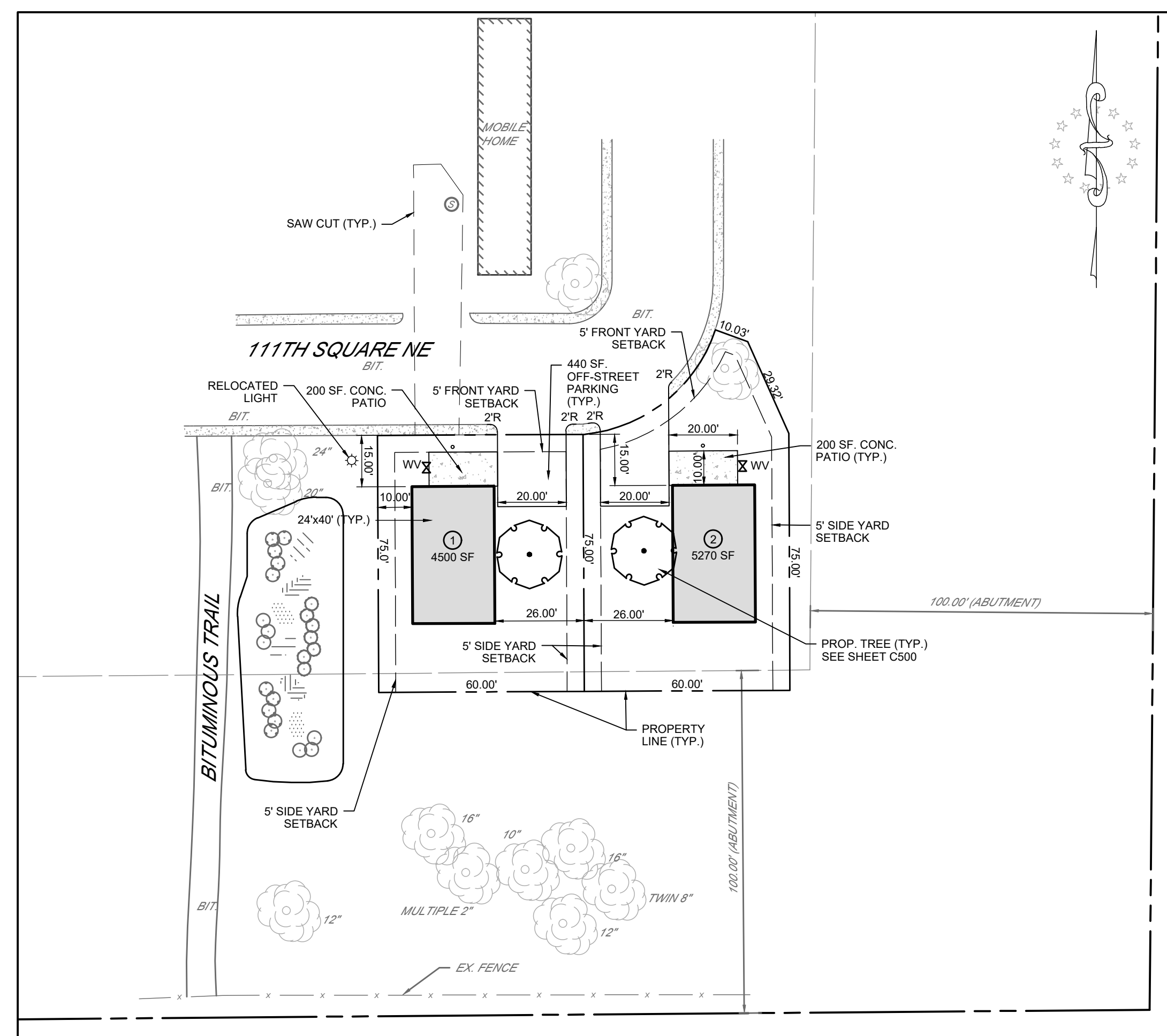
AREA: 4,660,920 SF (107 AC.)
ZONE USE: R-4 (MANUFACTURED HOMES)
- OWNER / APPLICANT:
LAKESHORE MANAGEMENT, INC.
8800 BRONX AVENUE, SUITE 200
SKOKIE, ILLINOIS 60077
- ENGINEER:
INDEPENDENCE ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
PHONE: (215) 788-4450
- SURVEYOR:
NORTHSTAR SURVEYING
310 EAST DEPOT STREET
LITCHFIELD, MINNESOTA 55355
PHONE: (320) 693-3710
- ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION WILL BE GRANTED AFTER A BID AWARD FOR ANY EQUIPMENT, MATERIAL, OR LABOR REQUIRED TO MODIFY THE DESIGN TO MATCH FIELD CONDITIONS.
- BASE MAP AND BOUNDARY INFORMATION SHOWN HERON TAKEN FROM A PLAN ENTITLED "PARK OF FOUR SEASONS" PREPARED BY NORTHSTAR SURVEYING, 310 EAST DEPOT STREET, MN 55355, DATED JULY 28TH, 2023 REVISED NOVEMBER 28TH, 2023.
- ADDITIONAL SIDEWALK INFORMATION TAKEN FROM GIS DATA, FLOOD PLAIN LINES TAKEN FROM COON CREEK WATERSHED DISTRICT.
- TWO REPORTS OF GEOTECHNICAL ENGINEERING WERE PREPARED BY DDG CONSULTING LLC, DATED AUGUST 3, 2023 AND MAY 30, 2024.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUESTED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS PROVIDED BY ALL APPLICABLE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS TO EXISTING CONDITION, INCLUDING PAVED AREAS AND LANDSCAPED AREAS.
- SOLID WASTE SHALL BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL UNSUITABLE EXCAVATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING CONSTRUCTION. SHORING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CURRENT OSHA STANDARDS. CONTRACTOR SHALL MAKE SUFFICIENT ADDITIONAL PROVISIONS TO ENSURE STABILITY OF ALL CONTIGUOUS AND ADJACENT STRUCTURES, AS FIELD CONDITIONS MAY DICTATE.
- CONTRACTOR AND ANY SUBCONTRACTORS SHALL CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE, AND COMMERCIAL GENERAL LIABILITY INSURANCE AT REQUIRED LIMITS OF COVERAGE. ALL CONTRACTORS SHALL HAVE CGL POLICIES ISSUED TO INCLUDE INDEPENDENCE ENGINEERING LLC, WITH ITS SUBCONSULTANTS LISTED AS ADDITIONAL INSURED. ALL CONTRACTORS MUST FURNISH INDEPENDENCE ENGINEERING LLC WITH CERTIFICATES OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK, AND UPON RENEWAL OF EACH POLICY DURING THE TERM OF CONSTRUCTION. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS INDEPENDENCE ENGINEERING LLC AND ITS SUBCONSULTANTS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- NEITHER THE PROFESSIONAL ACTIVITIES OF INDEPENDENCE ENGINEERING LLC NOR THE PRESENCE OF ITS EMPLOYEES AT THE PROJECT SITE SHALL RELIEVE THE CONTRACTOR OF ITS DUTIES, OBLIGATIONS, AND/OR RESPONSIBILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCING AND/OR PROTOCOLS NECESSARY FOR PERFORMING, COORDINATING, AND/OR SUPERINTENDING THE WORK IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND APPLICABLE HEALTH AND SAFETY REGULATIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR SITE SAFETY PLANNING, PROVISIONING, IMPLEMENTATION, AND MAINTENANCE. INDEPENDENCE ENGINEERING LLC BEARS NO AUTHORITY TO EXERCISE CONTROL OVER CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH CONSTRUCTION.
- INDEPENDENCE ENGINEERING LLC SHALL REVIEW AND TAKE APPROPRIATE ACTION ON SUBMITTALS TO BE SUBMITTED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PRODUCT, DATA, AND MATERIAL SAMPLES. INDEPENDENCE ENGINEERING LLC SHALL REVIEW SUBMITTALS ONLY FOR CONSISTENCY WITH THE DESIGN DRAWINGS. SUBMITTALS SHALL NOT BE REVIEWED FOR CONSTRUCTION MEANS AND METHODS, COORDINATION OF TRADES, OR SITE SAFETY, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INDEPENDENCE ENGINEERING LLC SHALL NOT BE LIABLE FOR DEVIATIONS OR THE RESULTS THEREFROM FROM THE APPROVED CONSTRUCTION DRAWINGS, UNLESS SAID DEVIATIONS ARE PROVIDED IN WRITING BY THE CONTRACTOR PRIOR TO IMPLEMENTATION, AND APPROVED IN WRITING BY INDEPENDENCE ENGINEERING LLC.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES THEREON, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM INDEPENDENCE ENGINEERING LLC AND THE PROJECT OWNER. SHOULD THE CONTRACTOR DEVIATE FROM THE APPROVED PROJECT DOCUMENTS, HE SHALL BEAR SOLE RESPONSIBILITY FOR FINES, PENALTIES, AND ALL COMPENSATORY AND PUNITIVE DAMAGES RESULTING THEREFROM. IN SUCH CASE, THE CONTRACTOR SHALL INDEMNIFY AND HOLD INDEPENDENCE ENGINEERING LLC HARMLESS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- DISPUTES BETWEEN INDEPENDENCE ENGINEERING LLC AND THE CONTRACTOR SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL INCLUDE A PROVISION IN THEIR CONTRACTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS, PROVIDING FOR MEDIATION AS THE PRIMARY METHOD OF DISPUTE RESOLUTION BETWEEN THOSE PARTIES.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, INCLUDING LOCALLY ADOPTED REVISIONS THERETO.
- BUILDING SETBACKS SHOWN HEREON ARE MEASURED FROM THE EXTERIOR FACE OF BUILDING WALLS. SETBACKS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ARCHITECTURAL ELEMENTS, SIGNAGE, OR OTHER EXTERIOR EXTENSION UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES AND CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY IN THE FIELD AND WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY "DIG SAFE 811" 72 HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER AUTHORITIES TO MARK OUT THEIR SYSTEMS.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOLID MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, ORGANIC MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES SHALL NOT BE LARGER THAN 6 INCHES IN ANY DIMENSION. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- ALL DEBRIS, RUBBISH, SALVAGE, HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED AT THE EARLIEST POSSIBLE TIME. REMOVED MATERIALS MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH PROCEDURES ADOPTED BY THE LOCAL FIRE DEPARTMENT AND OTHER JURISDICTIONAL AGENCIES.
- NO PLANTINGS OR PRIVATE SIGNS ARE PERMITTED WITHIN THE COUNTY RIGHT OF WAY. CARE MUST BE TAKEN WHEN LOCATING PRIVATE SIGNS, BUILDINGS, STRUCTURES, PLANTINGS, BERMS, ETC. ALONGSIDE THE COUNTY RIGHT OF WAY SO AS TO NOT CREATE ANY NEW SIGHT OBSTRUCTIONS FOR THE COUNTY HIGHWAY (CSAH 51).

LEGEND

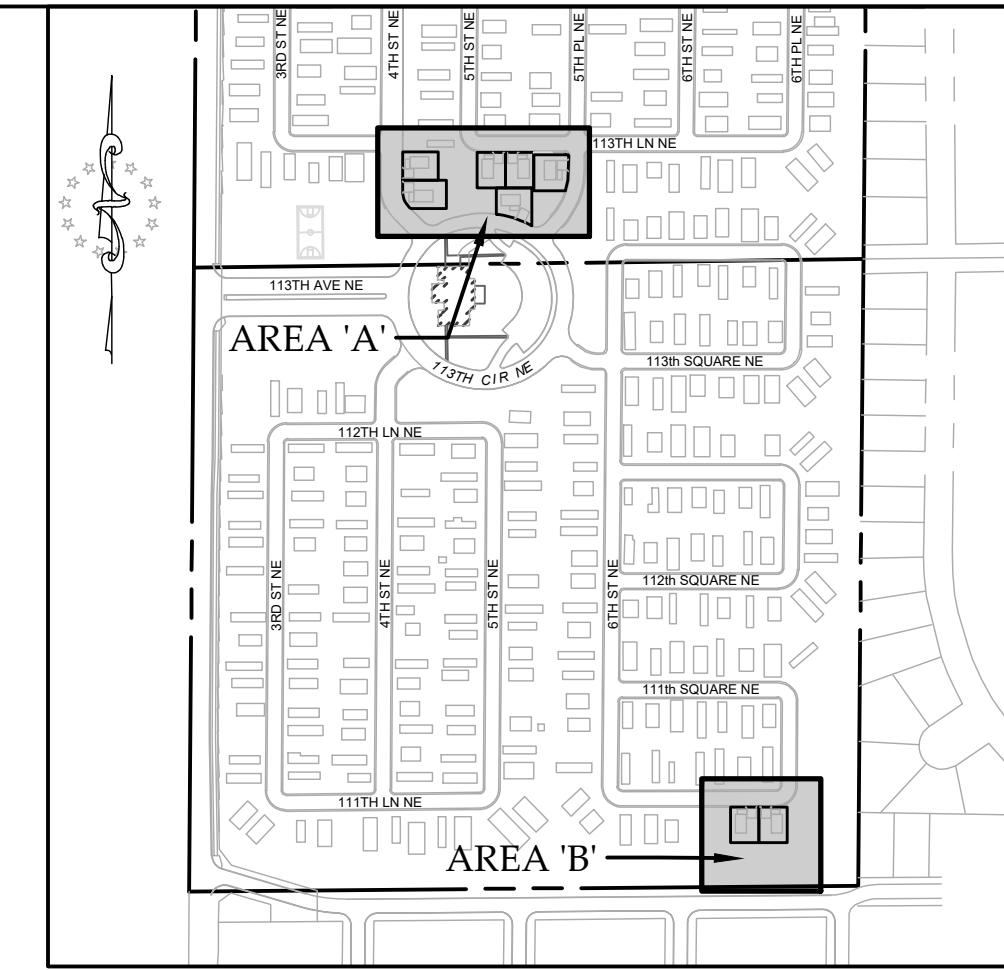
---	EXISTING RIGHT-OF-WAY
- - -	EXISTING PROPERTY LINE
- . - .	EXISTING FENCE
⊠	EXISTING TELECOMMUNICATIONS VAULT
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING ELECTRIC TRANSFORMER
⊙	EXISTING GAS METER
⊙	EXISTING ELECTRIC METER
⊙	EXISTING GAS VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING LIGHT POLE
FP	EXISTING FLOOD PLAIN BOUNDARY
W	PROPOSED WATER VALVE



AREA 'A'



AREA 'B'

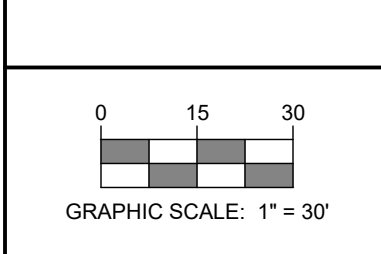


KEY MAP
SCALE: NTS

REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/16/2024	REVISED PER CWD REVIEW COMMENTS

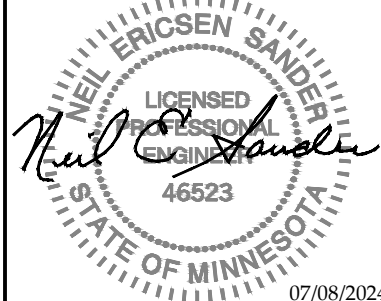
Independence ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
NEW JERSEY * PENNSYLVANIA * MASSACHUSETTS

PRELIMINARY PLAN
SITE PLAN
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434



PROJECT	029-014
DATE	09/27/23
SCALE	1" = 30'
DRAWN	ESC

DESIGNED	KAL	CHECKED	JWJ
----------	-----	---------	-----



C400	
SHEET	OF
4	9

PROPERTY:
50 113TH AVENUE NE
CITY OF BLAINE
ANOKA COUNTY, MN 55434

PARCEL ID: 18-31-23-22-0001
18-31-23-23-0001
18-31-23-32-0001
18-31-23-32-0002

AREA: 4,660,920 SF (107 AC.)
ZONING USE: R-4 (MANUFACTURED HOMES)

UNIT COUNT:

24' x 40':	8
EX. TO REMAIN:	572
TOTAL NEW:	8
TOTAL:	580

STORM SHELTER SCHEDULE:

13' x 42':	3
13' x 82':	1
TOTAL:	4
TOTAL COMBINED AREA:	2,704 SF

STORM SHELTER CALCULATIONS:
MINNESOTA RULES 1370 SPACE REQUIREMENTS:
MINIMUM 4 SQUARE FEET PER PARK RESIDENT.

PARK RESIDENTS: 1600 PERSONS
STORM SHELTER SPACE REQ: 1600 x 4 SF / PERSON
= 6,400 SF

GRADING NOTES:

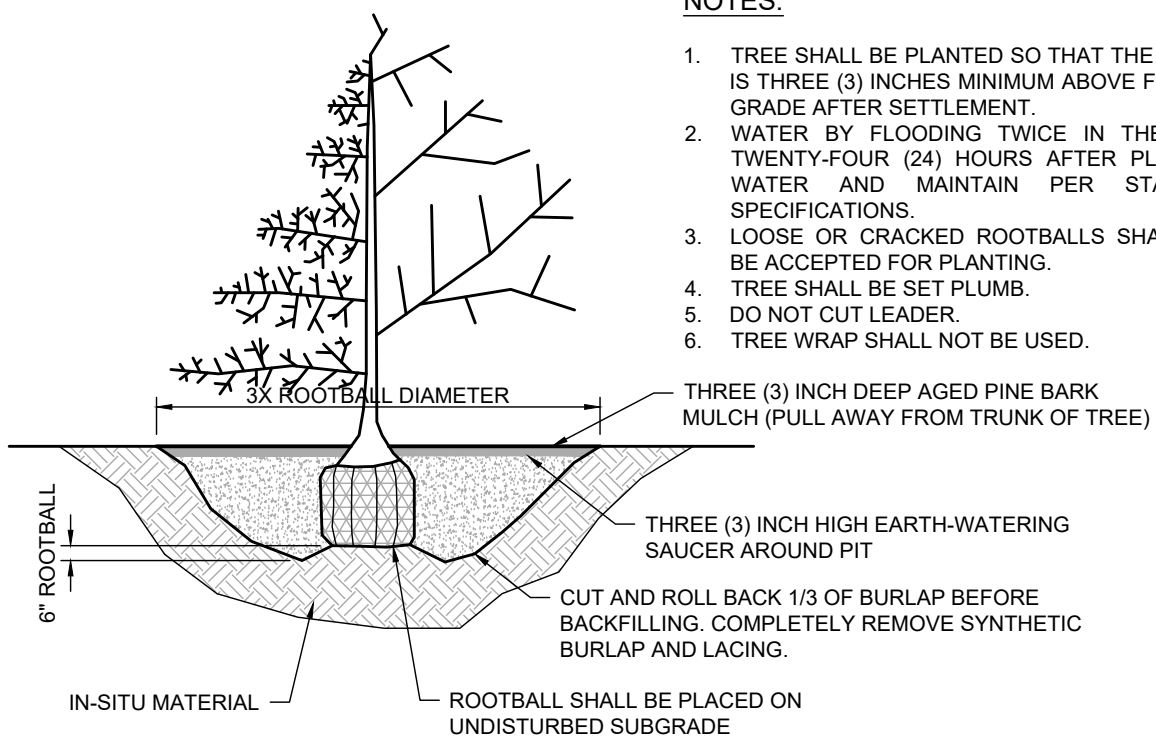
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET (IF ONE HAS BEEN PREPARED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING, OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT (IF ONE HAS BEEN PREPARED). ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED IN THE STATE IN WHICH THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- INTERNAL SITE GRADING SHALL NOT COMMENCE UNTIL ACHD ENGINEERING PLAN APPROVALS HAVE BEEN RECEIVED, AND ALL APPLICABLE PERMITS HAVE BEEN ISSUED BY ANOKA COUNTY AND ANY OTHER JURISDICTION HAVING AGENCIES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, CURBS, AND MINIMUM 0.7% SLOPE ON ALL CONCRETE AND ASPHALT SURFACES TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OF PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH KNOWN DESIGN TOLERANCE DISCREPANCIES SHALL BE AT THE CONTRACTOR'S RISK.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY, AS DETERMINED BY MODIFIED PROCTOR METHOD.
- IN CASE OF DISCREPANCIES BETWEEN THE PLANS, THE SITE PLAN SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND ACCESSIBLE STRIPING AREAS.
- COUNTY DITCH #39 RUNS THROUGH THE MIDDLE OF THE PARK OF FOUR SEASONS PROPERTY AND MAY NOT BE ALTERED WITHOUT SUBMITTING PLANS AND OBTAINING NECESSARY APPROVALS.
- OWNER SHALL RETAIN A QUALIFIED GEOTECHNICAL ENGINEER TO TEST PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF BASIN BOTTOM MATERIALS, INCLUDING INFILTRATION AND RETENTION BASINS. CONTRACTOR SHALL REMOVE UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK MATERIAL AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND PLACED FILL SHALL HAVE A PERMEABILITY GREATER THAN OR EQUAL TO DESIGN CRITERIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM MEANS, METHODS, AND MATERIALS, AND TO SCHEDULE REQUIRED INSPECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- PERMANENT SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.
- REFER TO SITE PLAN NOTES FOR ADDITIONAL NOTES.

LANDSCAPING NOTES:

- ONE (1) OVERSTORY (SHADE) TREE IS PROPOSED PER PROPOSED MOBILE HOME LOT. 8 TOTAL TREES ARE PROPOSED.
- ALL DISTURBED AREAS, EXCEPT FOR THE AREAS USED FOR THE MOBILE HOME, PATIOS, SIDEWALKS, AND OFF-STREET PARKING AREAS SHALL BE SODDED AND MAINTAINED WITH GRASS.

NOTES:

- TREE SHALL BE PLANTED SO THAT THE CROWN IS THREE (3) INCHES MINIMUM ABOVE FINISHED GRADE AFTER SETTLEMENT.
- WATER BY FLOODING TWICE IN THE FIRST TWENTY-FOUR (24) HOURS AFTER PLANTING. WATER AND MAINTAIN PER STANDARD SPECIFICATIONS.
- LOOSE OR CRACKED ROOTBALLS SHALL NOT BE ACCEPTED FOR PLANTING.
- TREE SHALL BE SET PLUMB.
- DO NOT CUT LEADER.
- TREE WRAP SHALL NOT BE USED.



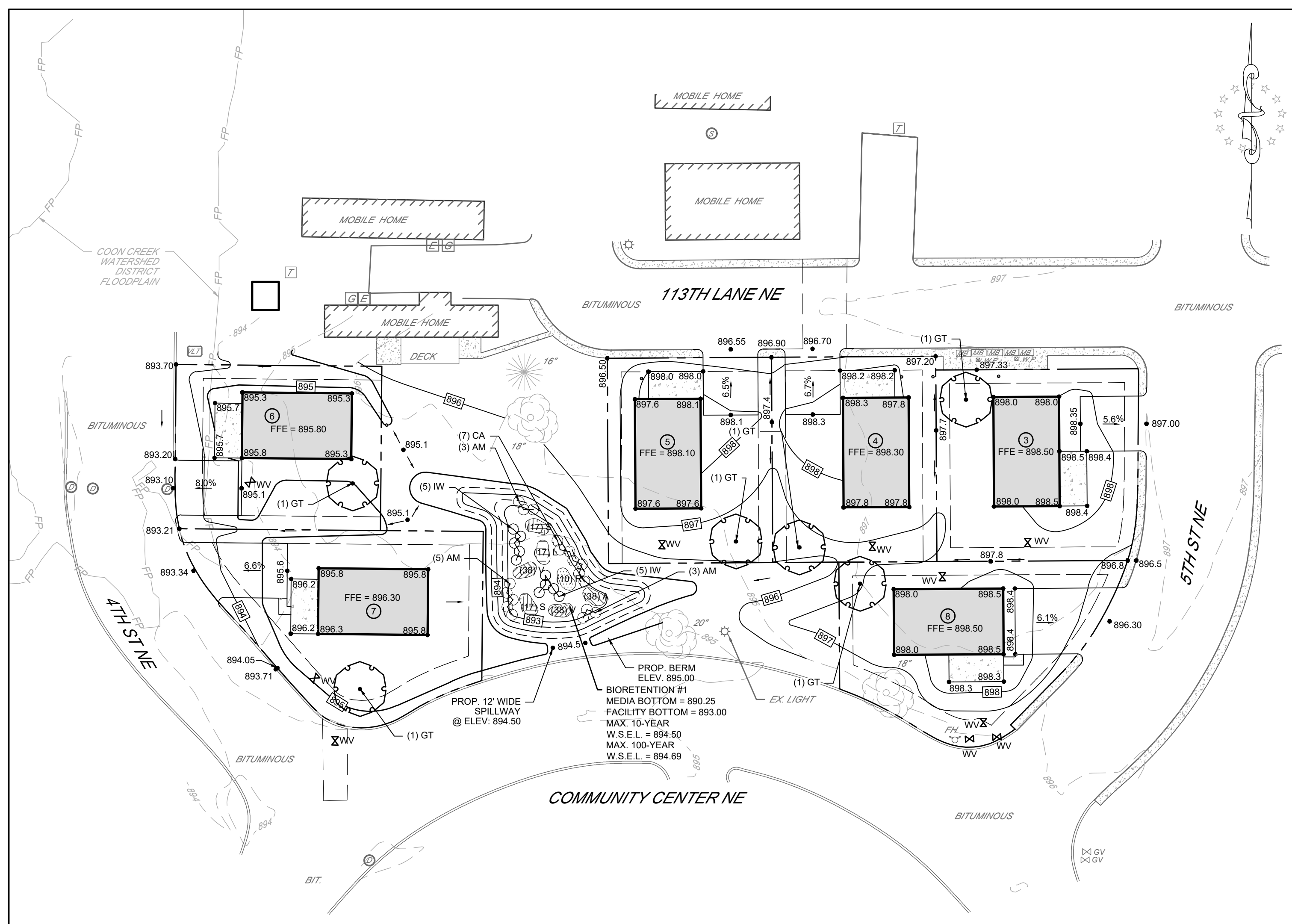
EVERGREEN/DECIDUOUS PLANTING DETAIL

FLOODPLAIN VOLUME SUMMARY:

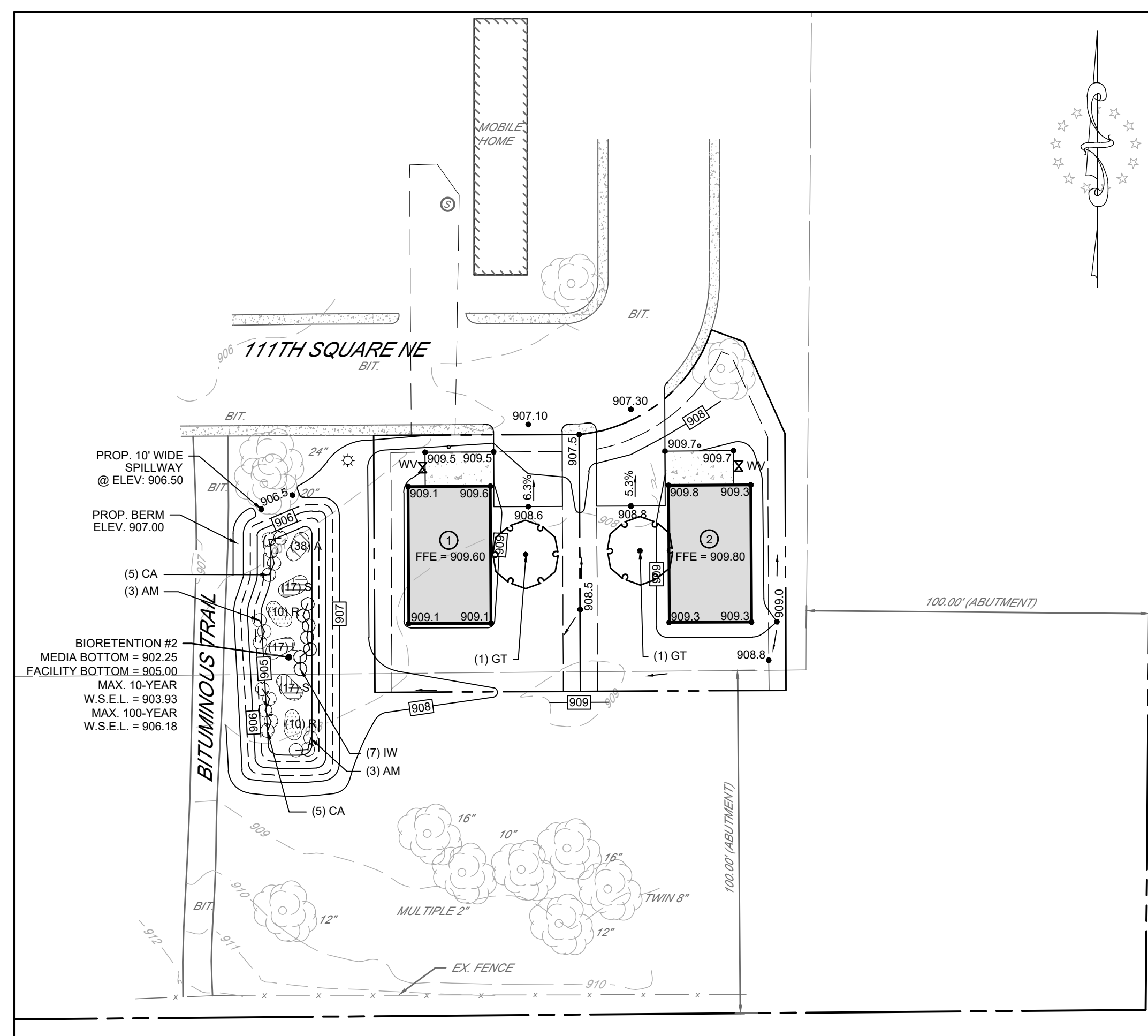
IMPACT AREA (SQ. FT.)	CUT (CU. YD.)	FILL (CU. YD.)	NET (CU. YD.)
1,000	0.00	6.80	6.80 <FILL>

LEGEND

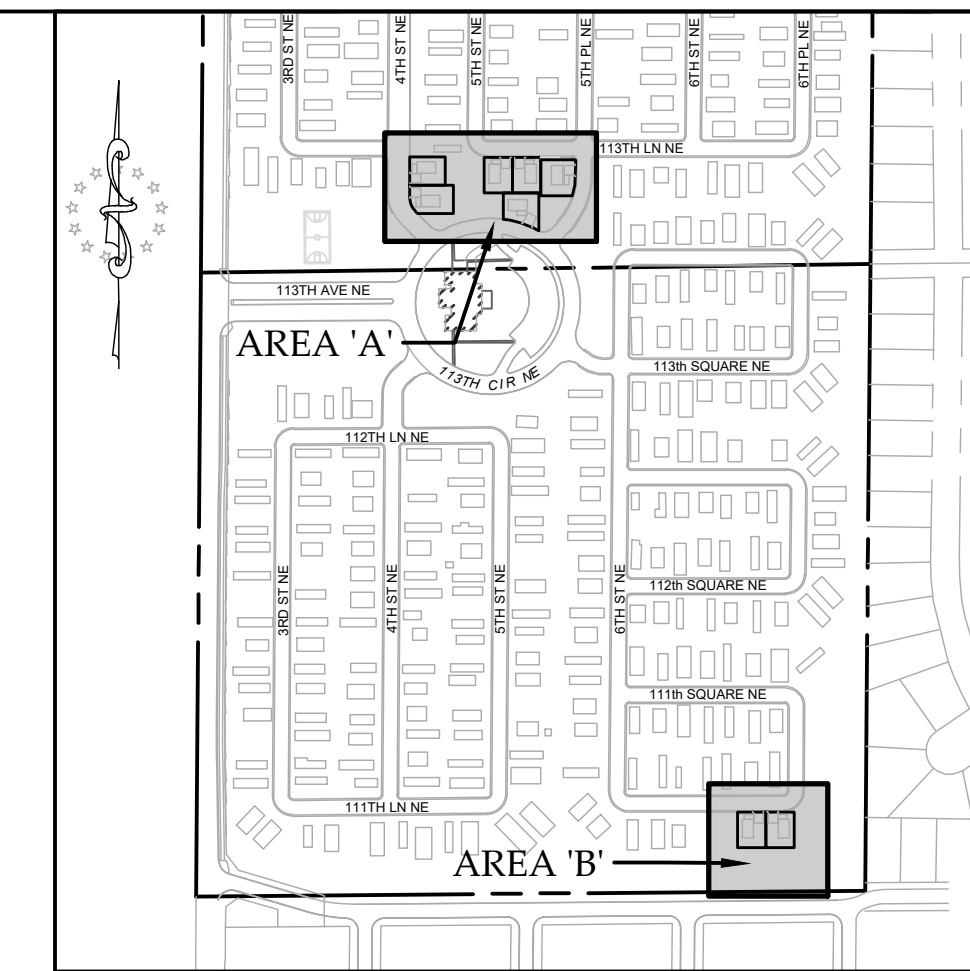
---	EXISTING RIGHT-OF-WAY
- - - - -	EXISTING PROPERTY LINE
- . - . -	EXISTING FENCE
- - - - -	EXISTING CONTOUR LINE - MAJOR
- - - - -	EXISTING CONTOUR LINE - MINOR
- - - - -	EXISTING FLOOD PLAIN BOUNDARY
⊠	EXISTING TELECOMMUNICATIONS VAULT
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING ELECTRIC TRANSFORMER
⊙	EXISTING GAS METER
⊙	EXISTING ELECTRIC METER
⊙	EXISTING GAS VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING LIGHT POLE
⊙	EXISTING SPOT ELEVATION
⊙	PROPOSED WATER VALVE
⊙	PROPOSED SPOT ELEVATION
⊙	PROP. CONTOUR - MAJOR
⊙	PROP. CONTOUR - MINOR



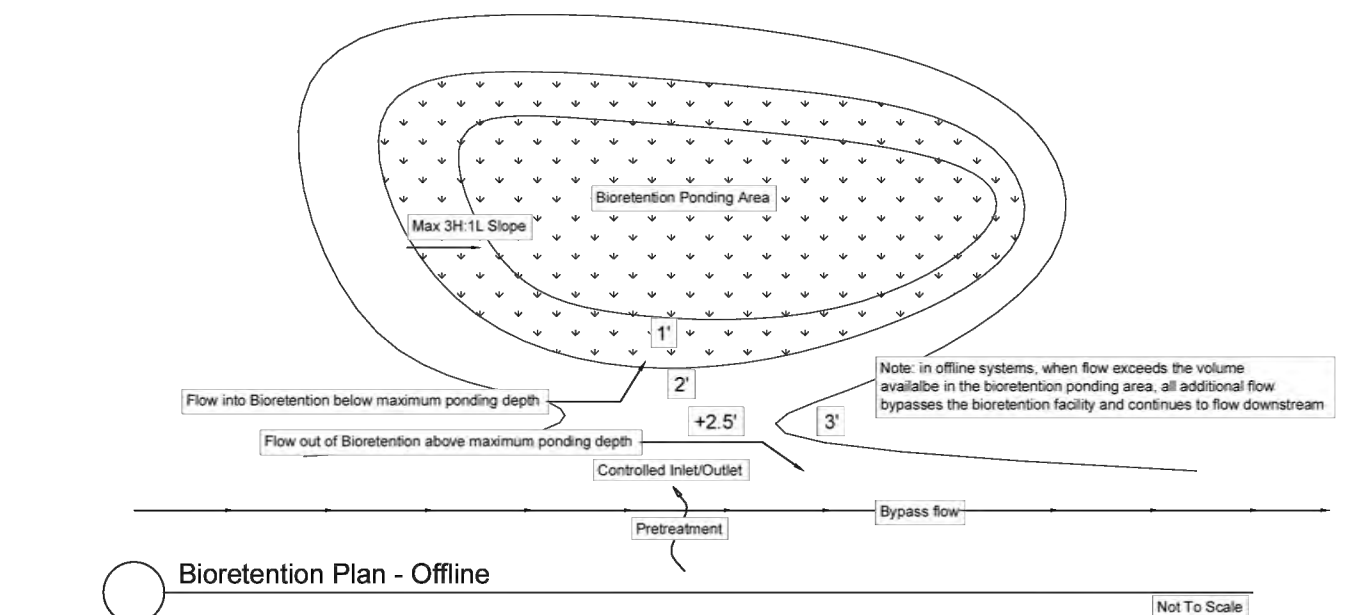
AREA 'A'



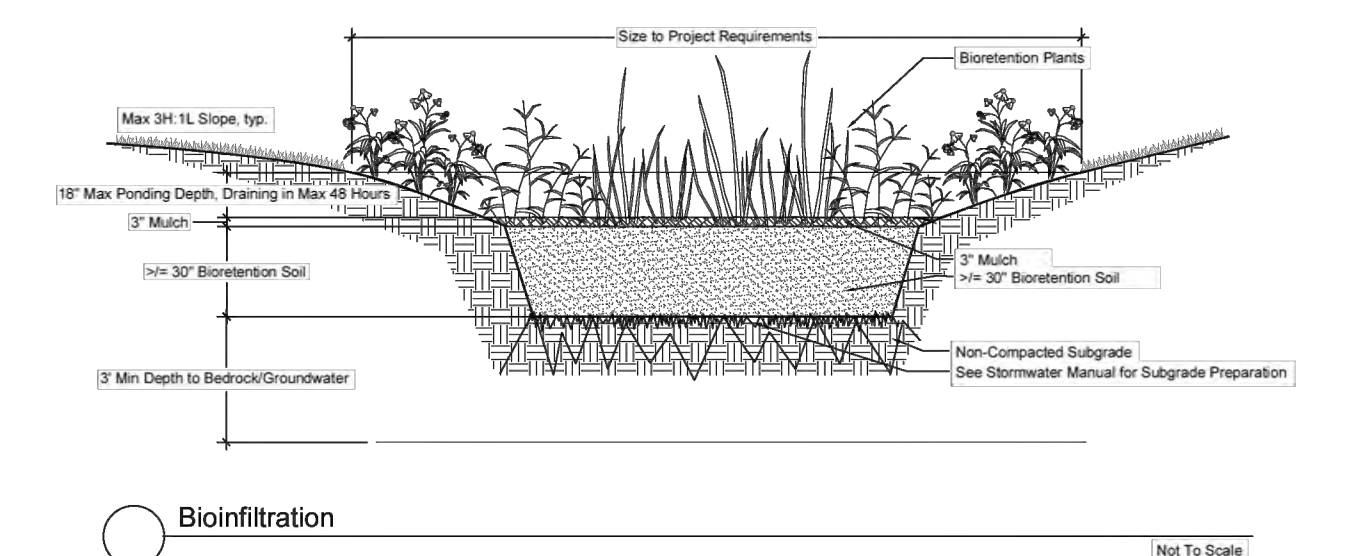
AREA 'B'



- SUGGESTED CONSTRUCTION SEQUENCING** (note to designer: add as needed to meet project requirements)
- Install appropriate temporary erosion control devices to prevent sediment from leaving or entering the practice during construction.
 - All down-gradient perimeter sediment control traps must be in place before any up-gradient disturbing activity begins.
 - Perform continuous inspections of erosion control practices, especially after each rainfall event.
 - Install all utilities (water, sanitary sewer, electric, natural gas, phone, fiber optic, etc.) prior to setting final grade of bioretention device.
 - Rough grade the site. If bioretention areas are being used as temporary sediment basins during construction, leave a minimum of 1' feet of cover over the practice to protect the underlying soils from clogging.
 - Complete stabilize, and vegetate all other site improvements.
 - Construct and vegetate bioretention device following stabilization of contributing drainage area. Ensure that critical elevations, such as underdrain invert, top of media, top of mulch, and invert of overflow structure (if present) are correct.
 - Remove temporary erosion control devices after the contributing drainage area is adequately vegetated.
- GENERAL NOTES** (note to designer: add as needed to meet project requirements)
- In the event that sediment is introduced into the pond during or immediately following excavation, this material shall be removed from the practice prior to continuing construction.
 - See Minnesota Stormwater Manual for substrate preparation.
- MATERIAL SPECIFICATIONS**
- See Minnesota Stormwater Manual for material specifications recommendations for bioretention soil, mulch, underdrains, etc.



- SUGGESTED CONSTRUCTION SEQUENCING** (note to designer: add as needed to meet project requirements)
- Install appropriate temporary erosion control devices to prevent sediment from leaving or entering the practice during construction.
 - All down-gradient perimeter sediment control traps must be in place before any up-gradient disturbing activity begins.
 - Perform continuous inspections of erosion control practices, especially after each rainfall event.
 - Install all utilities (water, sanitary sewer, electric, natural gas, phone, fiber optic, etc.) prior to setting final grade of bioretention device.
 - Rough grade the site. If bioretention areas are being used as temporary sediment basins during construction, leave a minimum of 1' feet of cover over the practice to protect the underlying soils from clogging.
 - Complete stabilize, and vegetate all other site improvements.
 - Construct and vegetate bioretention device following stabilization of contributing drainage area. Ensure that critical elevations, such as underdrain invert, top of media, top of mulch, and invert of overflow structure (if present) are correct.
 - Remove temporary erosion control devices after the contributing drainage area is adequately vegetated.
- GENERAL NOTES** (note to designer: add as needed to meet project requirements)
- In the event that sediment is introduced into the pond during or immediately following excavation, this material shall be removed from the practice prior to continuing construction.
 - See Minnesota Stormwater Manual for substrate preparation.
- MATERIAL SPECIFICATIONS**
- See Minnesota Stormwater Manual for material specifications recommendations for bioretention soil, mulch, underdrains, etc.



LOT LANDSCAPE PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
GT	6	GLEDTISIA TRICANTHOSUS VAR. HERMANS HORN'S LOCUST	2" CAL	#BB		

BIORETENTION AREAS PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
AM	17	ARQUIA MELANOCARRA BLACK CHOKEBERRY	24" WBI HT	#B		
CA	17	CORNUS AMOMUM SWEET GUM	24" MHI HT	#B		
IV	17	REX VERRICILLATA WINTERBERRY	24" MHI HT	#B		
TOTAL	S1					

PERENNIALS & GRASSES

PERENNIALS & GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
A	76	ASTRICH LAEVIS SPAGHNI HASTER	PLUG	FLAT	12" O.C.	
L	34	LOBELIA CARDINALIS CARDINAL LOWWISHER	PLUG	FLAT	16" O.C.	
R	30	FUCECOCHA EUSTONIENSIS SWEET CORNFLOWER	PLUG	FLAT	24" O.C.	
S	66	SCHIZANTHUS SCOPARIUM LITTLE BLUE STAR	PLUG	FLAT	16" O.C.	
V	76	VERBENA HASTATA BLUE VERVAIN	PLUG	FLAT	12" O.C.	
TOTAL	284					

PLANTS MAY BE SUBSTITUTED WITH APPROVED EQUAL.

REV	DATE	DESCRIPTION	BY	KAL	ESC
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS			
2	07/26/2024	REVISED PER CWO REVIEW COMMENTS			

Independence ENGINEERING LLC

1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422

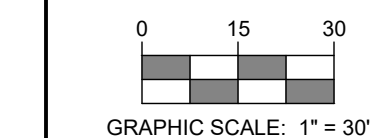
INDEPENDENCE ENGINEERING
NEW JERSEY • PENNSYLVANIA • MASSACHUSETTS

PRELIMINARY PLAN

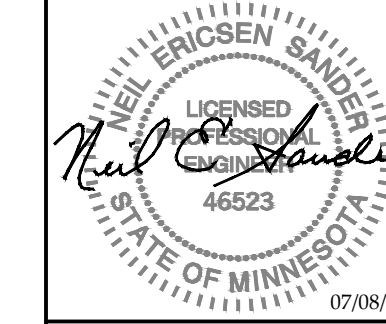
GRADING & LANDSCAPING PLAN

FOR

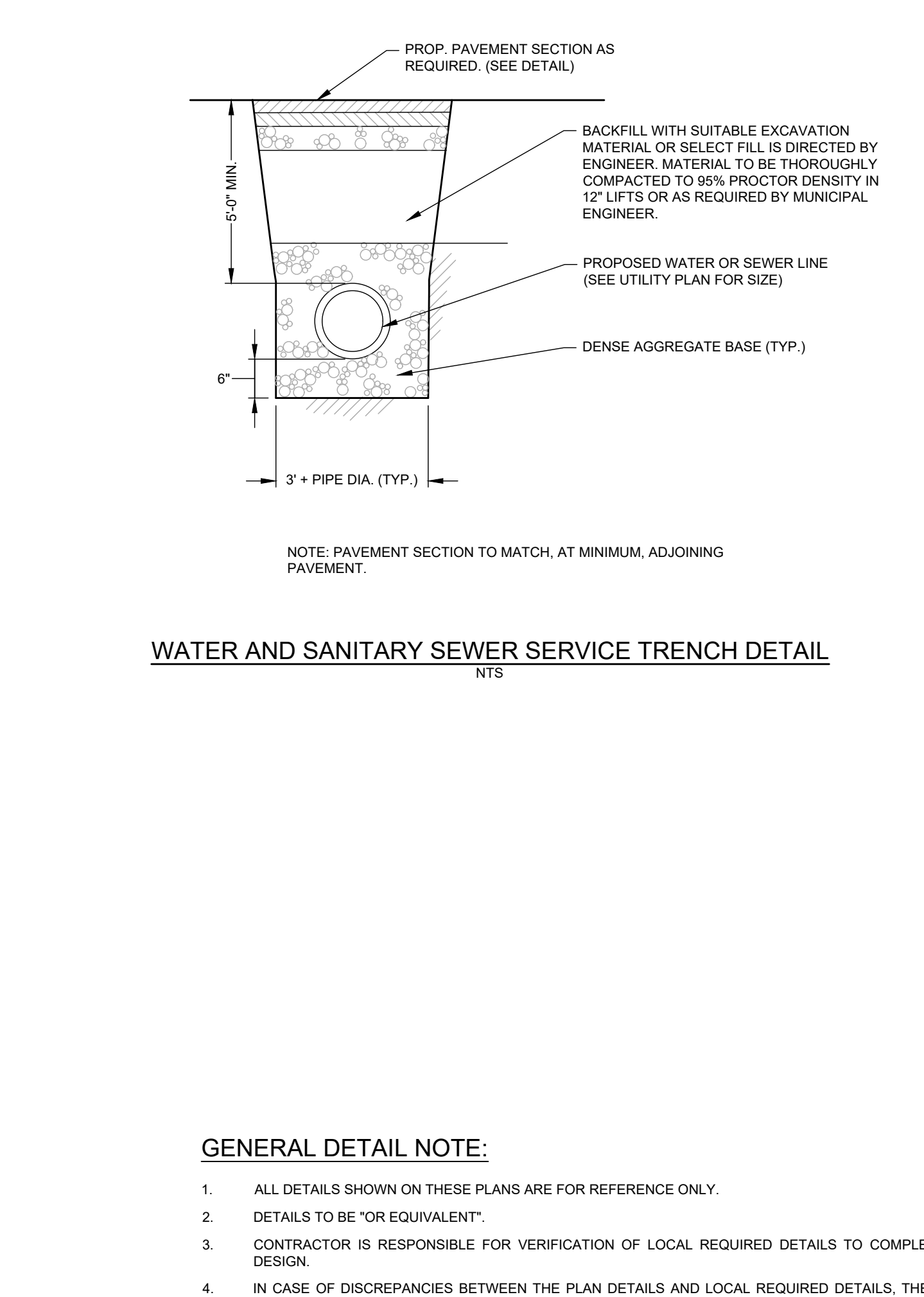
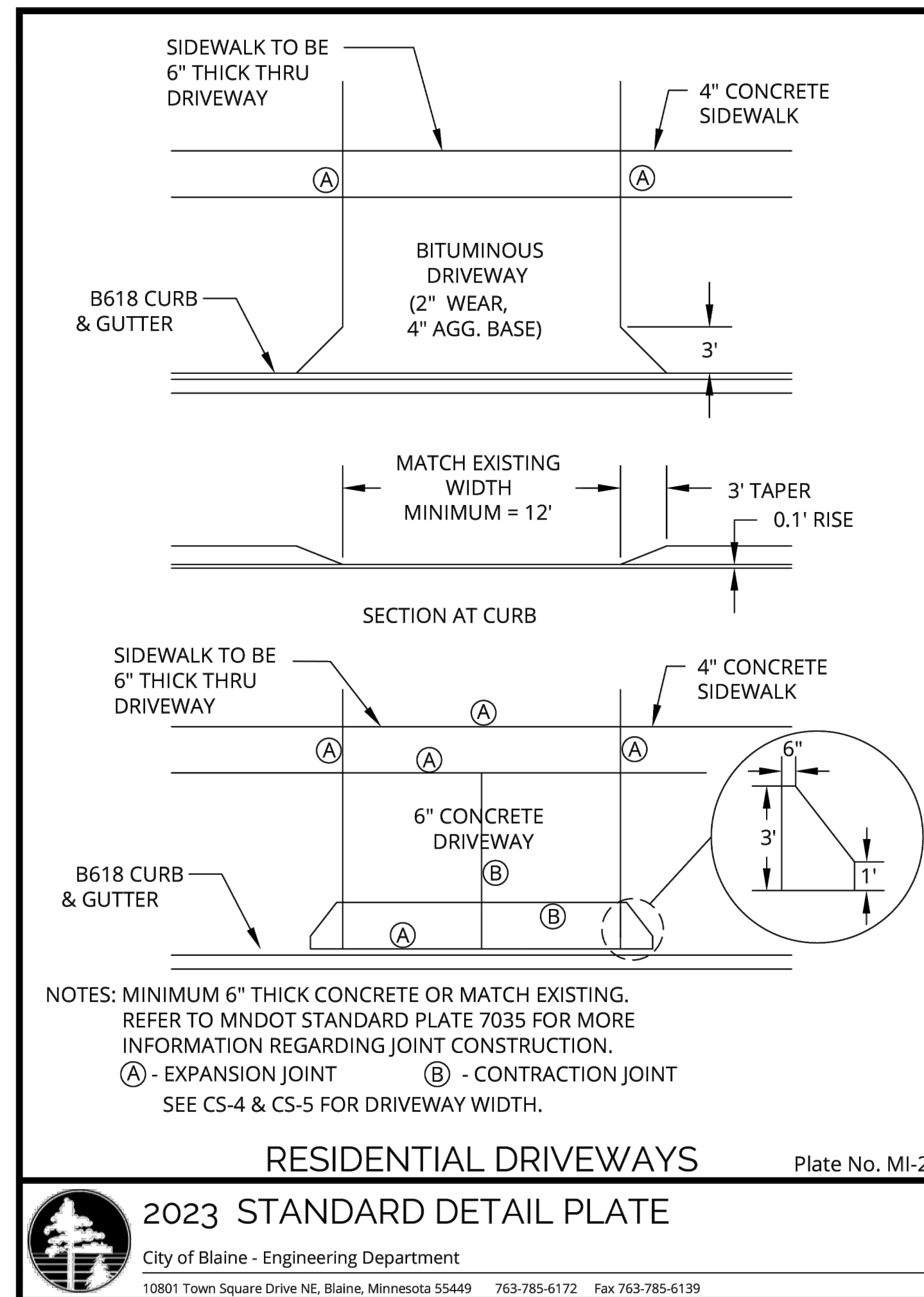
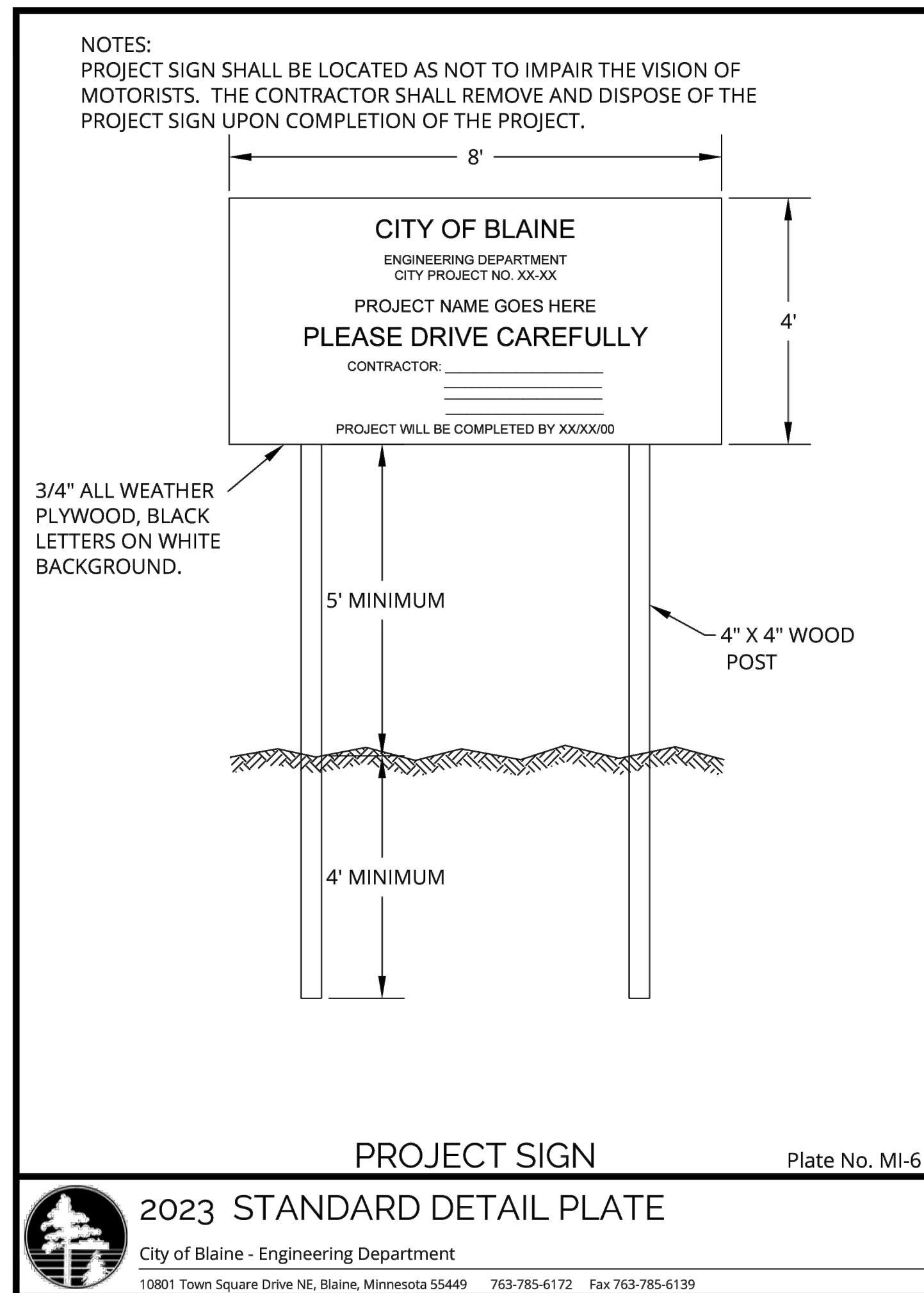
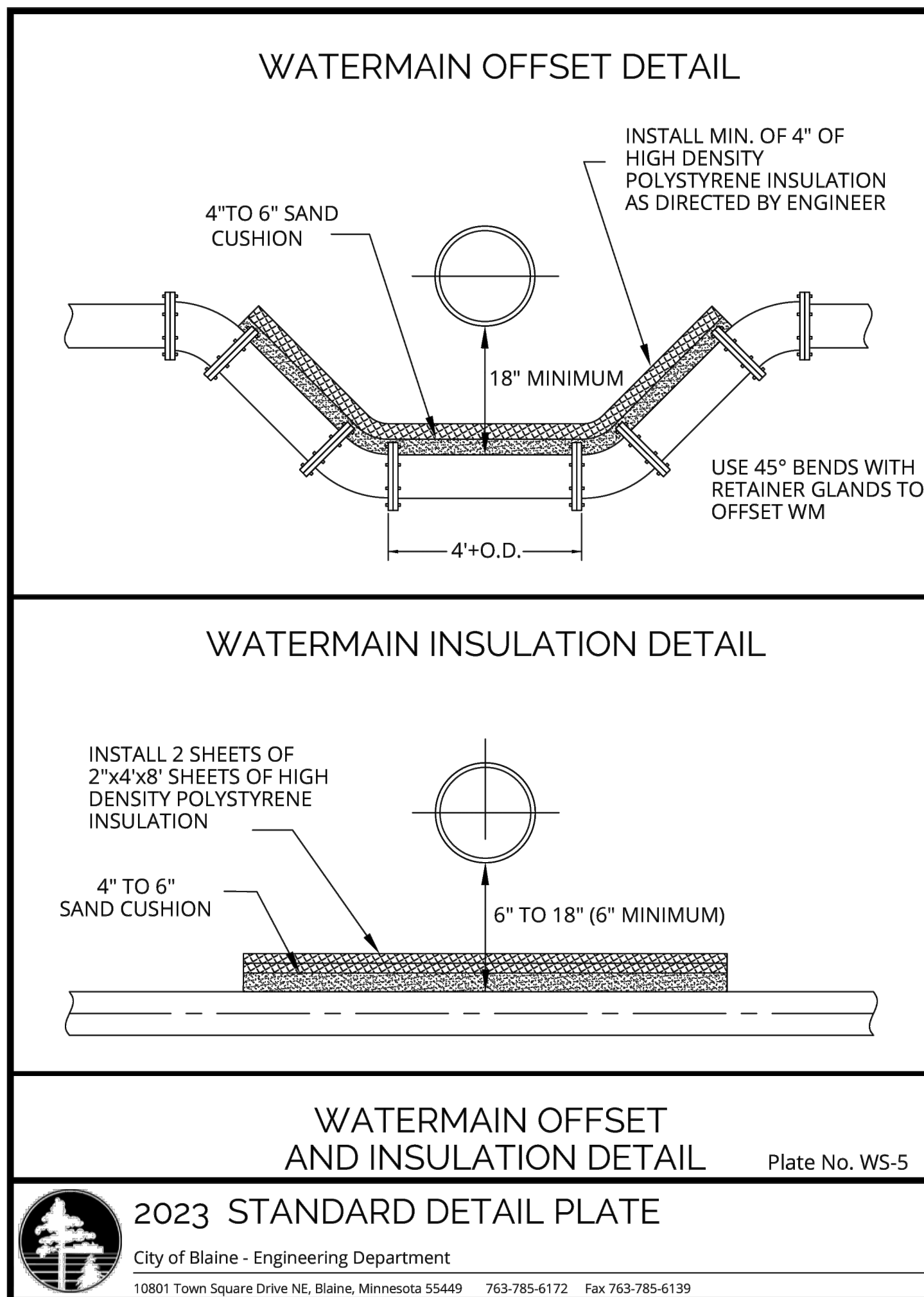
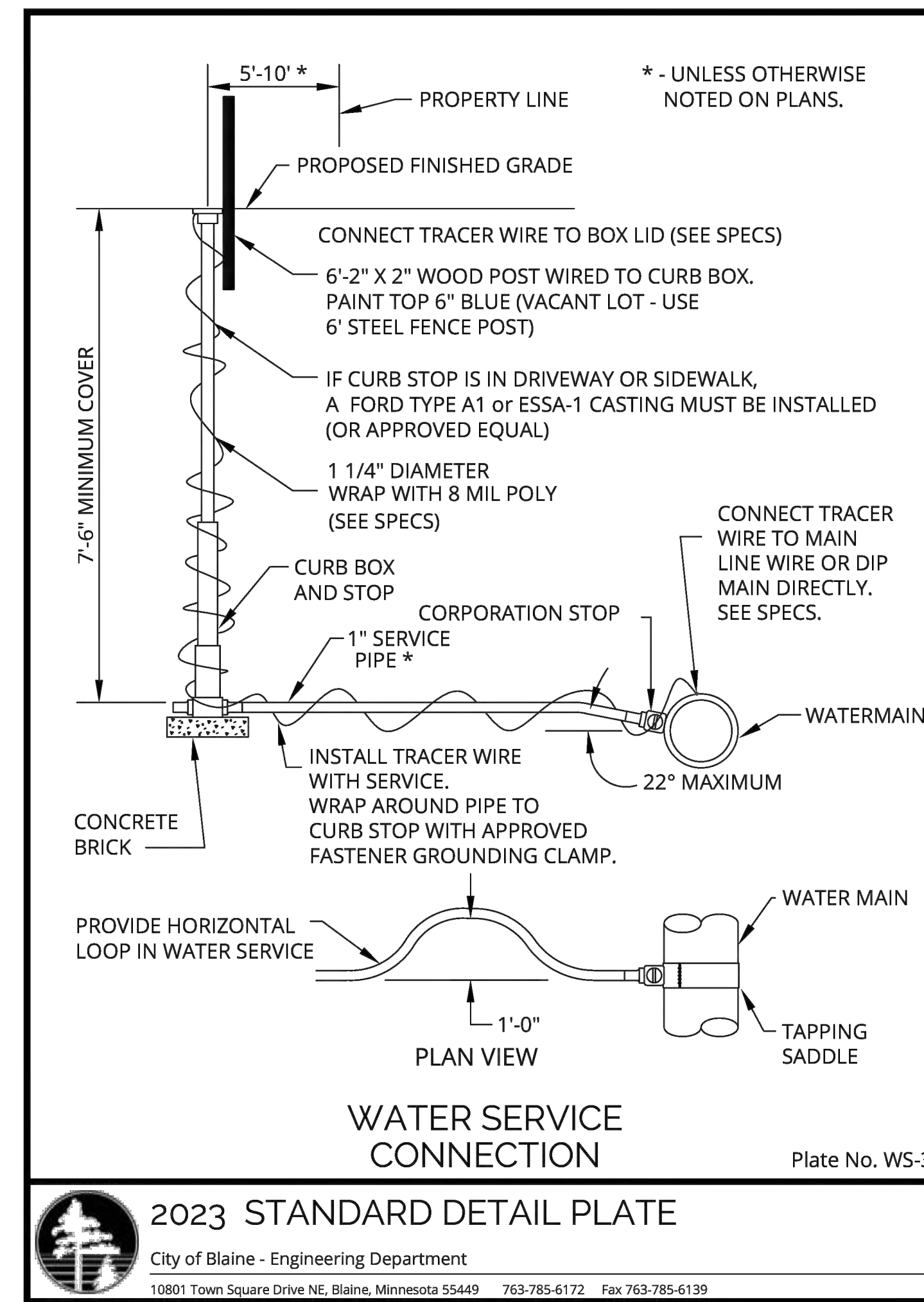
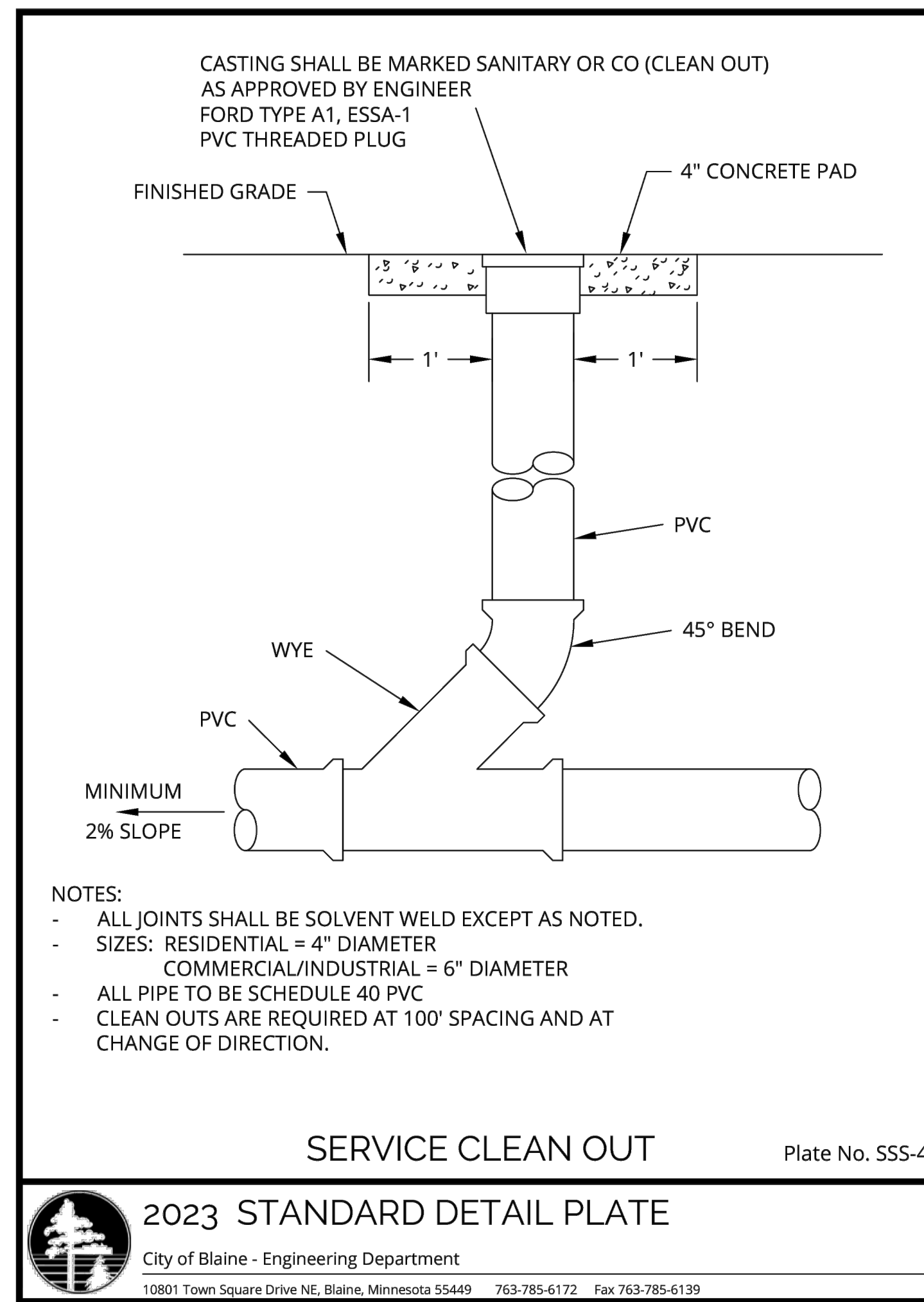
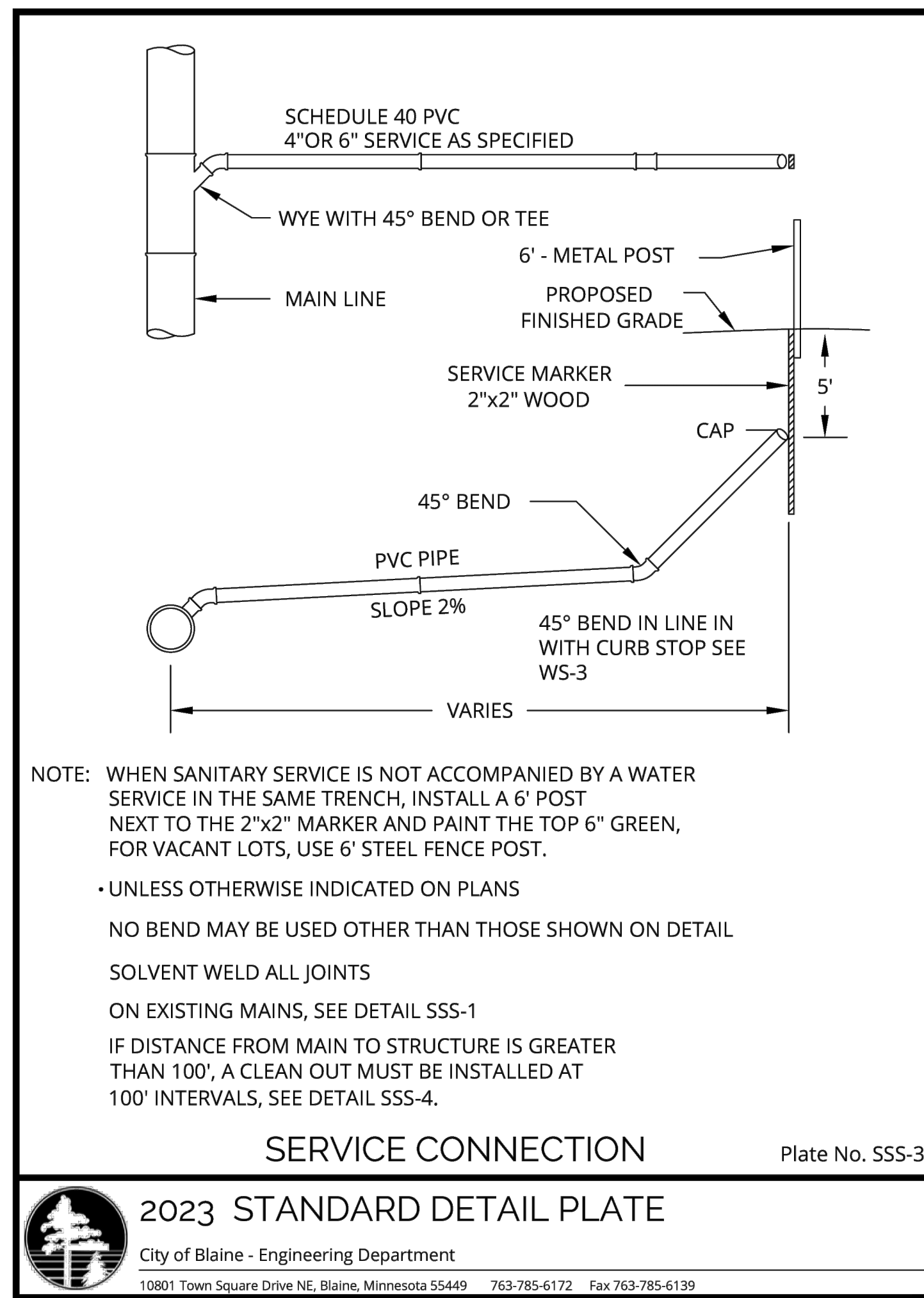
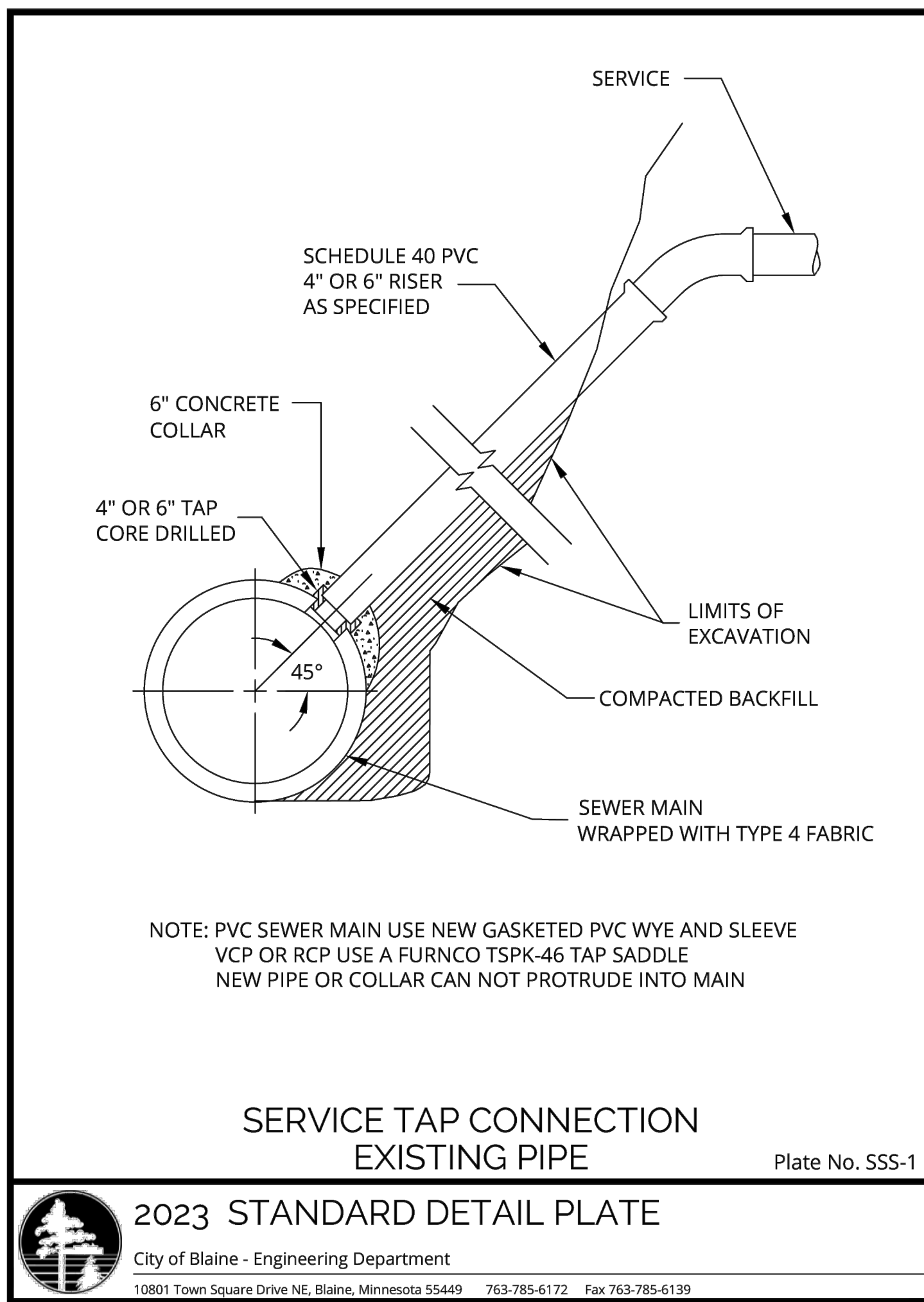
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434



PROJECT	029-014
DATE	09/27/23
SCALE	1" = 30'
DESIGNED	KAL
CHECKED	JWJ



C500	SHEET	OF
	5	9



REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/16/2024	REVISED PER CWD REVIEW COMMENTS

BY	KAL	JSC
DATE	07/11/2024	07/16/2024

Independence ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
NEW JERSEY # PENNSYLVANIA # MASSACHUSETTS

PRELIMINARY PLAT
DETAIL SHEET
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

PROJECT	029-014
DATE	09/27/23
SCALE	NTS
DESIGNED	KAL
DRAWN	JWJ
CHECKED	JWJ

PROJECT: 029-014
DATE: 09/27/23
SCALE: NTS
DRAWN: JWJ
CHECKED: JWJ

C800
SHEET 7 OF 9

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN MINNESOTA, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE MINNESOTA STANDARDS.
- SEED MIXTURE TO BE PLANTED IS "OATS ONE YEAR COVER CROP (MAY - AUGUST) AND/OR WINTER WHEAT ONE YEAR COVER CROP (AUGUST - OCTOBER)" PER THE MINNESOTA STORMWATER MANUAL TEMPORARY SEEDING AND STABILIZATION PAGE, OR APPROVED EQUAL. THE QUANTITY TO BE PLANTED FOR EACH IN THE PROJECT AREA OF APPROXIMATELY 1.11 ACRES IS APPROXIMATELY 111 LBS. PER THE LISTED PLANTING RATE OF 100 LBS PER ACRE.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING.
- PERMANENT SEEDING AND STABILIZATION IS TO BE IN ACCORDANCE WITH THE "EROSION PREVENTION PRACTICES - TEMPORARY SEEDING AND STABILIZATION" CHAPTER OF THE MINNESOTA STORMWATER MANUAL.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED FREQUENTLY AND REPLACEMENTS OR REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
- STOCKPILES SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE MINNESOTA POLLUTION CONTROL AGENCY. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MINNESOTA POLLUTION CONTROL AGENCY.
- REMOVE ANY SEDIMENT THAT MAY BE SPILLED, DROPPED, OR TRACKED OFF THE PROJECT SITE. ALL PAVED RIGHT-OF-WAYS ADJACENT TO THE PROJECT SITE MUST BE MAINTAINED IN A CLEAN, SWEEPED CONDITION THROUGHOUT CONSTRUCTION. INSTALL CRUSHED STONE PADS(S) TO HELP REDUCE OFF-SITE TRACKING OF SEDIMENT.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- IN THE CASE OF EXCESS SEDIMENT RUNOFF FROM THE SITE, THE CONTRACTOR SHALL INSTALL INLET PROTECTION AT THE DOWNSTREAM INLET.
- THE CONSTRUCTION EXIT/ENTRANCE IS PROPOSED TO BE 10' WIDE AND 50' LONG, WITH 5' RADII TO 113TH CIR NE. THE CONSTRUCTION EXIT/ENTRANCE SHALL BE COMPOSED OF 1.5" TO 3" ROCKS, AND SHALL HAVE A DEPTH OF 6" WITH A FILTER FABRIC UNDER-LINER BELOW THE ROCKS. OTHER MINNESOTA APPROVED VEHICLE TRACKING BMPs ARE ACCEPTABLE AS NEEDED.

SEQUENCE OF CONSTRUCTION:

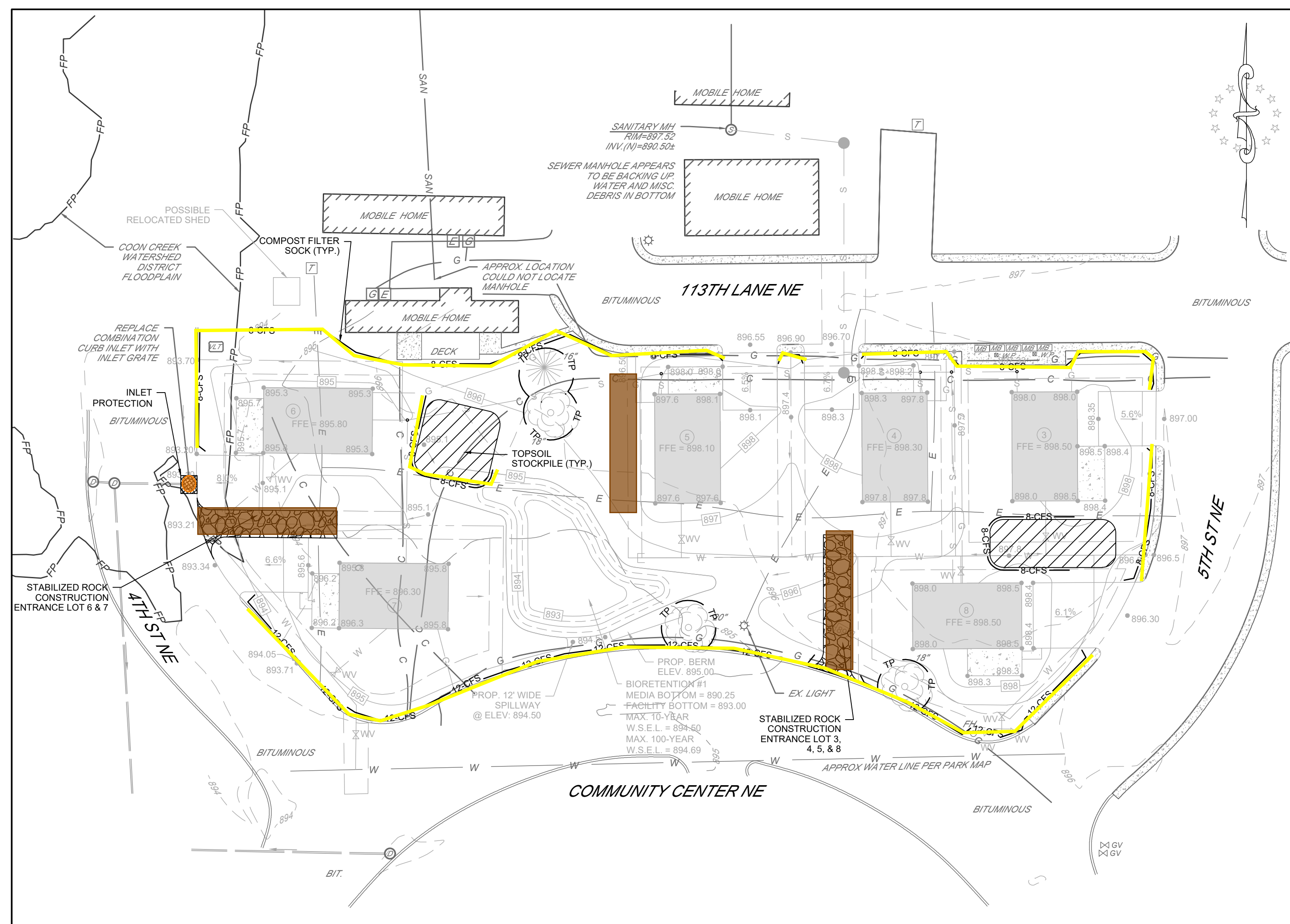
- INSTALL EROSION AND SEDIMENTATION CONTROLS.
- DEMOLISH EXISTING FEATURES AS MARKED.
- DEMOLISH UTILITIES IDENTIFIED AS "TO BE REMOVED."
- ROUGH GRADE AREAS TO BE IMPROVED.
- INSTALL UTILITIES AS SHOWN.
- CONSTRUCT CONCRETE PAD FOUNDATIONS.
- INSTALL SUBBASE AND BASE COURSE OF DRIVEWAYS AND PARKING AREAS.
- FINISH GRADE SITE. INSTALL SURFACE COURSE OF PAVEMENT.
- REPLAT TOPSOIL. STABILIZE AND SEED EXPOSED AREAS.
- REMOVE EROSION AND SEDIMENT CONTROLS.

NOTE:

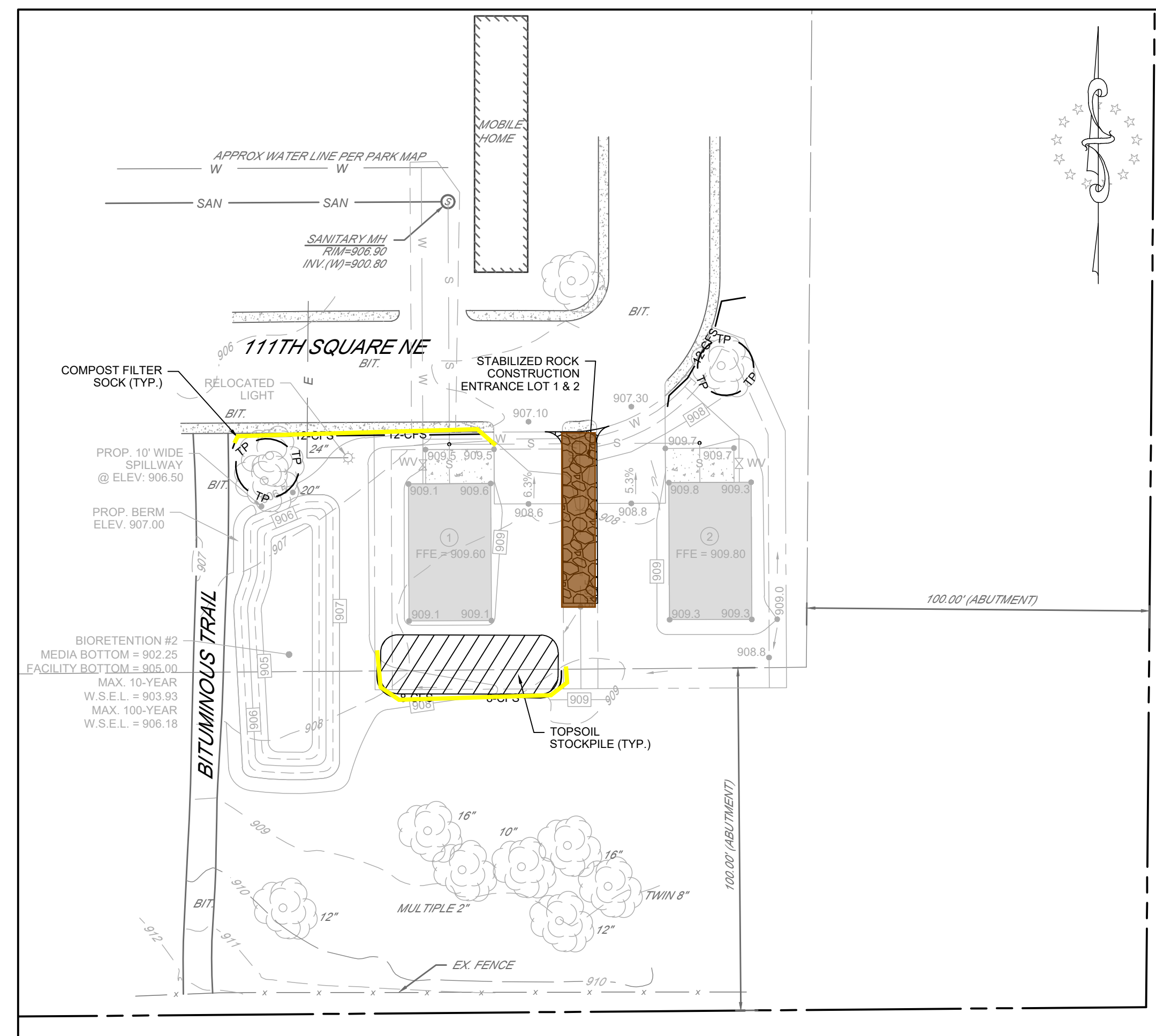
THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR GAS LINES OR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.

LEGEND

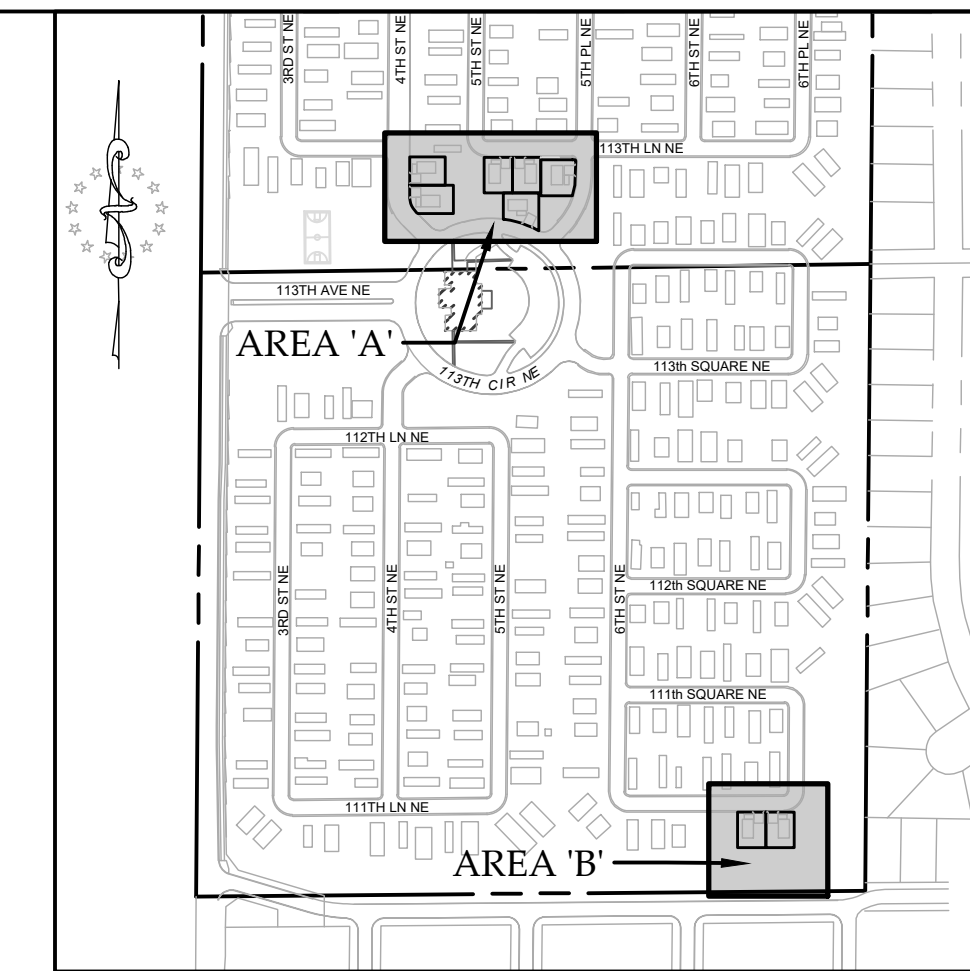
---	EXISTING RIGHT-OF-WAY
---	EXISTING PROPERTY LINE
---	EXISTING FENCE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING CABLE / COMMS WIRE
---	EXISTING DOMESTIC WATER SERVICE
---	EXISTING GAS SERVICE
---	EXISTING SANITARY PIPE
---	EXISTING STORM PIPE
---	EXISTING FLOOD PLAIN BOUNDARY
---	EXISTING TELECOMMUNICATIONS VAULT
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	EXISTING ELECTRIC TRANSFORMER
---	EXISTING GAS METER
---	EXISTING ELECTRIC METER
---	EXISTING GAS VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING LIGHT POLE
---	PROP. CONTOUR - MAJOR
---	PROP. CONTOUR - MINOR
---	PROPOSED WATER SERVICE
---	PROPOSED WATER LATERAL
---	PROPOSED WATER VALVE
---	PROPOSED COMPOST FILTER SOCK 8"
---	PROPOSED COMPOST FILTER SOCK 12"
---	PROPOSED TREE PROTECTION



AREA 'A'



AREA 'B'



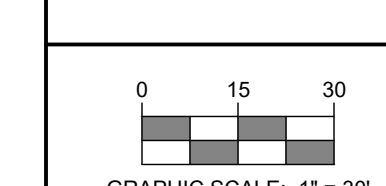
KEY MAP
SCALE: NTS

REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/16/2024	REVISED PER CWD REVIEW COMMENTS

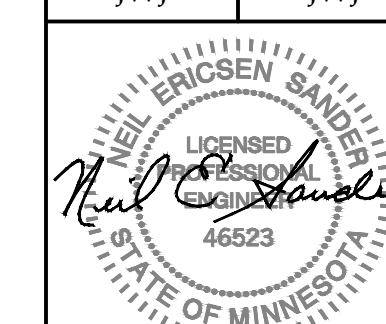
Independence
ENGINEERING, LLC

1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
NEW JERSEY # PENNSYLVANIA # MASSACHUSETTS

PRELIMINARY PLAN
SOIL EROSION & SEDIMENT CONTROL PLAN
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

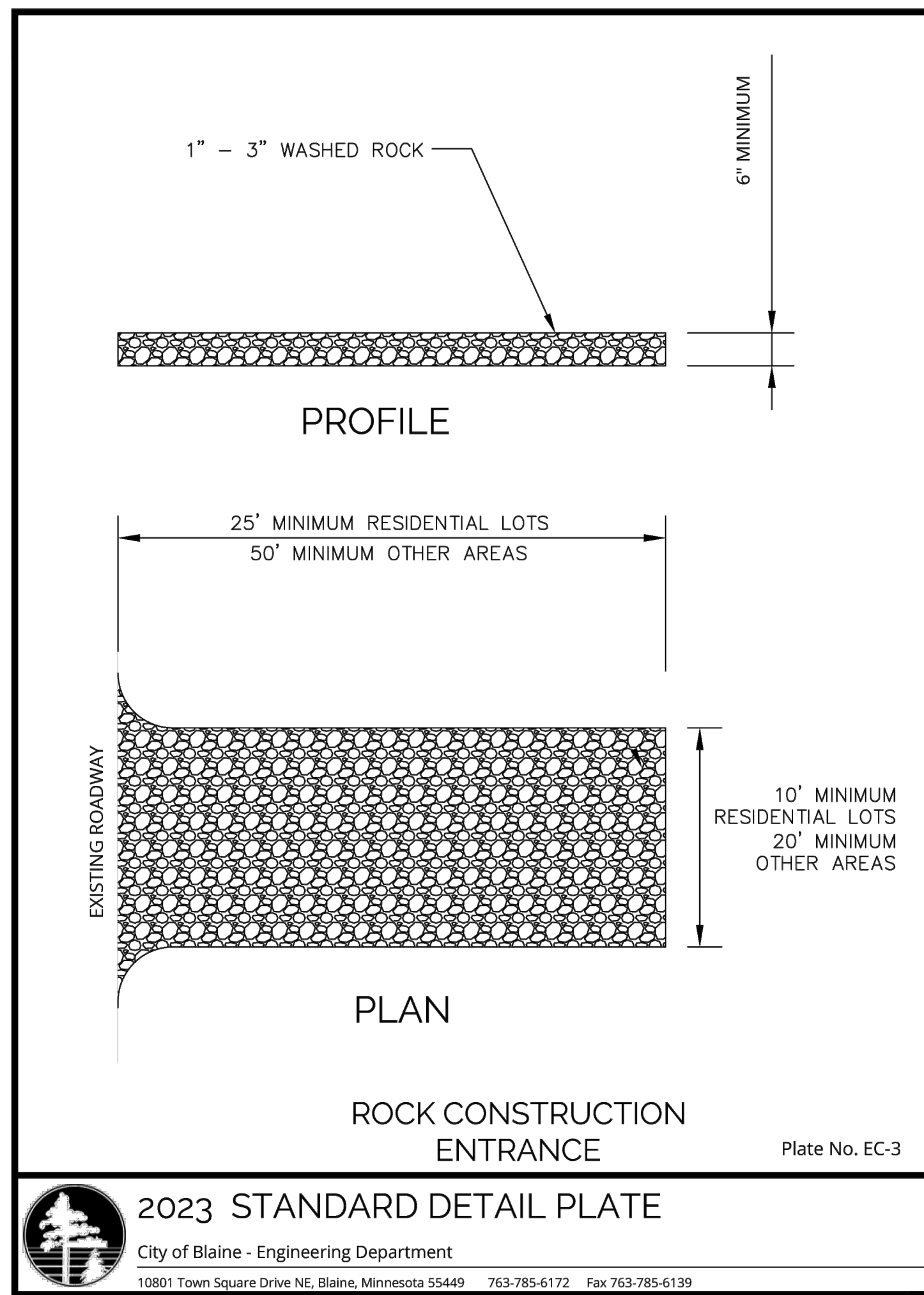


PROJECT	029-014
DATE	09/27/23
SCALE	1" = 30'
DESIGNED	JWJ
CHECKED	JWJ



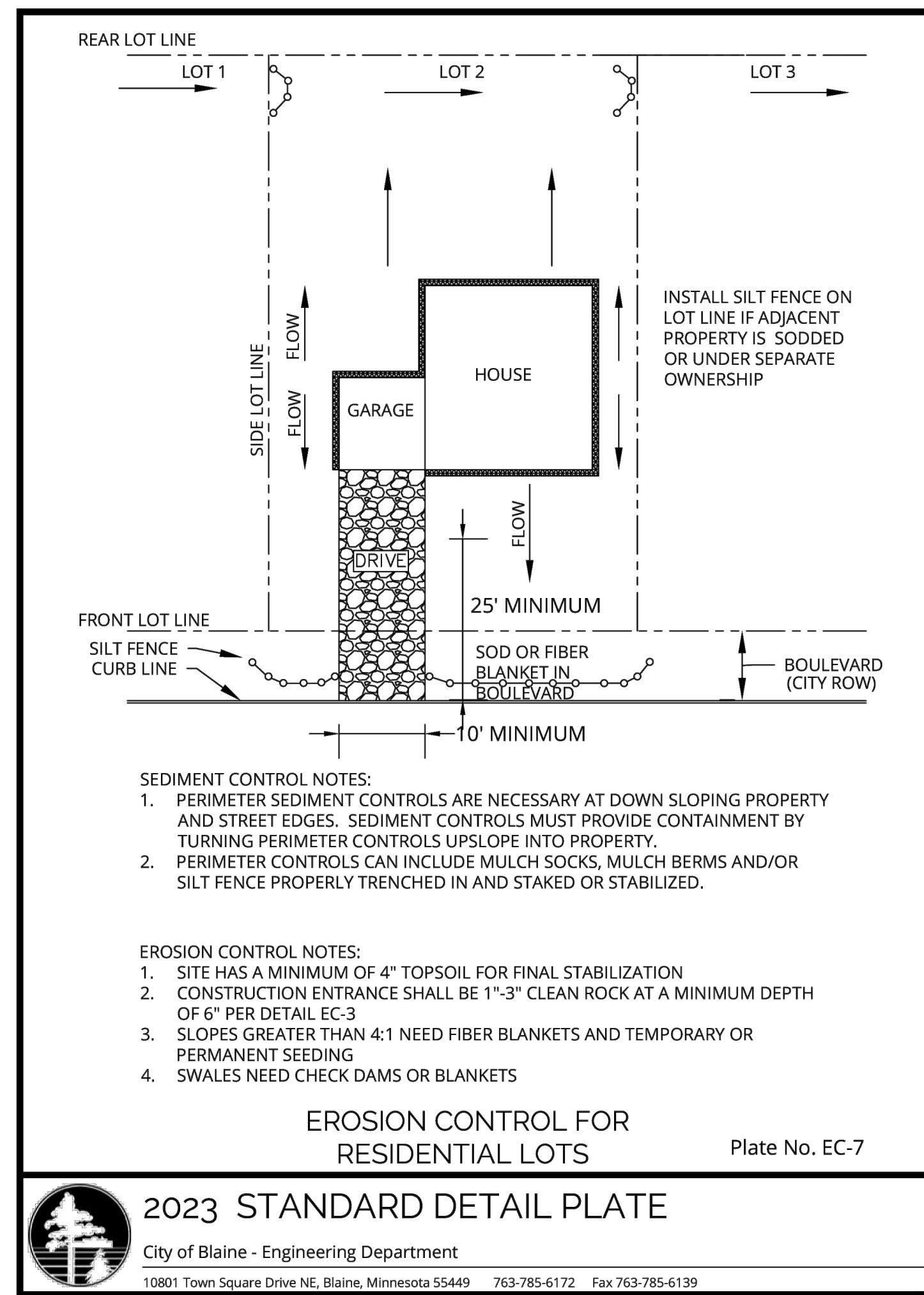
C2000	
SHEET	OF
8	9

N:\029 LAKESHORE MANAGEMENT\04 FOUR SEASONS\MPROJECT\ENGINEERING\DRAWINGS\2024\113 SEASONS - ANDREW.ROTH\2024-07-28



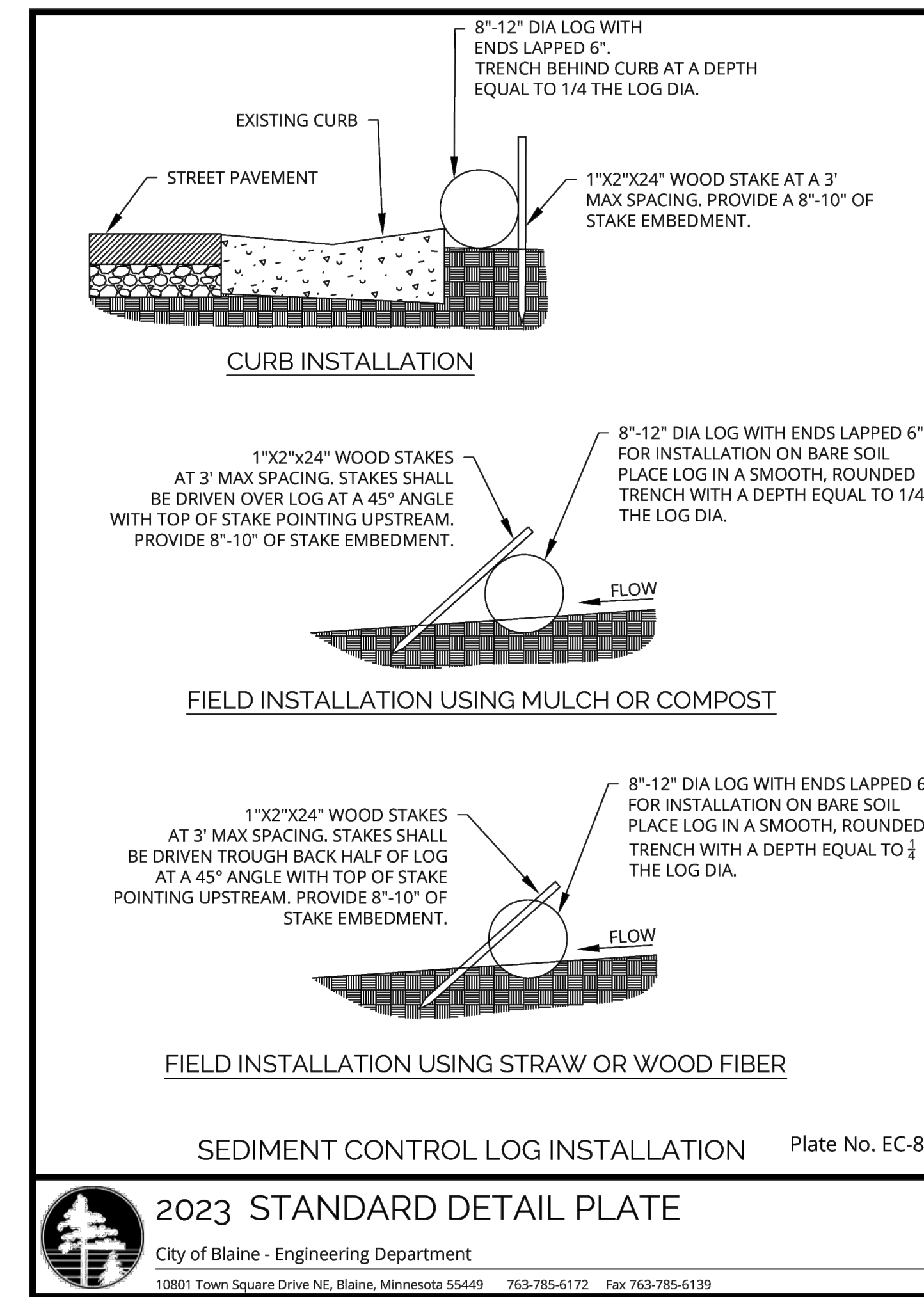
2023 STANDARD DETAIL PLATE

City of Blaine - Engineering Department
10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



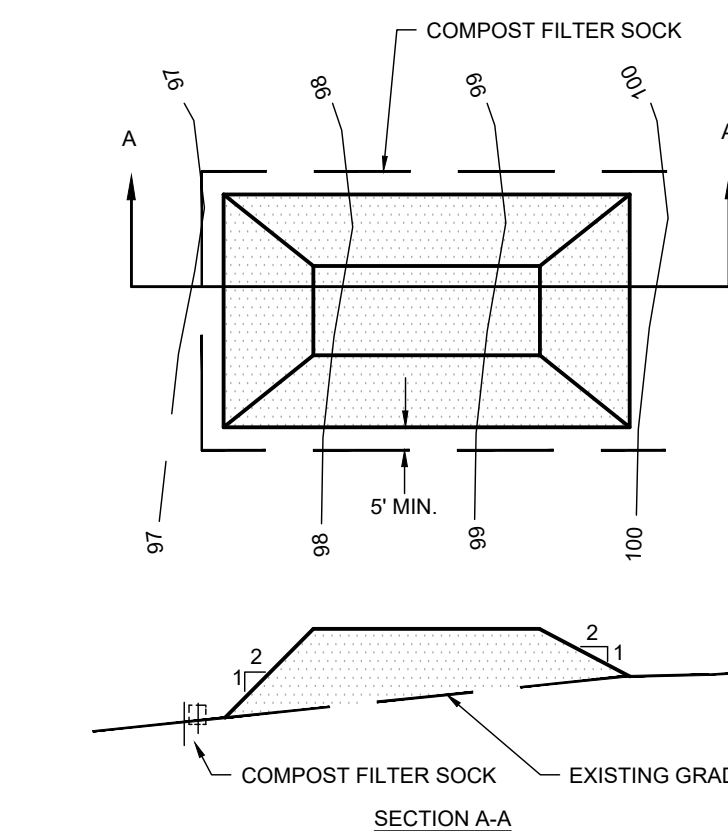
2023 STANDARD DETAIL PLATE

City of Blaine - Engineering Department
10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



2023 STANDARD DETAIL PLATE

City of Blaine - Engineering Department
10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



- NOTES:**
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - HEIGHT SHALL NOT EXCEED 35 FEET. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS TO MINIMIZE EROSION.
 - COMPOST FILTER SOCK SHALL BE INSTALLED AS DETAILED HEREON.
 - LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 - SEE SEQUENCE OF CONSTRUCTION NOTES.
 - "MAINTENANCE AND INSPECTION"
7. INSPECT STOCKPILES REGULARLY, ESPECIALLY AFTER LARGE STORMS. STABILIZE ANY AREAS THAT HAVE ERODED.

STOCKPILE DETAIL

NTS

REV	DATE	DESCRIPTION
1	07/11/2024	REVISED PER MULTIPLE REVIEW COMMENTS
2	07/26/2024	REVISED PER CWD REVIEW COMMENTS

Independence ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
INDEPENDENCE ENGINEERING
NEW JERSEY * PENNSYLVANIA * MASSACHUSETTS

PRELIMINARY PLAT
SOIL EROSION & SEDIMENT CONTROL DETAILS
FOR
LAKESHORE MANAGEMENT - PARK OF FOUR SEASONS
50 113TH AVENUE NE, CITY OF BLAINE
ANOKA COUNTY, MINNESOTA 55434

PROJECT	029-014
DATE	09/27/23
SCALE	NTS
DRAWN	ESC
DESIGNED	JWJ
CHECKED	JWJ
<p>C2010</p>	
SHEET	OF
9	9

- GENERAL DETAIL NOTE:**
- ALL DETAILS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.
 - DETAILS TO BE "OR EQUIVALENT".
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCAL REQUIRED DETAILS TO COMPLETE THE DESIGN.
 - IN CASE OF DISCREPANCIES BETWEEN THE PLAN DETAILS AND LOCAL REQUIRED DETAILS, THE LOCAL REQUIRED DETAILS SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IF NEEDED.
 - REFER TO PREVIOUS SHEETS FOR ADDITIONAL NOTES.
 - ANY DETAILS NEEDED FOR BIDDING AND/OR CONSTRUCTION OF THIS JOB, SHOWN OR NOT SHOWN ON THESE PLANS, ARE TO BE IN ACCORDANCE WITH LOCAL MUNICIPAL, COUNTY, STATE, AND FEDERAL REGULATIONS AND STANDARDS. IF ANY DETAIL SHOWN ON THESE PLANS DOES NOT MEET THESE STANDARDS, IT IS THE CONTRACTORS' RESPONSIBILITY TO BID AND/OR CONSTRUCT THE APPROPRIATE STANDARD DETAILS.

N:\029 LAKESHORE MANAGEMENT\04 FOUR SEASONS\IMPROVEMENT\PROJECT ENGINEERING\DRAWINGS\2024\14-SEASONS - ANDREW.ROTH\2024-07-28

**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 17
ITEM: Rough Draft 2025 Budget

AGENDA: Discussion

ACTION REQUESTED

1. Review, comment, and correct budget
2. Forward budget to Draft status for review at the August 14 meeting for review by the Advisory committees

PURPOSE AND SCOPE

- 1) To review a preliminary rough draft of the 2025 operating budget

BACKGROUND

In March the Board adopted a calendar and process for developing the 2025 budget. The process involves three phases: analysis of the parts, fine-tuning of the whole, and review and adoption of the final.

Attached is the first draft of the entire budget and the start of phase 2 of the budget process: Fine Tuning.

Revenues	2022 Actual	2023 Actual	2024 Budget	2024 Projected	2025 Prelim	% Chg
Fund Balance January 1	2,304,676	1,958,079	1,591,018	1,591,018	1,550,793	
Property Tax	3,027,370	3,187,821	4,965,765	4,965,765	6,207,206	25.0%
Fees & Charges	253,820	530,203	298,423	298,423	298,423	
Grants & Intergovernmental	638,274	399,031	314,539	314,539	2,566,549	
Other Revenue	25,926	26,963	28,042	28,042	115,000	
Fund Balance Used	387,302	342,274	40,225	40,225	40,225	
	4,332,692	4,486,292	5,646,994	5,646,994	9,227,403	
Total Funds Available	6,250,066	6,102,097	7,197,787	7,197,787	10,737,971	
Expenditures						
Salaries & Benefits	1,499,948	1,772,946	1,981,605	1,981,605	2,414,928	
Professional Services	939,376	363,632	589,000	589,000	489,487	
Operating Expenses	188,296	204,221	239,164	239,164	317,242	
Program Costs	1,277,544	2,196,554	2,680,517	2,680,517	5,789,607	
Capital Costs	9,600	31,395	156,708	156,708	198,174	
	3,914,764	4,568,748	5,646,994	5,646,994	9,209,437	
Fund Balance December 31	2,335,302	1,533,349	1,550,793	1,550,793	1,528,534	
Rev - Exp	417,928	(82,456)	-	-	17,966	

ISSUES/CONCERNS/OPPORTUNITIES

1. Initial Proposed Levy Amount: The levy increase used to balance the preliminary draft is 25%.
2. Technical Advisory Committee Comments: The TAC met Thursday August 8. The DRAFT 2025 Budget was on the agenda. The comments will be shared at the Board meeting.
3. Citizen Advisory Committee: The next Citizen Advisory Committee meeting is scheduled for Wednesday, August 14. CAC comments will be included in the August 26 Board meeting.
4. Next Steps: This draft serves to end phase 2 (the review and correct phase) of the budget process and will serve as the Draft used during phase 3 (the review correct and refinement stage) of the annual Budget process. Phase 3 occurs during August with review by the District's Advisory Committees and ends with approval of the Draft Budget and Notice of Public Hearing and adoption at the September 9 Board meeting.

IMPLICATIONS

- The budget as proposed allows
 - The District to maintain services and address the water quality issues.
 - Establish an employee benefit package that allows the District to attract and retain the required talent pool.
- Any comments or corrections made tonight will be
 - Reviewed by the CAC Wednesday
 - Included in the Draft budget discussed on August 26.

CONCLUSIONS

The budget is a draft and requires discussion

RECOMMENDATION

- 1) Approve Distribution of this draft for Review by the Technical Advisory Committee at their August
- 2) Forward budget to Draft status for review at the August 12 meeting for review by the Advisory committees

Proposed Revenues

Code	Prepared 8/6/2024 12:22	2021	2022	2023	2024		Current	2025	Request	Change
		Actual	Actual	Actual	Budget	Projected		Change		24-25
Property Taxes										
41101	Administrative Levy									
41102	Insurance Levy									
41103	MWMA Levy	2,577,244	2,691,777	3,027,370	4,965,765	4,965,765	4,965,765	1,241,441	6,207,206	25.00%
41104	Survey & Data Levy									
41105	Maintenance Levy									
Total Property Taxes		2,577,244	2,691,777	3,027,370	4,965,765	4,965,765	4,965,765	1,241,441	6,207,206	25.00%
Fees & Charges										
52226	Application Fees	1,750	1,820	1,850	850	650	850	-	850	
53191	Review & Inspect Fees	262,500	420,966	550,368	297,500	218,400	285,600	11,973	297,573	
Total Fees		264,250	422,786	552,218	298,350	219,050	286,450	11,973	298,423	-
Grants										
55190	EPA 319 Grant		21,000						-	
55190	Pet Waste 319 Grant				23,135	23,135	23,135	(12,459)	10,676	
55190	NKE Plan Impl 319 Grant			32,071	160,353	160,353	160,353	128,300	288,653	
55190	CCPSR CWF Grant		197,500	39,500					-	
55190	Aurelia Park CWF Grant		31,017	38,771					-	
55190	PCSIESF CWF Grant		132,000	33,000					-	
55190	ECIESF CWF Grant		172,500	138,000	34,500	34,500			-	
55190	WBIF 41,60,57 Sub Plan		41,580	108,189	86,551	86,551		86,551	86,551	
55190	WCA Admin	4,400	9,224	9,500	10,000	10,000		12,000	12,000	
55190	BWSR CWF WBIF Retro							178,000	178,000	
55190	BWSR CWF WBIF (24)							147,000	147,000	
Task Force Funding										
	D17-SNBC Outlet Mod							142,400	142,400	
	PC-Pond Mod+ Blaine Basin							618,284	618,284	
	D39-Bridgewater SIESF							1,082,985	1,082,985	
Total Grants		4,400	604,821	399,031	314,539	314,539	183,488	2,383,061	2,566,549	-
Other Revenue										
56101	Interest Income	25,926	26,963	28,042	28,042	100,000	28,042	86,958	115,000	
Fund Balances & Other										
	Building	-	-	-	-	-	-	-	-	
	ALS Rapid Response	40,000	40,000	40,000	40,000	40,000	40,000	-	40,000	
	Illicit Discharge Detection	225	225	225	225	225	225	-	225	
	Fund Equity Balance	40,225	347,077	302,049	-	-	-	-	-	
Ditch Fund Balances										
	Ditch 54	-	-	-	-	-	-	-	-	
	Other Fund Balances	-	-	-	-	-	-	-	-	
Total Fund Balances		80,450	387,302	342,274	40,225	40,225	40,225	-	40,225	
TOTAL REVENUE		2,952,270	4,133,649	4,348,935	5,646,921	5,639,579	5,503,970	3,723,433	9,227,403	0

Salaries & Benefits

Prepared Code	8/6/2024 12:23	2021	2022	2023	2024		2025		Change 24-25	
		Actual	Actual	Actual	Budget	Projected	Current	Change		Request
Salaries & Benefits										
60110	Salaries	\$ 1,333,723	\$ 1,164,379	1,330,378	1,448,994	1,448,994	1,506,954	101,437	1,608,391	11%
60260	Temporary Salaries-Students	\$ 17,952	\$ 17,129	-	39,000	39,000	40,560	1,789	42,349	9%
60713	HRA Payment	\$ 8,215	\$ 6,762	14,466	15,117	15,117	15,722	146,878	162,600	976%
60714	Health Insurance	\$ 182,383	\$ 121,640	208,094	235,020	235,020	244,421	69,579	314,000	34%
60715	Life Insurance	\$ 559	\$ 300	512	526	526	547	2,213	2,760	425%
60716	Social Security (FICA)	\$ 101,372	\$ 89,075	102,845	114,673	114,673	119,260	7,940	127,200	11%
60717	Retirement (PERA)	\$ 100,769	\$ 84,418	96,674	107,880	107,880	112,195	7,483	119,679	11%
60720	Dental Insurance	\$ 7,805	\$ 5,580	7,605	7,605	7,605	7,909	6,041	13,950	83%
60721	LTD Insurance	\$ 2,104	\$ 1,048	1,422	1,790	1,790	1,862	10,138	12,000	570%
60855	Board & Advisory Expenses	\$ 10,050	\$ 9,617	10,950	11,000	11,000	11,440	560	12,000	9%
Total Salaries & Benefits		1,764,932	1,499,948	1,772,946	1,981,605	1,981,605	2,060,869	354,059	2,414,928	22%

Professional Services

Services	2022	2023	2024	2024	2025	2025	2025	Change	Request	
	Actual	Actual	Budget	Projected	Current	Change	Request			
63010 GIS Services	\$ 104,837	\$ 111,700	\$ 117,286	\$ 116,900	\$ 121,977	\$ 17,134	\$ 139,111			19%
63052 Accounting/HR	\$ 5,050	\$ 5,252	\$ 5,252	\$ 75,000	\$ 5,462	\$ 98,783	\$ 104,245			1885%
63052 Audit	\$ 11,960	\$ 12,438	\$ 12,438	\$ 13,913	\$ 12,936	\$ 3,064	\$ 16,000			29%
63066 IT Services	\$ 47,250	\$ 58,336	\$ 58,336	\$ 64,790	\$ 60,669	\$ 20,362	\$ 81,031			39%
63246 Engineering Services	\$ 718,279	\$ 143,758	\$ 143,758	\$ 81,000	\$ 149,508	\$ (60,408)	\$ 89,100			-38%
63453 Legal Services	\$ 52,000	\$ 54,080	\$ 54,080	\$ 58,252	\$ 56,243	\$ 3,756	\$ 60,000			11%
\$ 939,376 \$ 385,564 \$ 391,150 \$ 409,855 \$ 406,796 \$ 82,691 \$ 489,487										25%

Operating Costs

Prepared Code	8/6/2024 12:25	2021	2022	2023	2024		2025		Change 24-25	
		Actual	Actual	Actual	Budget	Projected	Current	Change		Request
Operating Expenses										
61101	Small Equipment (furn/off/comp/misc)	47,641	23,505	18,020	37,203	37,203	38,691	809	39,500	6%
61102	Printing	-	-	-	4,040	4,040	4,202	(202)	4,000	-1%
61105	Cleaning & Janitorial Supp	10,062	10,062	15,487	16,222	16,218	16,871	(4)	16,867	4%
61110	Gasoline/Oil/License	15,025	15,025	16,377	17,377	16,377	18,072	(2,072)	16,000	-8%
61149	Gen'l Supplies (office)	18,914	18,914	19,031	20,033	12,993	20,834	(10,203)	10,632	-47%
61249	R&M Phone Hardware	68	3,000	2,350	3,450	3,000	3,588	(538)	3,050	-12%
61250	R&M Buildings	15,925	12,205	15,166	22,412	23,000	23,308	1,172	24,480	9%
61251	R&M Office Machine & Equip	685	1,046	3,588	5,900	-	6,136	7,344	13,480	128%
61263	R&M Security	1,000	1,030	1,071	1,125	1,171	1,170	1,495	2,665	137%
61354	Training & Conferences-Board/Other	198	2,352	2,000	500	300	520	(220)	300	-40%
61355	Training & Conferences-Staff Dev	4,199	11,356	11,810	10,620	9,820	11,045	7,910	18,955	78%
61475	Mileage	691	2,718	2,827	683	600	710	(80)	630	-8%
61476	Other Travel Exp, Parking	6	0	40	40	40	42	(2)	40	0%
61477	Meals & Staff Enrichment	949	2,000	1,750	2,965	2,965	3,084	1,216	4,300	45%
61552	Bank Charges	556	732	761	799	1,065	831	287	1,118	40%
61557	Dues & Memberships	9,070	10,529	15,650	17,000	15,450	17,680	10,475	28,155	66%
61558	Advertising	0	1,574	1,637	1,650	500	1,716	(716)	1,000	-39%
61559	Subscriptions & Publications	1,985	1,485	2,744	4,243	5,645	4,413	4,922	9,335	120%
61575	Books & Software	7,765	7,765	18,498	33,558	33,558	34,900	6,883	41,784	25%
61810	Misc & Contingency	-	-	-	0	-	-	1,750	1,750	#DIV/0!
62119	Web Site Server	960	889	1,000	1,995	1,930	2,075	(185)	1,890	-5%
62124	Leases & Rentals	6,078	5,594	5,818	3,600	4,692	3,744	1,003	4,747	32%
62225	Utilities-Heat/Natural Gas	1,821	2,405	2,501	2,626	2,700	2,731	185	2,916	11%
62226	Utilities-Electric	3,772	5,287	10,258	5,696	5,356	5,924	(116)	5,808	2%
62228	Utilities-Waste/Recycle Disposal	1,169	1,046	1,300	1,418	1,550	1,475	199	1,674	18%
62229	Phones	15,500	15,200	17,884	18,778	17,000	19,529	(1,169)	18,360	-2%
62231	Postage	358	987	1,027	975	500	1,014	(489)	525	-46%
62273	Cable	5,956	7,005	7,285	7,649	6,500	7,955	(935)	7,020	-8%
62370	Insurance-Liability	13,591	16,624	18,500	19,425	14,545	20,202	(4,930)	15,272	-21%
62372	Insurance-Property	919	1,004	4,700	4,935	8,861	5,132	4,172	9,304	89%
62373	Insurance-Work Comp	6,364	5,228	5,437	5,709	9,913	5,937	4,471	10,409	82%
62374	Insurance-Vehicles	845	941	1,135	1,192	1,216	1,240	37	1,277	7%
Total Operating Expenses		192,072	187,508	225,652	273,818	258,708	284,771	31,862	317,242	15%

Program Costs

Administration

Service Providers	2020	2021	2022	2024		2025		Request
	Actual	Actual	Actual	Budget	Projected	Current	Change	
Administration								
Field Supplies	500	500	735	750	750	788	(38)	750
Total								

Operations & Maintenance

Service Providers	2020	2021	2022	2024		2025		Request
	Actual	Actual	Actual	Budget	Projected	Current	Change	
Operations & Maintenance								
Engineering/Feasibility Studies	-	-	30,000	30,000	30,000	31,500	300	31,800
AOP Crossing Enhancement				0	0	-	79,500	79,500
CC Restoration 131st to Main				0	0	-	106,000	106,000
University Ave Pond Retrofit				0	0	-	51,100	51,100
Woodbridge Channel Improvement				0	0	-	100,000	100,000
Bank Repair & Stabilization	856,208	593,050	58,240	125,000	125,000	131,250	21,125	152,375
Ditch Repair & Maintenance	124,021	58,000	137,280	100,000	100,000	105,000	(52,000)	53,000
Non-routine Maintenance	-	56,000	88,400	96,000	96,000	100,800	960	101,760
Field Supplies	1,000	600	4,625	1,400	1,400	1,470	30	1,500

Planning

Service Providers	2020	2021	2022	2024		2025		Request
	Actual	Actual	Actual	Budget	Projected	Current	Change	
Planning & Special Studies								
Boundary Adjustments	-	3,500	3,500	3,000	3,000	-	0	0
Water Quality Model	-	-	70,000	0	0	-	210,000	210,000
Model Updates				50,000	50,000	52,500	500	53,000
Watershed Modeling Pilot Upgrade	6,240	6,490	20,800	0	0	-	101,482	101,482
Aquatic Organism Passage Enhancement Ph 2	-	-	-	75,000	75,000	-	0	0
Subwatershed Planning/Assessments	-	-	-	228,000	228,000	-	130,000	130,000
Subwatershed Feasibility Designs	-	-	-	0	0	-	120,000	120,000
Channel Geomorphic Analysis	-	-	-	0	0	-	79,500	79,500
Drainage Atlas				0	0	-	7,950	7,950
Water Quantity Studies	-	-	-	0	0	-	26,500	26,500
Economic Resource Study				125,000	125,000	-	0	0
MN Partner Funding Research Council	-	-	-	10,000	10,000	-	0	0
Groundwater Study/Assessment	-	-	-	5,000	5,000	-	90,000	90,000

Public and Governmental Affairs

Service Providers	2020	2021	2022	2024		2025		Request
	Actual	Actual	Actual	Budget	Projected	Current	Change	
Public & Government Relations								
Information								
Springbrook I & E Implementation	-	-	-	69,900	69,900	-	0	0
Targeted Pleasure Cr Subwatershed I & E Implementation	-	-	-	19,900	19,900	-	0	0
NKE Sand Creek Trail Audience Survey	-	-	-	15,000	15,000	-	0	0
Website Updates				0	0	-	3,600	3,600
Digital Communications				0	0	-	7,700	7,700
Creek/Ditch Signage	-	-	-	11,000	11,000	11,550	(8,050)	3,500
Involvement								
Audience Community Survey	23,750	24,050	26,000	28,393	28,393	29,813	5,187	35,000
Interactive Educational Displays						-	35,000	35,000
Water Education Grants	850	4,250	3,745	3,867	3,867	4,060	(60)	4,000
Newsletter Communications				0	0	-	25,000	25,000
Sponsorships	-	-	-	1,750	1,750	1,838	262	2,100
Outreach								
Adopt-A-Drain	10,000	6,500	6,864	6,000	6,000	6,300	(800)	5,500
Pet Waste	7,435	17,500	18,000	10,288	10,288	10,802	10,198	21,000
Field Supplies	1,103	2,444	6,614	3,815	3,815	4,006	(1,456)	2,550

Water Quality

Service Providers	2020	2021	2022	2024		Current	2025	Request
	Actual	Actual	Actual	Budget	Projected		Change	
Water Quality								
AIS Rapid Response	3,092	-	5,000	20,000	20,000	21,000	200	21,200
Lake Plan Implementation	1,215	2,776	2,887	5,000	5,000	5,250	50	5,300
Monitoring	89,113	96,400	99,746	110,489	110,489	116,013	1,105	117,118
WQ Cost Share Program	55,418	76,000	75,000	215,000	215,000	225,750	64,250	290,000
Groundwater-Surface Water Chlorides Pilot	-	-	-	35,000	35,000	36,750	37,662	74,412
Biomonitoring	-	-	-	0	0	-	32,000	32,000
Pond Performance Evaluation	-	-	-	0	0	-	5,000	5,000
Street Sweepings Testing	-	-	-	15,000	15,000	-	0	0
Contaminants of Emerging Concern	-	-	-	50,000	50,000	-	0	0
Winter Chloride Monitoring	-	-	-	6,000	6,000	-	0	0
PC MNDot Pond Outlet Modification	-	-	-	21,000	21,000	-	0	0
Springbrook Nature Center Outlet Modificaion	-	-	-	22,500	22,500	-	0	0
Sand Creek AOP crossing Enhancement @ Xeon	-	-	-	115,000	115,000	-	0	0
Field Supplies	3,000	3,666	7,547	2,566	2,566	2,694	1,256	3,950
Multi-Revenue Source Projects								
CRD Reg Park LCC Corridor Restoration-Expansion	-	-	-	0	0	-	695,000	695,000
Springbrook Cr Subwatershed plan	-	-	-	90,000	90,000	94,500	158,200	252,700
Pleasure Cr Subwatershed plan	-	-	-	87,500	87,500	91,875	717,935	809,810
Subwatershed Planning-D39	-	-	-	0	0	-	1,482,500	1,482,500

Watershed Development

Service Providers	2020	2021	2022	2024		Current	2025	Request
	Actual	Actual	Actual	Budget	Projected		Change	
Watershed Development								
Illicit Discharge Detection	590	800	850	900	900	900	0	900
Groundwater-Surface Water Dewatering Study	-	-	-	15,000	15,000	-	0	0
District Rule Amendment	-	-	-	0	0	-	7,950	7,950
Engineering	-	-	-	400,000	400,000	420,000	(70,000)	350,000
Field Supplies	1,025	500	950	500	500	525	75	600

Capital Equipment

Code	Prepared 6/26/2024 10:57	2021	2022	2023	2024			2025			Change 24-25
		Actual	Actual	Actual	Budget	Projected	Var.	Current	Change	Request	
	Capital Equipment										
65180	Building Improvements	28,000	0	8,000	97,350	97,350	0%	30,350	44,496	74,846	-23%
	Blinds	8,000	0	-	0			-	-		
	Landscaping	2,000	0	8,000	0			-	10,000		
	Keyless Entry-Rekey				20,900			-	-		
	Handicap Doors				11,100			-	-		
	Hex Pave/Auxiliary parking				21,000			21,000	24,000		
	Rear Parking Paving				35,000			-	-		
	Parking Lot Netting				9,350			9,350	1,496		
	3 bathroom fixtures/counters							-	9,000		
65230	Monitoring & Field	0	0	13,795	14,000	14,000	0%	-	54,828	54,828	292%
	Portable Velocity/Depth Sensor			-	14,000	-		-	-		
	Backpack Electrofisher							-	14,828		
	GNSS Receiver							-	40,000		
65250	Vehicle	0	55,000	0	0	-	#DIV/0!	-	41,500	41,500	100%
	SUV- Truck(s)		55,000	-		-		-	41,500		
65270	Telecommunications	0	0	-	0	-	#DIV/0!	-	-	-	#DIV/0!
65340	Office Equipment/Furniture	0	0	-	16,000	16,000	0%	-	-	-	0%
	Training Tables & Chairs				16,000			-	-		
65380	Computers & Equipment	15,095	11,100	-	0	-	#DIV/0!	-	12,000	12,000	100%
	Monitors/computers	15,095	11,100	-				-	-		
	Sharpboard							-	12,000		
65390	Software	0	0	-	29,358	29,358	0%	-	15,000	15,000	-49%
	MS4 Modules				0			-	15,000		
	Sage IntAcct				14,358			-	-		
	Website Migration				15,000			-	-		
	Total Capital Equipment	43,095	66,100	21,795	156,708	156,708	0%	30,350	167,824	198,174	26%

**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 18
ITEM: Oak Glen Creek Inspection Report

POLICY IMPACT: Policy
FISCAL IMPACT: Budgeted

REQUEST

Receive inspection report.

BACKGROUND

This inspection is part of the District’s Operations and Maintenance (O&M) program and the National Pollutant Discharge Elimination System (NPDES) requirement of inspecting 20% of the open channels annually.

Oak Glen Creek is located in Fridley.
 The channel is 0.35 miles (1,831 feet)
 Drainage area is 1.03 square miles (659.2 acres)
 0 Public Laterals

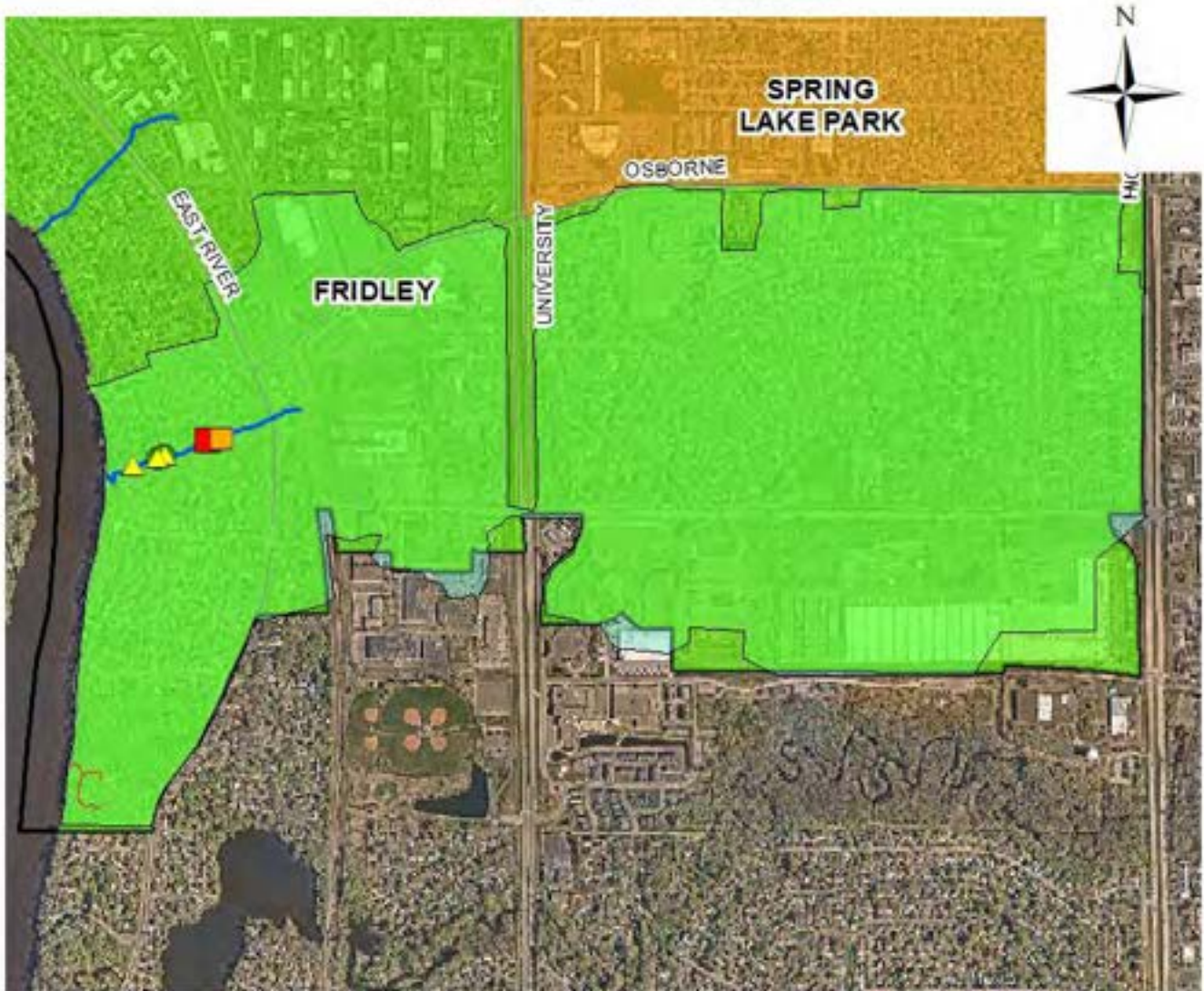
IDENTIFIED MAINTENANCE NEEDS

Need	Count	Cost Estimate	Immediate	Repair	Monitor
Obstruction	4	\$5,000	\$2,000	\$1,000	\$2,000
Ditch Repair	0	\$0	\$0	\$0	\$0
Bank Failure	1	\$4,700	\$0	\$4,700	\$0
Illicit Discharge	0	\$0	\$0	\$0	\$0
Beaver	0	\$0	\$0	\$0	\$0
Other	2	\$0	\$0	\$0	\$0
	7	\$9,700	\$2,000	\$5,700	\$2,000

RECOMMENDATION

1. Receive report.

Oak Glen Creek General



- | | | |
|-----------------|--------------------|--------------------|
| — Private Ditch | — Major Roads | ■ Immediate Repair |
| — Public Ditch | ■ FRIDLEY | ■ Maintenance Rec. |
| — Roads | ■ SPRING LAKE PARK | ▲ Monitor |
| ■ Subwatershed | | ● No Problem |
| □ CCWD Boundary | | |



**COON CREEK WATERSHED DISTRICT
Request for Board Action**

MEETING DATE: August 12, 2024
AGENDA NUMBER: 19
ITEM: Woodcrest Creek Inspection Report

POLICY IMPACT: Policy
FISCAL IMPACT: Budgeted

REQUEST

Receive inspection report.

BACKGROUND

This inspection is part of the District’s Operations and Maintenance (O&M) program and the National Pollutant Discharge Elimination System (NPDES) requirement of inspecting 20% of the open channels annually.

Woodcrest Creek is located in Coon Rapids.
 The channel is 1.13 miles (5981 feet)
 Drainage area is 1.27 square miles (810.7 acres)
 0 Public Laterals

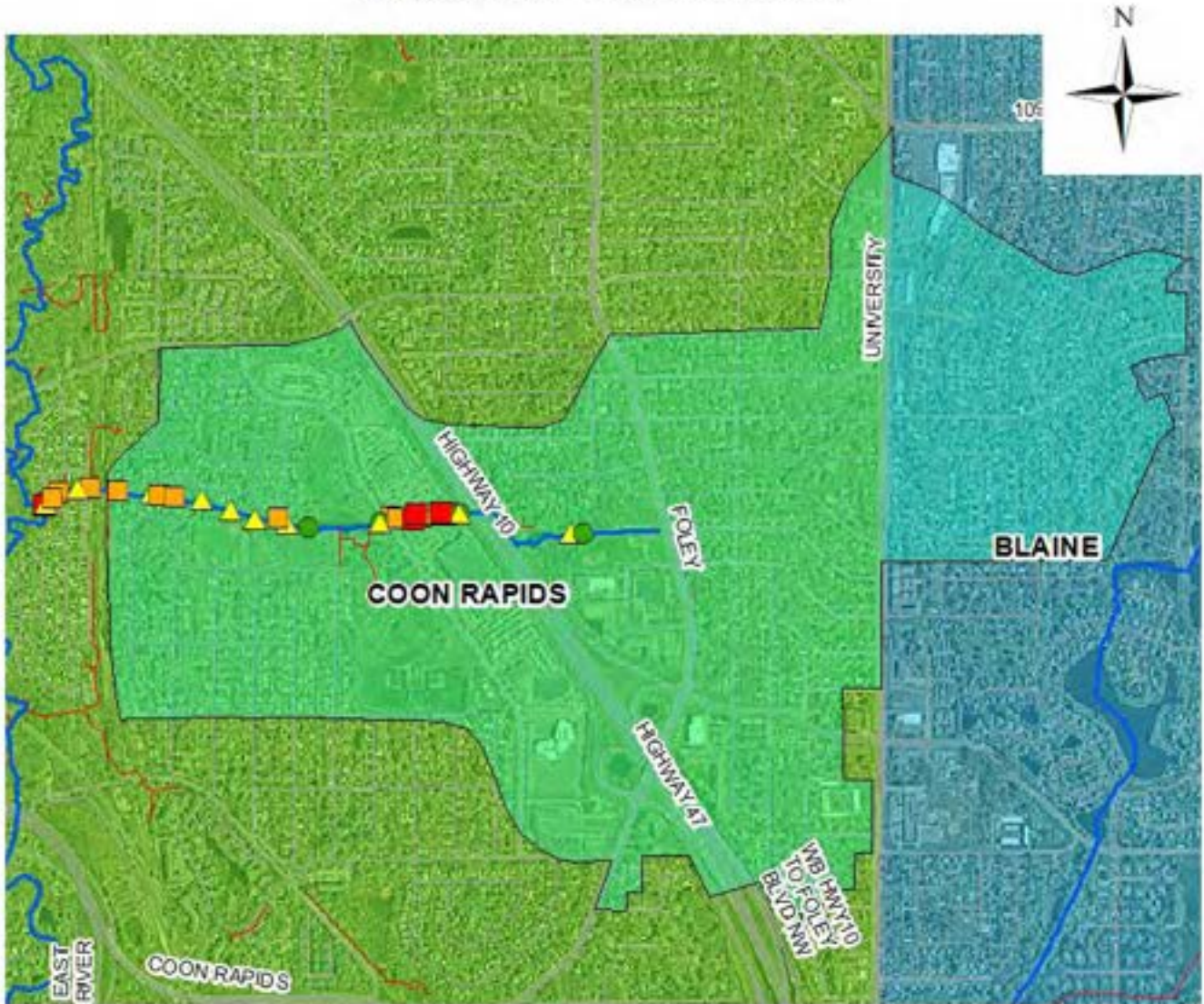
IDENTIFIED MAINTENANCE NEEDS

Need	Count	Cost Estimate	Immediate	Repair	Monitor
Obstruction	10	\$16,000	\$1,000	\$13,000	\$2,000
Ditch Repair	0	\$0	\$0	\$0	\$0
Bank Failure	8	\$40,705	\$0	\$31,980	\$8,725
Illicit Discharge	4	\$0	\$0	\$0	\$0
Beaver	0	\$0	\$0	\$0	\$0
Other	16	\$0	\$0	\$0	\$0
	38	\$56,705	\$1,000	\$44,980	\$10,725

RECOMMENDATION

1. Receive report.

Woodcrest Creek General



- Private Ditch
- Public Ditch
- Roads
- Subwatershed
- CCWD Boundary

- Immediate Repair
- Maintenance Req.
- Monitor
- No Problem
- BLAINE
- COON RAPIDS

